

TOWN OF TRUMBULL

5866 MAIN STREET
TRUMBULL, CONNECTICUT



TRUMBULL TOWN HALL ROOF REPLACEMENT

5866 MAIN STREET
TRUMBULL, CONNECTICUT

TRUMBULL POLICE FACILITY ROOF REPAIRS

158 EDISON ROAD
TRUMBULL, CONNECTICUT



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CERTIFICATION:

REVISIONS:

DATE	DESCRIPTION

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TOWN OF TRUMBULL
TRUMBULL POLICE FACILITY
ROOF REPAIRS
158 EDISON ROAD
TRUMBULL, CONNECTICUT

DRAWING TITLE:
TOWN HALL ROOF PLAN

SCALE: AS NOTED DRAWN BY: A.S. REVIEWED BY: P.A.L.

DRAWING NO.:

A-110

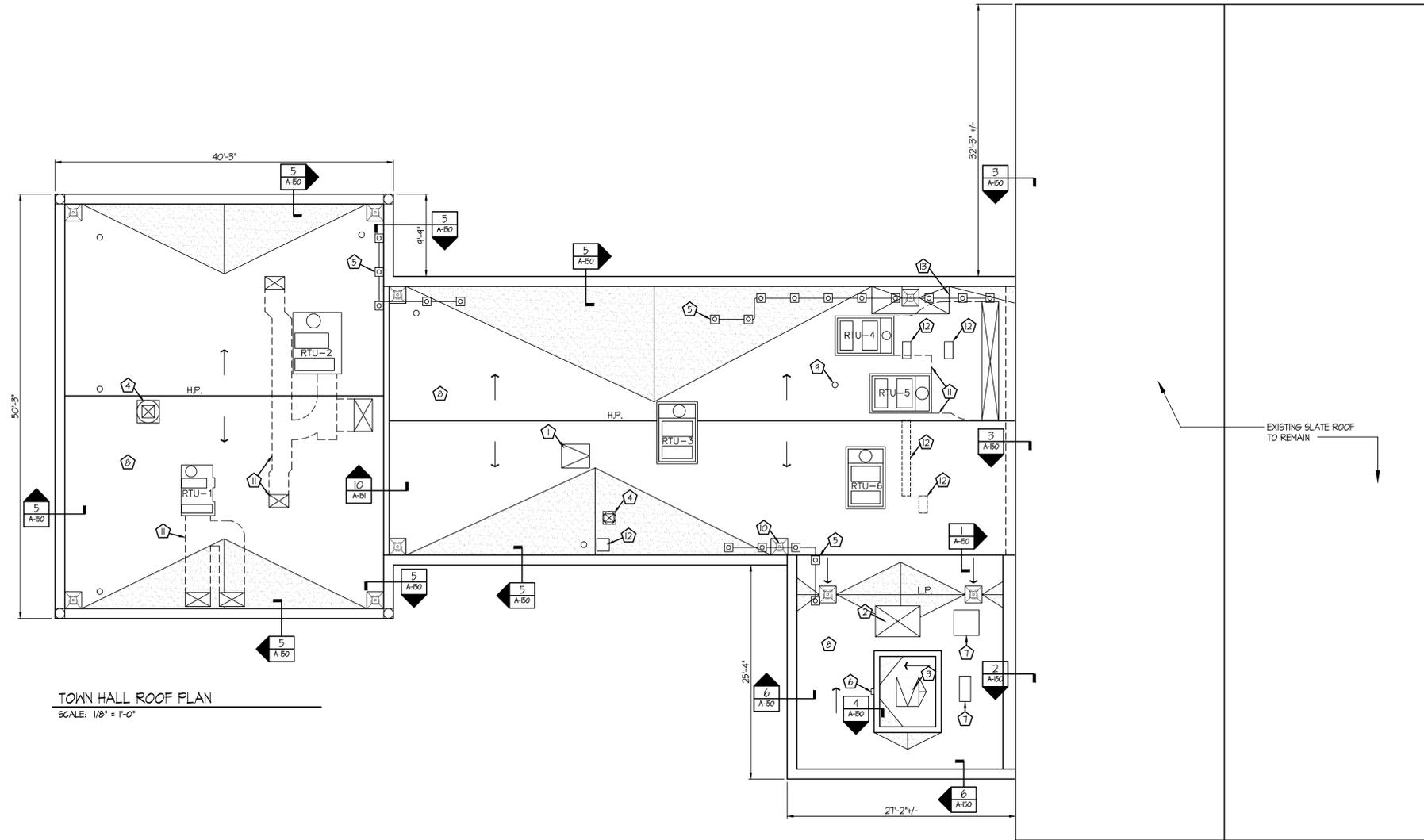
DATE: 13 JANUARY 2012 JOB NUMBER: 11086/11087

