

**Town of Trumbull
CONNECTICUT**

**Planning and Zoning
Department**
Telephone (203) 452-5044
Fax (203) 452-5169



Town Hall
5866 Main Street
Trumbull, Connecticut 06611

ZONING BOARD OF APPEALS

TO: MEMBERS OF THE ZONING BOARD OF APPEALS
RE: REGULAR MEETING – WEDNESDAY, JANUARY 7, 2026

The Zoning Board of Appeals will hold a Regular Meeting on Wednesday, January 7, 2026, at 7:00p.m. in the Town Hall Council Chambers (5866 Main Street).

AGENDA
PUBLIC MEETING
7:00 P.M.

Pledge of Allegiance

Roll Call

Regular Meeting:

Acceptance of Minutes

Acceptance of the December 3, 2025, Zoning Board of Appeals Regular Meeting minutes.

Applications

Application 25-27: 260 Old Town Road, Attorney Robert Bellitto for Ailton Goncalves & Luis Vaz. The applicants are requesting the following: minimum lot coverage variances of 14,960SF, where 21,780SF is required and 6,820SF is proposed, for lot A; a 15,780SF variance, where 21,780SF is required and 6000 SF is proposed, for lot B; a minimum road frontage variance of 50.8', where 125' is required and 74.20' is proposed, for lot A; minimum road frontage variance of 65', where 125' is required and 60' is proposed, for lot B; a 29' front lot setback variance, where 50' is required and 21' is proposed, for lots A and B; a 4.5' side yard setback variance, where 20' is required and 15.5' is proposed, for lots A and B; a 31' rear lot setback variance, where 50' is required and 19' is proposed, for lots A and B; a 2.5% maximum lot coverage variance, where 25% is required and 27.5% is proposed, for lot B; a maximum floor area ratio variance of .056 from 0.29 to 0.346 for lot A; and a maximum floor area ratio variance of .103 from 0.29 to 0.393 for lot B.

Application 25-30: 260 Old Town Road, Attorney Robert Bellitto for Ailton Goncalves & Luis Vaz. The applicants are requesting a 28.1' corner lot setback variance on Old Town Road, where 50' is required and 29.1' is proposed on Lot A, in Residential Zone A under Article III of the Trumbull Zoning Regulations.

Application 26-01: 18 Fern Circle, Bryce & Karen Bollert for Pollyann K. Owen Est. c/o Timothy K. Owen. The applicant is requesting a 16,977SF lot size variance, where 43,560SF is required and 26,583SF is proposed, for a lot line revision that will increase the lot size of 32 Fern Circle in Residential Zone AA under Article III of the Trumbull Zoning Regulations.

Application 26-02: 51 Zephyr Road, Joseph R. Mastroluca. The applicant is requesting a 17.5' front lot setback variance on Magnolia Rd, where 50' is required and 32.5' is proposed, to construct an addition in Residential Zone A under Article III of the Trumbull Zoning Regulations.

Application 26-03: 52 Ascolese Road, Claude Duzant for Christopher DeCruze & Emily Rose. The applicants are requesting a 29.9' variance, where 50' is required and 20.1' is proposed, to construct a workshop in Residential Zone A under Article II, sec. 1.1.2 & Article III of the Trumbull Zoning Regulations.

Consider and act on applications from the Public Hearing.

Dated at Trumbull, CT this 29th day of December 2025.

By: Gia Mentillo, Clerk.

COMMISSION MEMBERS: Please notify Gia Mentillo, Clerk, at 203-452-5044 or gmentillo@trumbull-ct.gov if you are unable to attend the meeting.

Date Received: _____

Application #: 25-27

ZONING BOARD OF APPEALS

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- a. Variance of the Trumbull Zoning Regulations X
- b. Appeal from Order of the Zoning Enforcement Officer _____
- c. Approval of Location for a Gasoline Station, Limited
Repairer's License or General Repairer's License. _____

2. Location of Subject Premises:

House and Street: 260 Old Town Road

Assessor's Map No. H12 Parcel No. 27 Lot No. --

Trumbull Land Records: Volume(s) 1930 Page(s) 576

Zoning District: A

3. Name of Applicant: Ailton Goncalves & Luis Vaz

Street Address: 179 William Street

City: Bridgeport ST: CT Zip: 06608 Email: [REDACTED]

Phone: Day 203-650-3916 Signed by: Ailton Goncalves Evening 203-650-3916 Signed by: [Signature]

SIGNATURE OF APPLICANT Ailton Goncalves [Signature]

(If agent, state capacity)

4. Owner of Record: Ailton Goncalves & Luis Vaz

Street Address: 179 William Street

City: Bridgeport ST: CT Zip: 06608 Email: [REDACTED]

SIGNATURE OF OWNER OF RECORD Ailton Goncalves [Signature]

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

☒ Setbacks (front, side, rear)
☒ Floor Area
☐ Lot Area
☒ Lot Coverage
☐ Damage Reconstruction
☐ Parking
☐ Extension of enlargement of a non-conforming use or building
☐ Other (explain) _____

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) II I SECTION(S) _____ PARAGRAPH(S) _____
SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

NO

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHEN APPLICABLE: SEE ATTACHED

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

SEE ATTACHED

4. Requesting variance of Article III bulk standards as applied to properties in the Residence A Zone.

5. The hardship is based on the unique size and shape of the property, the strict application of the zoning regulations as applied to this property and the legal principle of fundamental fairness which requires this property to be afforded parity with other residential properties and uses in the immediate neighborhood.