GENERAL NOTES

- A. ALL SURFACES DISTURBED BY DEMOLITION & NEW CONSTRUCTION OPERATIONS SHALL BE PATCHED & REPAIRED TO MATCH & BLEND W/ EXISTING ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- B. CONTRACTOR SHALL PROVIDE ALL CUTTING & PATCHING OF EXISTING ROOF DECK.
- C. ANY NEW ITEM WHICH IS A REPLACEMENT FOR AN EXISTING ITEM AT THE SAME LOCATION WILL REQUIRE THE CONTRACTOR TO REMOVE THE EXISTING ITEM FOR THE REPLACEMENT INSTALLATION.
- D. EACH TRADE RESPONSIBLE FOR CLEAN-UP AND DISPOSAL OF WASTE DURING CONSTRUCTION. FINAL CLEAN-UP REQUIRED UPON COMPLETION OF JOB. SEE SPECS.
- E. THE TERM "PROVIDE" SHALL MEAN THE CONTRACTOR SHALL PURCHASE AND INSTALL ITEM NOTED, ALONG WITH ANY AND/OR ALL REQUIRED LABOR TO INSTALL THEM. THE INTENT IS FOR A COMPLETE FUNCTIONING INSTALLATION.
- F. THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE TO HIS OWN SATISFACTION THAT HE IS FAMILIAR WITH ALL CONDITIONS THAT IMPACT ON THE WORK AND WITH THE SCOPE OF THE WORK CALLED FOR BY CONSTRUCTION DOCUMENTS BEFORE SUBMITTING HIS BID. A BID SUBMISSION SHALL BE TAKEN TO MEAN COMPLIANCE WITH THE ABOVE (THIS ALSO SHALL APPLY TO SUBCONTRACTORS).
- G. THE CONTRACTOR SHALL TAKE AND VERIFY ALL DIMENSIONS & SHALL BE RESPONSIBLE FOR SAME.
- H. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF OFF SITE IN APPROVED DUMP SITES.
- I. PATCH AND REPAIR ALL DISTURBED SURFACES AND AREAS AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES AND AREAS. ALL MASONRY INFILL WORK IS TO MATCH AND ALIGN WITH ADJACENT SURFACE FINISHES FOR A SMOOTH TRANSITION.
- J. ALL CUTTING AND PATCHING REQUIRED BY ALL TRADES NOT SPECIFICALLY NOTED ON THE DRAWINGS SHALL BE BY THE CONTRACTOR.
- K. TEMPORARILY REMOVE ALL PIPING, CONDUITS, EQUIPMENT, ETC. ON ROOFS AND WALLS WHICH INTERFERE WITH NEW ROOFING.
- L. TAPER ALL RIGID INSULATION TO PROVIDE POSITIVE DRAINAGE.

LIGHTING PROTECTION SYSTEM

- I. EXISTING LIGHTING PROTECTION SYSTEM TO BE REMOVED AND RE-INSTALLED AS REQUIRED FOR ROOF REPLACEMENT WORK AND SHALL BE TESTED AT COMPLETION OF PROJECT. ROOFING CONTRACTOR SHALL INCLUDE QUOTE IN THEIR BASE BID FROM WOODS LIGHTING PROTECTION, LLC OF SHELTON, CT FOR ABOVE NOTED WORK, NO OTHER VENDORS SHALL BE ALLOWED.
- (ALTERNATE BID #4- UPGRADE EXISTING LIGHTING PROTECTION SYSTEM AS OUTLINED IN A REPORT DATED 3/7/12 PREPARED BY WOODS LIGHTING PROTECTION, LLC.)