CURRENT OWNER		TOPO	UTILITIES	STRT/ROAD	LOCATION	CURRENT ASSESSMENT				6144 TRUMBULL, CT VISION							
GONCALVES AILTON VAZ LUIS 179 WILLIAM ST BRIDGEPORT CT 06608						Description	Code	Appraised	Assessed								
						RES LAND	1-1	114,300	80,010								
						DWELLING	1-3	43,900	30,730								
SUPPLEMENTAL DATA																	
Alt Prcl ID 00252400 Census Tr 0904 Fire Dist: T Border Pro Voting Dist				Dev Lot: LOT PT 208 Survey Ma Survey Ma Section #: A3 CB Letter: R													
GIS ID 00252400				Assoc Pid#		Total 158,200 110,740											
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)									
GONCALVES AILTON IVY LEAGUE CONCESSIONS LLC MCFADDEN IVY GRAUER BRADFORD C & DERRICK F DERFORD ASSOCIATES LLC		1930 0576	07-17-2024	U	I	210,000	26	Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed	
		1898 0297	09-13-2022	U	I	1	03	2024	1-1	80,010	2023	1-1	80,010	2022	1-1	80,010	
		1749 0851	08-31-2017	Q	I	90,000	U		1-3	30,730		1-3	30,730		1-3	30,730	
		1660 0428	03-24-2014	U	I	1	04										
1160 0189		11-05-2002	U	I	1	Q	Total	110,740	Total	110,740	Total	110,740	Total	110,740			
EXEMPTIONS				OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor									
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int									
Total			0.00														
ASSESSING NEIGHBORHOOD																	
Nbhd		Nbhd Name		B		Tracing		Batch									
6																	
NOTES																	
MEASUREMENT OF DECK & REAR MEAS EST AS LOCKED GATES WERE ON PROPERTY TENANT GAVE INFO AT DOOR 2022 ADD HEAT RENTAL INCOME																	
BUILDING PERMIT RECORD								VISIT / CHANGE HISTORY									
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result			
									08-09-2024	LO	7	5	11	QC - Check			
									07-19-2005	RM			10	Measu/LtrSnt-Letter Sent n			
									03-16-2005	MJ	1		07	Measur/Inf/Dr-Info taken at			
LAND LINE VALUATION SECTION																	
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value	
1	101	Single Family Re	A			0.290	AC	182,160.00	2.88605	4	0.75	600	1.000	RESTRICTIONS	1.0000	394,285.3	114,300

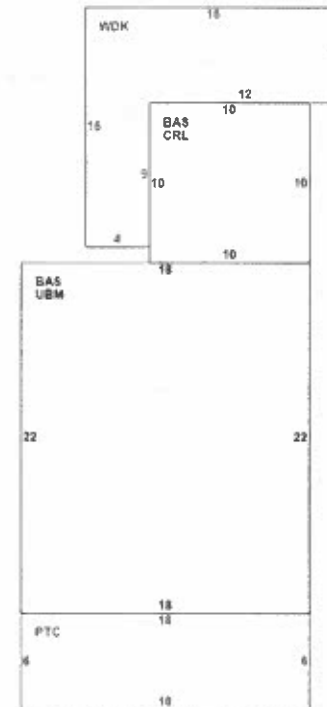
CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	01	Ranch			
Model	01	Residential			
Grade:	03	D-1			
Stories:	1	1 Story			
Occupancy	1				
Exterior Wall 1	11	Clapboard			
Exterior Wall 2					
Roof Structure:	02	Shed			
Roof Cover	02	Rolled Compos			
Interior Wall 1	03	Plastered			
Interior Wall 2	04	Plywood Panel			
Floor Covering	12	Hardwood			
Alt. Floor Cover					
Heat Fuel	03	Gas			
Heat Type:	05	Hot Water			
AC Type:	01	None			
Total Bedrooms	01	1 Bedroom			
Total Bthrms:	1	1 Full Bath			
Total Half Baths	0				
Total Xtra Fixtrs					
Total Rooms:	3	3 Rooms			
Bath Style:	02	Average			
Kitchen Style:	02	Average			
Total Kitchens	1				
Total Elec Meter	1				

CONDO DATA			
Parcel Id		C	Owne
		B	S
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			
COST / MARKET VALUATION			
Building Value New		63,684	
Year Built		1903	
Effective Year Built		1990	
Depreciation Code		A	
Remodel Rating			
Year Remodeled			
Depreciation %		31	
Functional Obsol			
External Obsol			
Trend Factor		1	
Condition			
Condition %			
Percent Good		69	
RCNLD		43,900	
Dep % Ovr			
Dep Ovr Comment			
Misc Imp Ovr			
Misc Imp Ovr Comment			
Cost to Cure Ovr			
Cost to Cure Ovr Comment			

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	496	496	496	100.06	49,629
CRL	Crawl Space	0	100	0	0.00	0
PTC	Concrete Patio	0	108	11	10.19	1,101
UBM	Unfinished Basement	0	396	79	19.96	7,905
WDK	Wood Deck	0	132	13	9.85	1,301



H12-27 04/29/2015

10/28/25

To: Planning + Zoning Board of Appeals

From: Patricia Rose

11 Lansing Ave

Trumbull, CT 06611

I am still and always will be vehemently opposed to the building of two additional homes on the corner of Lansing Ave and Old Town Rd. As stated in my previous letter, this is a dangerous intersection for both traffic and pedestrians. With the addition of two more homes and who knows how many cars, this already narrow street will be even more dangerous.

Delivery trucks, cars, and even school buses have difficulty navigating this narrow street. The addition of more parked cars will only aggravate the situation.

I know I will never again see the beautiful, tree-lined street that was once Lansing Ave., but I do not want to see more parked cars and trucks making it an even more dangerous neighborhood to navigate.

November 5, 2025

Zoning Board of Appeals

Re: 260 Old Town Road

Once again we are put in the position of trying to save our neighborhood, our homes and our quality of life from the indifference of the Town and the greed of a developer.

The Zoning Board of Appeals has consistently and repeatedly sided with developers to our detriment. Developers come in, do their damage, line their pockets and disappear leaving us to deal with the permanent effects of their greed and your lack of concern for the residents of the area.

Zoning regulations exist to protect and preserve but the ZBoA has never considered our neighborhood to be worthy of preservation or us to be worthy of protection. We are well aware that our proximity to Bridgeport has long made us expendable. We were told that very bluntly by an elected politician.

Streets that were quiet and tree lined are now lined with cars and are treeless thanks to developers and the UI who last year clear cut the neighborhood.

However, this time there is one major difference – safety. Visibility at the corner of Lansing and Old Town Road is already a problem. Old Town is a hill with a curve. When exiting Lansing onto Old Town cars coming up Old Town are not visible until they are only a few car lengths away from the intersection. Parked cars further limit that visibility and vehicles turning from Old Town onto Lansing are then forced into on-coming traffic. When cars are parked near or at the corners drivers on Old Town and Lansing cannot see each other. I've had numerous close calls and have often had to go past my own street and use another street to get to my home. Making it worse, Bridgeporters often park on Lansing and the other streets on the Trumbull side of Old Town.

The lot in question is too small for even one house. Residents have been denied permission to subdivide their properties into lots that were much bigger than this parcel and that posed no safety problems. Why is this project even being considered? No mention is made of garages or of

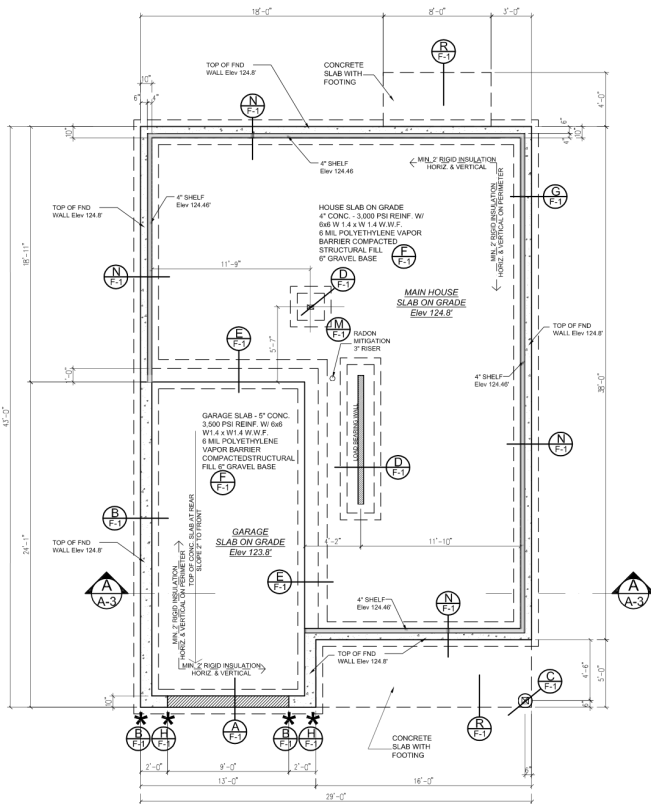
off street parking spaces. The drivers of both homes will park on Lansing and the danger will be constant and permanent.

Have any of you gone to see the lot? Have you driven through the neighborhood in the evening or on weekends to see the number of cars parked in the street instead of in driveways? Please, for the first time do what is best for the people who live there and not what is best for a developer. If Vaz takes a financial loss that is his problem. His finances should not be our burden. He and others have already made a profit at our expense. Can you for the first time say "hands off" and leave us alone?



Carol A. Rose

11 Lansing Avenue, Trumbull



BASEMENT & FOUNDATION PLAN
SCALE 1/4" = 1'-0"

★ **Simpson Strong-Tie STHD14**
Min. 3500 lb. embedded tie-down each end of panel

FOUNDATION NOTES -

ALL FOOTINGS SHALL BE ON UNDISTURBED SOIL OF NOT LESS THAN 3,000 LBS PER SQUARE FOOT BEARING CAPACITY. FOOTING SHALL BE BELOW FROST LINE A MINIMUM OF 3'-0" FROM GRADE TO THE BOTTOM OF THE FOOTING. EXCEPT THAT THE BOTTOM OF THE FOOTING SHALL BE ADJUSTED TO THE ACTUAL LEVEL OF APPROVED BEARING STRATE FOUND ON EXCAVATING.