TOWN HALL ROOF PLAN
SCALE: 1/8" = 1'-0"

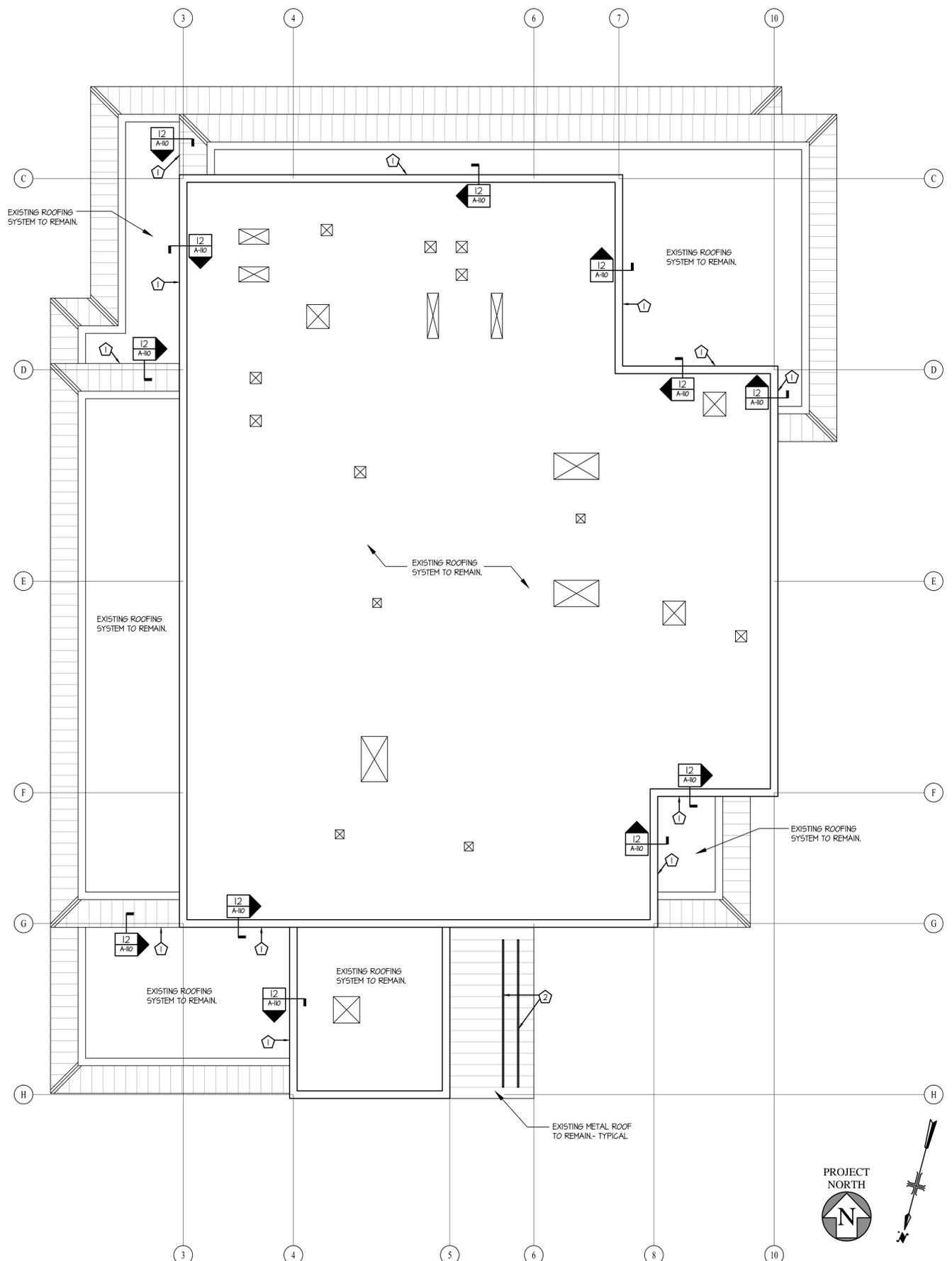
ROOF DEMOLITION / CONSTRUCTION NOTES

- SHOWN AS :
- 1 REMOVE EXISTING ROOF HATCH AND INSTALL NEW AS SPECIFIED.
 - 2 REMOVE EXISTING SKYLIGHT AND INSTALL NEW AS SPECIFIED (ALTERNATE BID #2)
 - 3 EXISTING FIRE VENT.
 - 4 EXISTING EXHAUST FAN.
 - 5 EXISTING ANCHORED GUARDRAIL.
 - 6 REMOVE EXISTING SCUPPER AND LEADER INSTALL NEW.
 - 7 EXISTING A/C CONDENSER UNIT.
 - 8 REMOVE EXISTING BUILT-UP ROOFING ASSEMBLY DOWN TO EXISTING STRUCTURAL DECK. CLEAN AND PREPARE DECK SURFACE TO RECEIVE NEW ROOFING ASSEMBLY. TYPICAL FOR ENTIRE LOW SLOPE ROOF AREA.
 - 9 EXISTING VENT STACK. (SEE DETAIL 7(A-15))- TYPICAL.
 - 10 TYPICAL ROOF DRAIN. (SEE DETAIL 8(A-15))
 - 11 EXISTING DUCTWORK TO RECEIVE NEW WATERPROOFING (SEE DETAIL 11(A-15))- TYPICAL (ALTERNATE BID #1)
 - 12 EXISTING ABANDONED CURBS TO BE REMOVED.
 - 13 EXTEND SIMP TO ALLOW WATER TO FLOW TO DRAIN.



ROOFING GRAPHICS LEGEND

- WALK PADS
- DIRECTION OF TAPERED INSULATION SLOPE (ROOF DECK IS ASSUMED FLAT)
- L.P. ROOF LOW POINT
- H.P. ROOF HIGH POINT