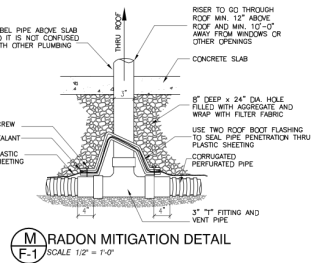
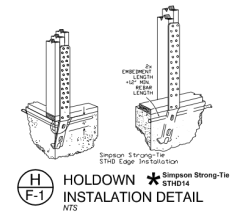
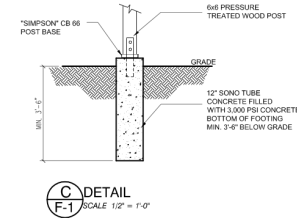
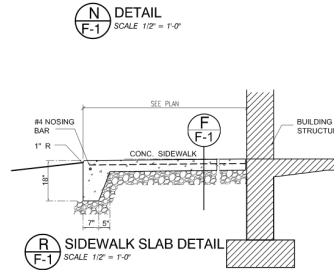
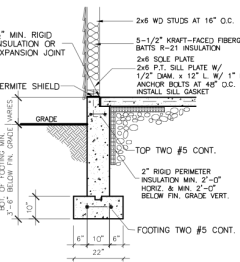
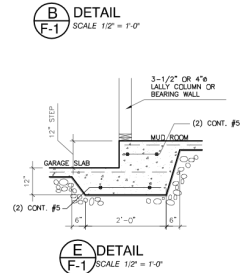
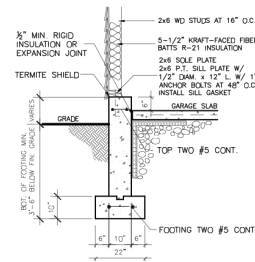
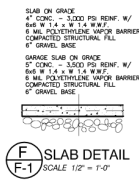
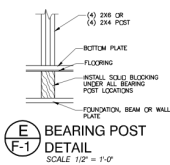
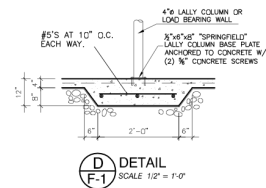
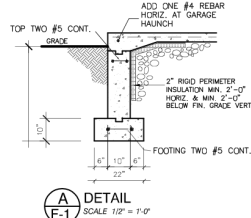
CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 POUND PER SQUARE INCH 28 DAYS.

VAPOR BARRIER SHALL BE POLYETHYLENE SHEETS HAVING A THICKNESS OF 6 MILS MINIMUM.

UTILITY ROOM NOTES -

ALL INTERIOR OF EXTERIOR WALLS EXCEPT CONC. WALLS TO BE FIN. W/ 5/8" FIRE CODE TYPE "X" GYPSUM BOARD.
CEILING TO BE 5/8" TYPE "X" GYPSUM BOARD AND TO BE PROVIDED 1-HR RATED PARTITIONS AROUND UTILITY ROOM.

WHERE UTILITY ROOM IS NOT ENCLOSED
CEILING SHALL HAVE A 100 S.F. AREA PROVIDED WITH 5/8" TYPE "X" GYPSUM BOARD

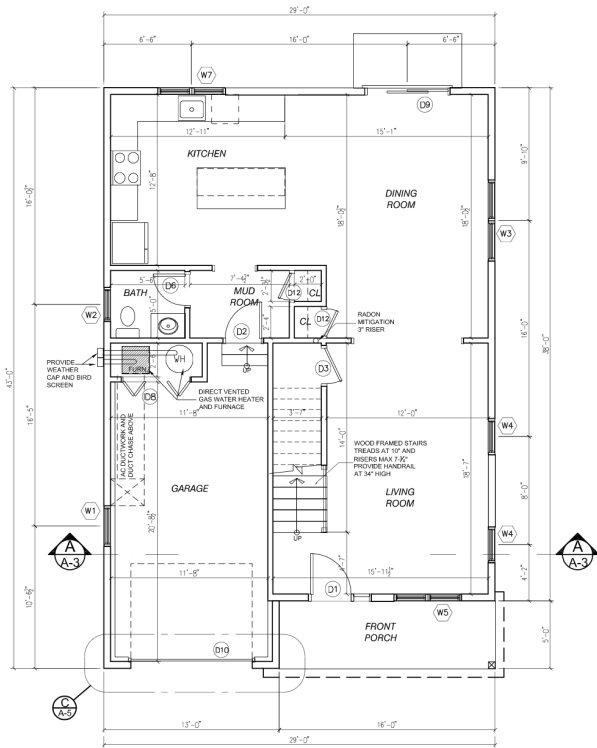


1	2	3	4	5	6
1	2	3	4	5	6

NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD, BRIDGEPORT CT

FOUNDATION PLAN & DETAILS	scale: AS NOTED
date: 04-15-19	project #: MCR-2019-107
drawn: M. REINHEIMER 203-448-6137	
E-Mail: marc@reim.com or marc@yaho.com	