- L.P. ### TAPERED INSULATION LOW POINT FROM TOP OF DECK (NOT INCLUDING HEIGHT OF CRICKET).
- H.P. ### TAPERED INSULATION HIGH POINT FROM TOP OF DECK (NOT INCLUDING HEIGHT OF CRICKET).
- EXHAUST FAN
- TAPERED INSULATION CRICKET @ 1/2" PER FOOT
- ROOF DRAIN SIMP WITH DRAIN. SEE DETAIL 11(A15). SEE SPECIFICATIONS FOR PRODUCT INFORMATION.
- VENT STACK
- ROOF TOP UNIT.



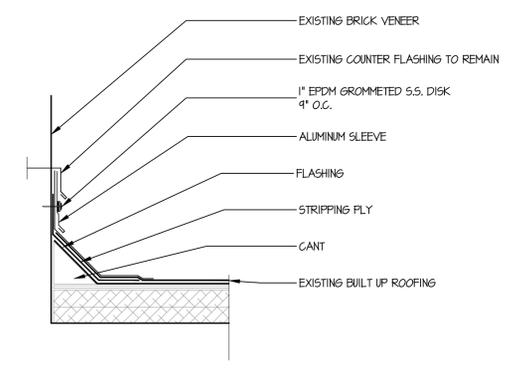
POLICE FACILITY ROOF PLAN
SCALE: 1/8" = 1'-0"

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- M. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF OFF SITE IN APPROVED DUMP SITES.
- N. PATCH AND REPAIR ALL DISTURBED SURFACES AND AREAS AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES AND AREAS. ALL MASONRY INFILL WORK IS TO MATCH AND ALIGN WITH ADJACENT SURFACE FINISHES FOR A SMOOTH TRANSITION.
- O. ALL CUTTING AND PATCHING REQUIRED BY ALL TRADES NOT SPECIFICALLY NOTED ON THE DRAWINGS SHALL BE BY THE CONTRACTOR.
- P. TEMPORARILY REMOVE ALL PIPING, CONDUITS, EQUIPMENT, ETC ON ROOFS AND WALLS WHICH INTERFERE WITH NEW FLASHING.

ROOF DEMOLITION / CONSTRUCTION NOTES

- SHOWN AS :
- 1 REMOVE EXISTING FLASHING AND INSTALL NEW PER DETAIL AND SPECIFICATIONS.
 - 2 NEW SNOWGUARDS AS SPECIFIED. (PROVIDE 2 ROWS MINIMUM)



12 ROOF TO WALL FLASHING
SCALE: 1 1/2" = 1'-0"



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ROOF REPLACEMENT
5866 MAIN STREET
TRUMBULL, CONNECTICUT

DRAWING TITLE:
POLICE FACILITY ROOF PLAN & DETAILS

SCALE: AS NOTED	DRAWN BY: ABS	REVIEWED BY: PAL
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A-110b

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13 JANUARY 2012

JOB NUMBER:
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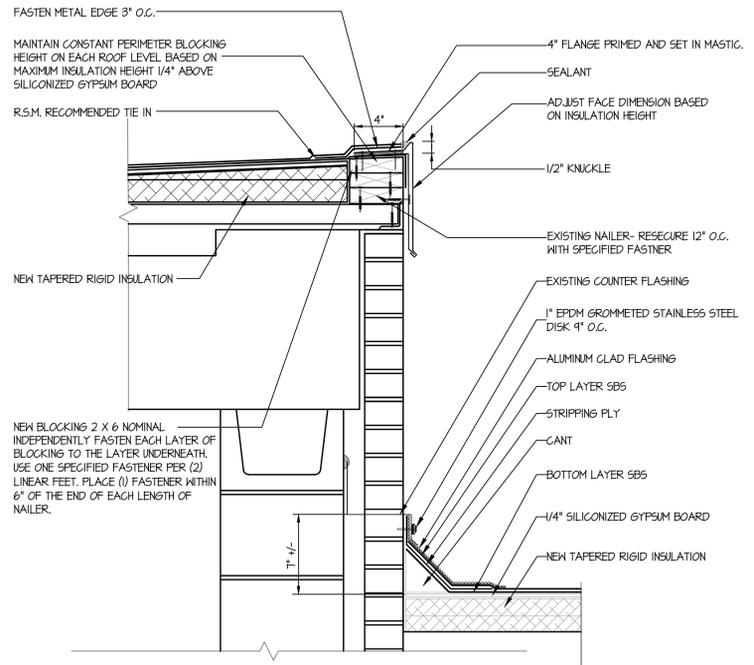
TOWN HALL
TRUMBULL TOWN HALL
ROOF REPLACEMENT
5866 MAIN STREET
TRUMBULL, CONNECTICUT

DRAWING TITLE:
TOWN HALL ROOF DETAILS

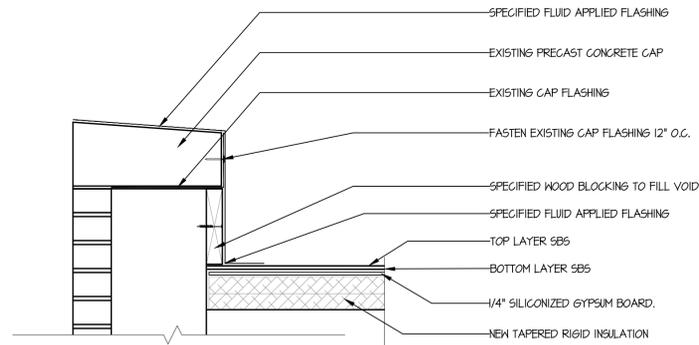
SCALE: AS NOTED
DRAWN BY: A.S.
REVIEWED BY: P.A.L.