F-1



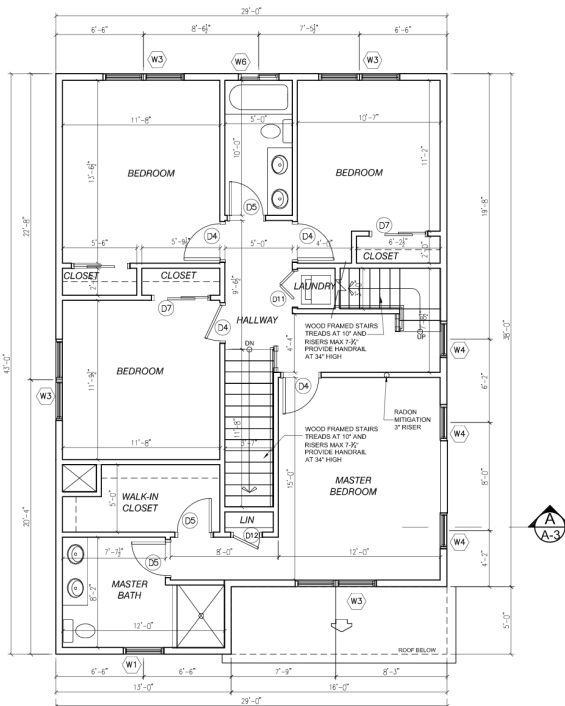
1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

1ST FL LIVING SPACE = 865 SF
GARAGE = 295 SF
TOTAL LIVING SPACE = 1,980 SF

GENERAL NOTES

- #1 - AS PER 2015 IRC SECTION R302.7 - UNDER STAIR PROTECTION: ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SCOTTS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- #2 - ALL WINDOWS AND EXTERIOR DOORS INCLUDING GARAGE OVERHEAD DOOR TO BE CERTIFIED AND LABELED BY MANUFACTURER WITH DESIGN PRESSURE RATING TO WITHSTAND 125 MPH WINDS.
- #3 - AS PER 2015 IRC SECTION R319 - PREMISES IDENTIFICATION: APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- #4 - PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION. (IF APPLICABLE)
- #5 - PROVIDE METAL JOIST HANGER AT ALL FLUSH CONNECTIONS

- #6 - ANY SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING, AT EXTERIOR WALLS, ARE REQUIRED TO BE SEALED BY EITHER CAULK OR BACKER ROD.
- #7 - SHOWER/TUB ON EXTERIOR WALL - EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWER AND TUBS. INSTALL DRAFT STOP SHEATHING BEHIND SHOWER AND TUBS ON EXTERIOR WALLS.
- #8 - CHEMICAL TERMITICIDE TREATMENT SHALL BE PROVIDED AND SHALL INCLUDE SOIL AND OR FIELD APPLIED WOOD TREATMENT APPLICATION AND METHOD OF TREATMENT OF THE CHEMICAL TERMITICIDE SHALL BE IN STRICT ACCORDANCE WITH THE TERMITICIDE MFR'S LABEL.



2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

2ND FL LIVING SPACE = 1,115 SF
TOTAL LIVING SPACE = 1,980 SF

GARAGE NOTES -

ALL INTERIOR WALLS OF EXTERIOR WALLS TO BE FIN. W/ 5/8" FIRECODE TYPE "X" GYPSUM BOARD
GARAGE AND DWELLING WITH 5/8" FIRECODE TYPE "X" GYPSUM BOARD APPLIED TO EACH SIDE OF 2X4 WOOD STUDS AT 16" O.C.

ALL GARAGE CEILINGS TO BE INSTALLED W/ 5/8" FIRECODE TYPE "X" GYPSUM BOARD

PLUMBING GENERAL NOTES -

PROVIDE VACUUM BREAKER VALVE STOP VALVE HB - NOISE BIB FROST-FREE, LOOSE KEY DISHWASHER - PROVIDE EMERGENCY BALL STOP VALVE IN CABINET
WASHING MACHINE - PROVIDE "DUO-CLOZ" SHUT-OFF VALVE AT INTERIOR WALL OF LAUNDRY CLOSET NEAR TO THE DOOR.
PROVIDE WATER HAMMER ARRESTOR WHERE REQUIRED

DOOR SCHEDULE		
	SIZE	REMARKS
(D1)	3'-0" x 6'-8" x 1-3/4" W/ 14" SIDE LIGHT FULLY WEATHERSTRIPPED ALUM. SILL	INSULATED
(D2)	2'-8" x 6'-8" x 1-3/4"	20-MIN. FIRE RATED INSULATED
(D3)	2'-8" x 6'-8" x 1-3/4"	INSULATED
(D4)	2'-8" x 6'-8" x 1-3/8"	
(D5)	2'-8" x 6'-8" x 1-3/8"	
(D6)	2'-4" x 6'-8" x 1-3/8"	
(D7)	4'-0" x 6'-8"	SLIDING CLOSET DOOR
(D8)	5'-0" x 6'-8"	DOUBLE BI-FOLD LOUVERED
(D9)	6'-0" x 6'-8"	EXTERIOR SLIDING PATIO DOOR
(D10)	9'-0" x 8'-0" INSULATED OVERHEAD GARAGE DOOR	
(D11)	3'-0" x 6'-8"	BI-FOLD LAUNDRY DOOR
(D12)	2'-0" x 6'-8" x 1-3/8"	