A-150

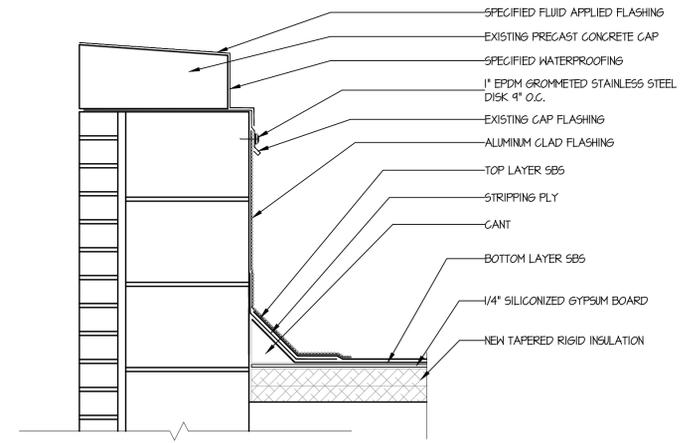
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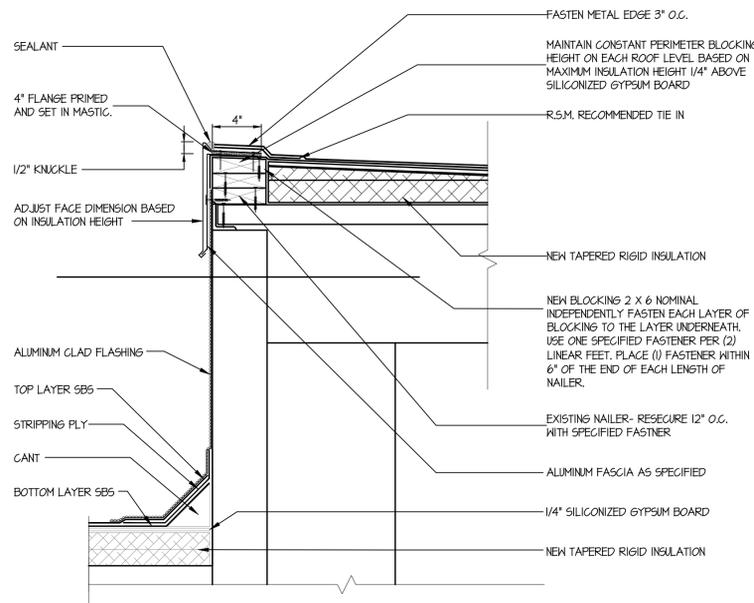
4 DETAIL AT ELEVATOR SHAFT
SCALE: 1 1/2" = 1'-0"



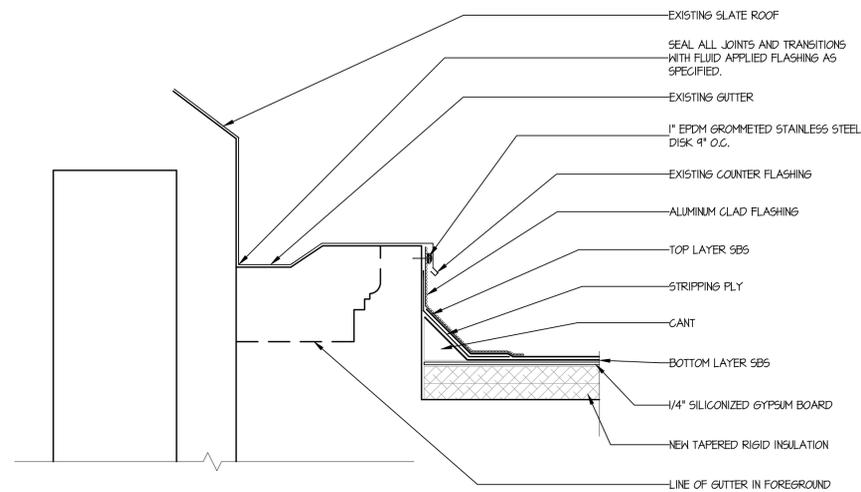
5 DETAIL AT MAIN ROOF EDGE-TYP.
SCALE: 1 1/2" = 1'-0"