WINDOW SCHEDULE		
	ROUGH OPENING	NOMINAL SIZE
(W1)	SEE MFR.'S SPECIFICATIONS	3'-2" x 5'-0"
(W2)	SEE MFR.'S SPECIFICATIONS	2'-8" x 4'-0"
(W3)	SEE MFR.'S SPECIFICATIONS	6'-4" x 5'-0"
(W4)	SEE MFR.'S SPECIFICATIONS	2'-8" x 5'-0"
(W5)	SEE MFR.'S SPECIFICATIONS	5'-0" x 5'-0"
(W6)	SEE MFR.'S SPECIFICATIONS	3'-0" x 1'-6"
(W7)	SEE MFR.'S SPECIFICATIONS	5'-0" x 4'-0"
(W8)	SEE MFR.'S SPECIFICATIONS	3'-0" x 3'-6"
		REMARKS
(W1)	SEE MFR.'S SPECIFICATIONS	D.H. (EGRESS)
(W2)	SEE MFR.'S SPECIFICATIONS	D.H.
(W3)	SEE MFR.'S SPECIFICATIONS	DOUBLE D.H. (EGRESS)
(W4)	SEE MFR.'S SPECIFICATIONS	D.H.
(W5)	SEE MFR.'S SPECIFICATIONS	DOUBLE D.H.
(W6)	SEE MFR.'S SPECIFICATIONS	SLIDING
(W7)	SEE MFR.'S SPECIFICATIONS	DOUBLE D.H.
(W8)	SEE MFR.'S SPECIFICATIONS	DOUBLE D.H.

WINDOW NOTES

- 1 - AS PER 2015 IRC - SECTION R310.1.1; EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WITH A MINIMUM NET CLEAR OPENING OF 5.7 SF. EXCEPTION: GROUND FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF. WITH A MINIMUM NET REQUIRED CLEARANCE OF 20" WIDTH AND 24" HEIGHT. IN EXISTING BUILDINGS UNDERGOING ALTERATION OR INSTALLATION OF REPLACEMENT WINDOWS IT SHALL BE PERMITTED TO UTILIZE REMOVABLE SASH WINDOWS TO ACHIEVE THE REQUIRED MIN. CLEAR OPENINGS FOR EGRESS.
- 2 - EMERGENCY ESCAPES AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE
- 3 - WINDOWS PERFORMANCE DATA:
U-FACTOR: LoE = 0.32 W/ ARGON GAS FILL SHGC: LoE = 0.32
DP-RATING = DP-50
- 4 - AS PER 2015 IRC SECTION R312.2 - WINDOW SILL SHALL NOT BE LESS THAN 24" ABOVE FIN. FLOOR IF WINDOW SILL IS MORE THAN 72" ABOVE EXTERIOR FINISH GRADE.
EXCEPTIONS:
A) THE OPERABLE SECTION OF THE WINDOW SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.
B) OPENING IS PROVIDED WITH FALL PREVENTION DEVICE THAT COMPLIES WITH ASTM F 2090
C) WINDOW IS PROVIDED WITH OPENING CONTROL DEVICE THAT COMPLIES WITH 2015 IRC R312.2.2
- 5 - WINDOWS AND EXTERIOR DOORS SHALL BE TESTED AND LABELED TO WITHSTAND A MIN. OF 130 MPH WIND LOAD.
- 6 - SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING SHALL BE SEALED WITH NON-EXPANDING INSULATION AND CAULK OR BACKER ROD AND CAULK.

BATHROOM NOTES

- #1 - INTERIOR WALLS FOR CERAMIC TILE INSTALLATION, PROVIDE MULTI + WONDERBOARD, SUCH AS SHOWER TUB SURROUNDS IN DRY AREAS USE 1/2" W/R GYPSUM BOARD.
- #2 - FLOOR FOR CERAMIC TILE INSTALLATION - FLOOR + WONDERBOARD OVER PLYWOOD SUB-FLOOR.
- #3 - BATHROOM EXHAUST FAN DUCTED TO OUTSIDE PROVIDE WEATHER CAP.
- #4 - SHOWER LIGHT AND LIGHTING ABOVE WHIRLPOOL SHALL BE VAPOR PROOF.(IF APPLICABLE)
- #5 - PROVIDE WHIRLPOOL MOTOR SERVICE PANEL. (IF APPLICABLE)

MECHANICAL NOTES

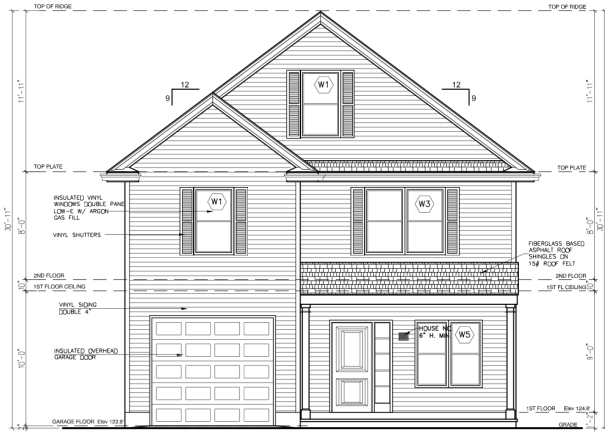
- #1 - NEW FURNACE TO BE HIGH EFFICIENCY GAS DIRECTED VENTED UNIT, AND SHALL BE INSTALLED AS PER MFR.'S RECOMMENDATIONS
- #2 - GAS DIRECTED VENTED WATER HEATER TO BE INSTALLED AS PER MFR.'S RECOMMENDATIONS

NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD. BRIDGEPORT CT

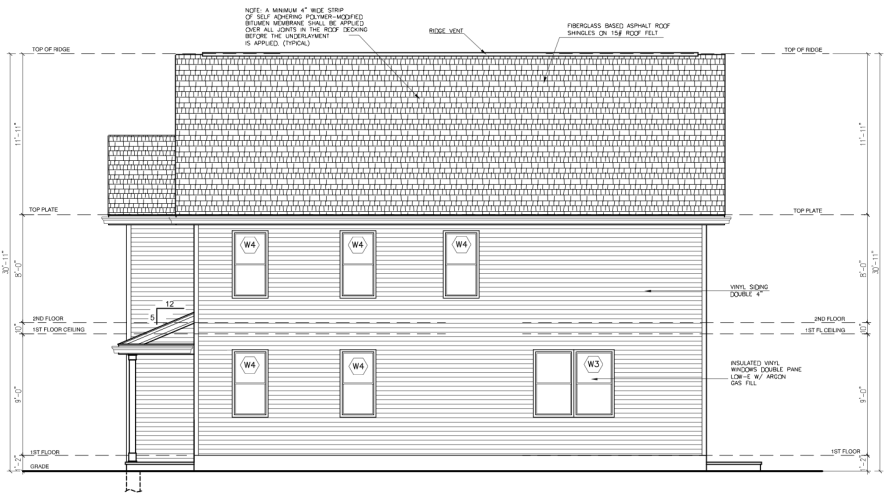
1ST FLOOR PLAN
2ND FLOOR PLAN
NOTES & SCHEDULES

date: 04-15-19
drawn: M. REINHEIMER
project #: MCR-2019-107
scale: AS NOTED
E-Mail: marc@reim.com

A-1



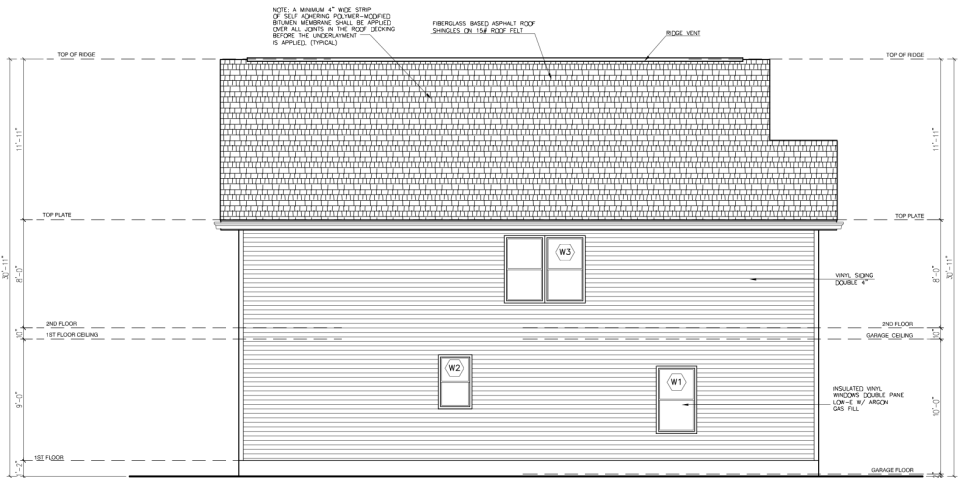
FRONT ELEVATION
SCALE 1/2" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/2" = 1'-0"



REAR ELEVATION
SCALE 1/2" = 1'-0"