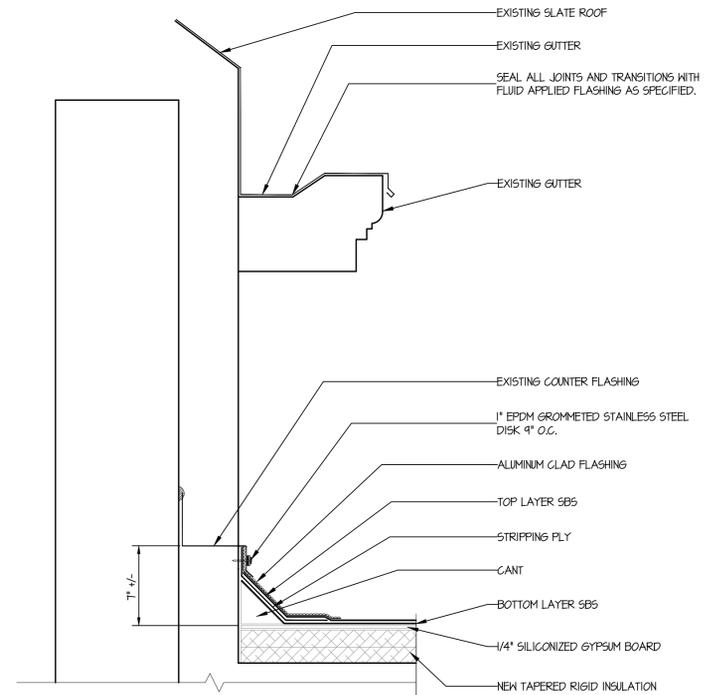
6 DETAIL AT UPPER ROOF EDGE-TYP.
SCALE: 1 1/2" = 1'-0"



1 DETAIL AT ROOF STEP
SCALE: 1 1/2" = 1'-0"



2 DETAIL AT GUTTER (UPPER)
SCALE: 1 1/2" = 1'-0"



3 DETAIL AT GUTTER (LOWER)
SCALE: 1 1/2" = 1'-0"



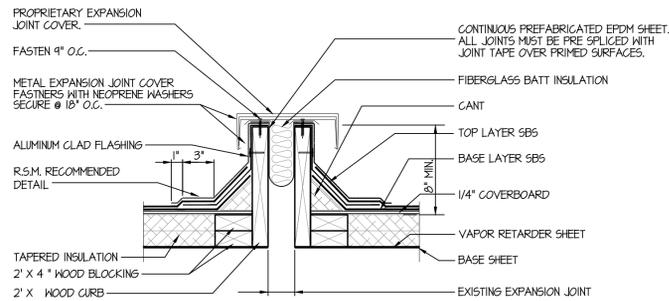
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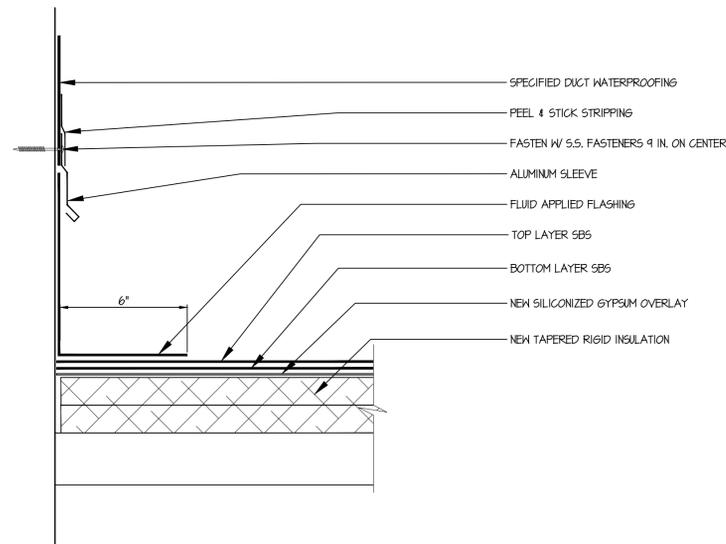
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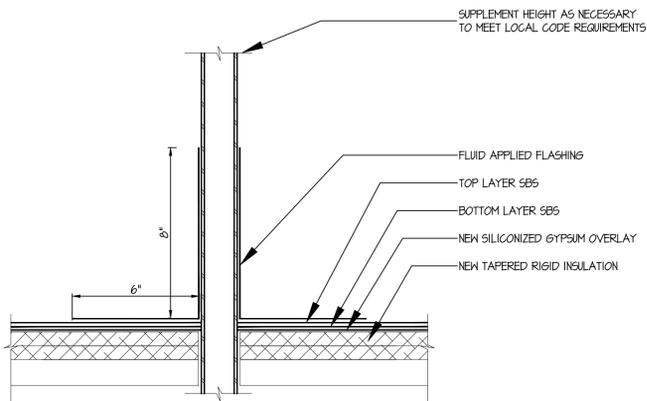


NOTES:
ALL TRANSITIONS AND TERMINATIONS SHALL BE FACTORY FABRICATED.

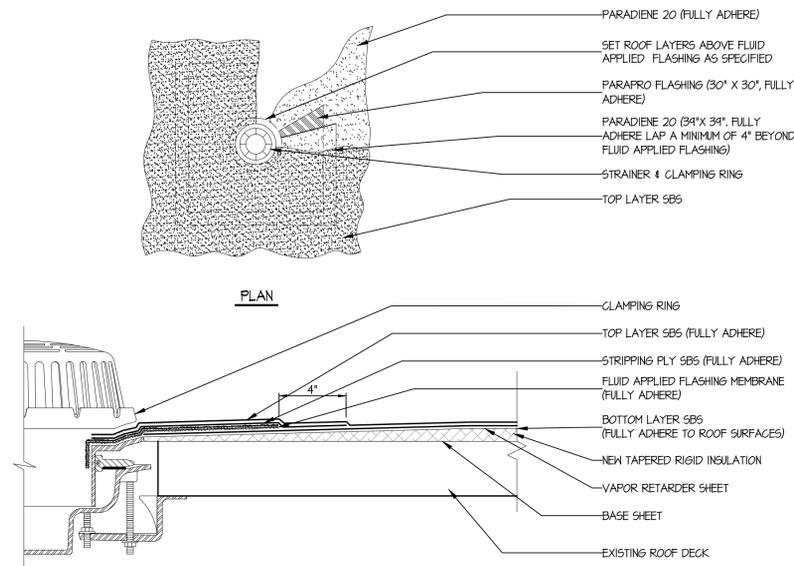
10 DETAIL AT EXPANSION JOINT
SCALE: 1 1/2" = 1'-0"



11 TYP.- DUCTWORK FLUID APPLIED FLASHING (ALTERNATE BID #1)
SCALE: 3" = 1'-0"

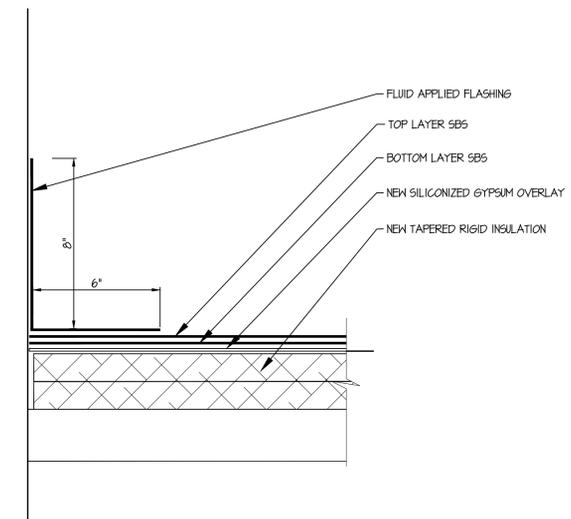


7 TYP.- VENT STACK/ PIPE
SCALE: 3" = 1'-0"



NOTES:
1. INSTALL ROOF DRAIN COMPONENTS PER SPECIFICATIONS.
2. FOLLOW MANUFACTURER'S PRINTED SURFACE REPAIRATION AND INSTALLATION RECOMMENDATIONS.
3. REFER TO MANUFACTURER'S T FLEECE CUTTING RECOMMENDATIONS FOR CONFIGURATIONS, CUTTING, FOLDING AND LAPPING TECHNIQUES.

8 TYP.- ROOF DRAIN
N.T.S.



9 TYP.- FLUID APPLIED FLASHING
SCALE: 3" = 1'-0"

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DRAWING TITLE:
TOWN HALL ROOF DETAILS

SCALE: AS NOTED
DRAWN BY: A.S.
REVIEWED BY: P.A.L.

A-151

DATE: 13 JANUARY 2012
JOB NUMBER: 11086/11087