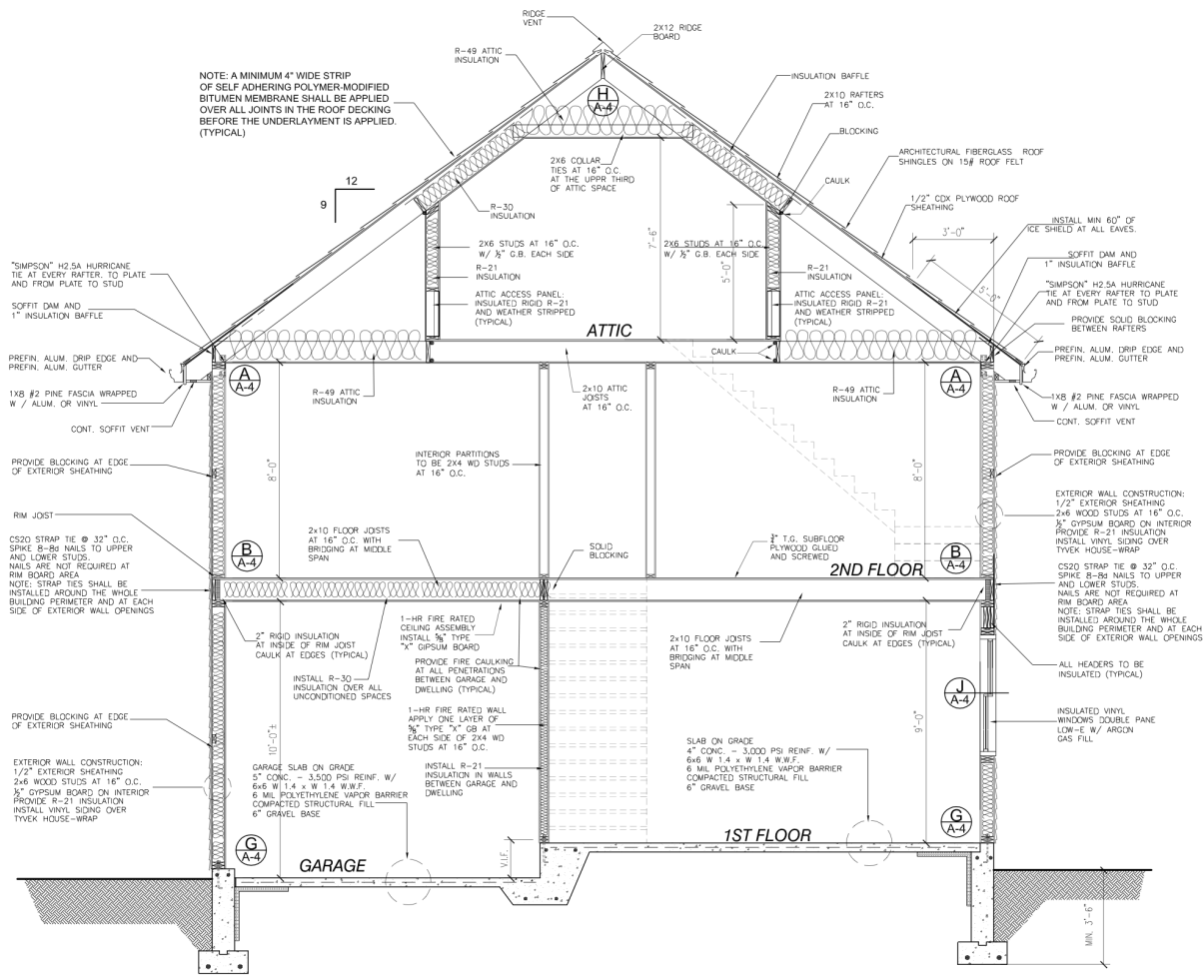
RIGHT SIDE ELEVATION
SCALE 1/2" = 1'-0"

1	2	3	4	5	6

NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD, BRIDGEPORT CT

ELEVATIONS	scale: AS NOTED
date: 04-15-19	project #: MCR-2019-107
drawn: M. REINHEIMER 203-448-6137	
E-Mail: mrcorp@mmrose@yahoo.com	

A-2



A
A-3 **CROSS SECTION**
SCALE 1/2" = 1'-0"

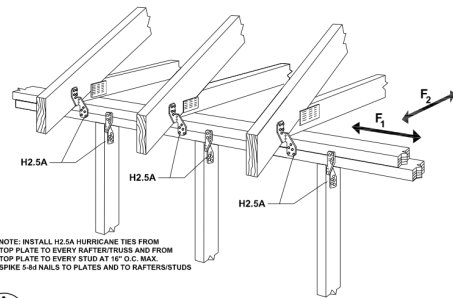
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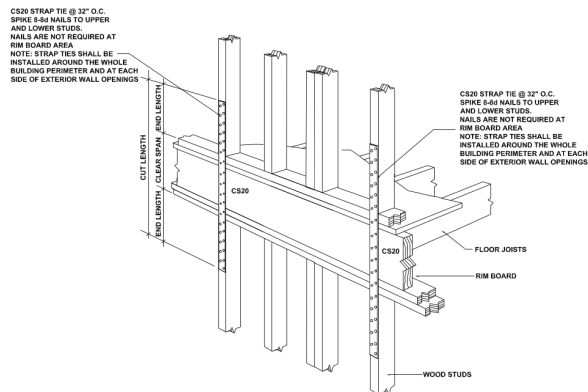
NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD, BRIDGEPORT CT

CROSS SECTION
date: 04-15-19
drawn: M. REINHEIMER
project #: MCR-2019-107
E-Mail: marc@reimrose@yahoo.com

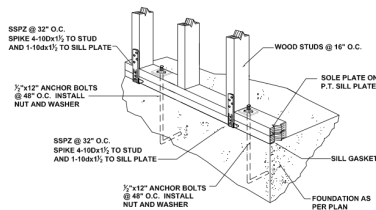
A-3



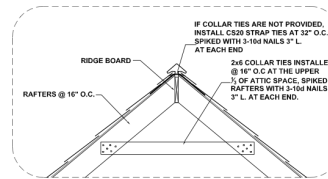
A
A-4
ROOF TO WALL ASSEMBLY
SCALE = NTS



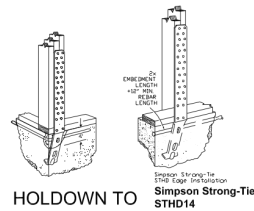
B
A-4
WALL TO WALL ASSEMBLY
SCALE = NTS



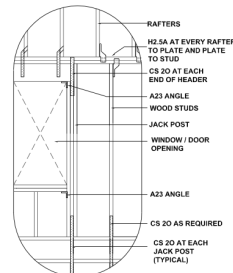
G
A-4
WALL TO SLAB ON GRADE
SCALE = NTS



H
A-4
TYPICAL STRAP TIE CONN.
ALONG RIDGE
SCALE 1/2\"/>



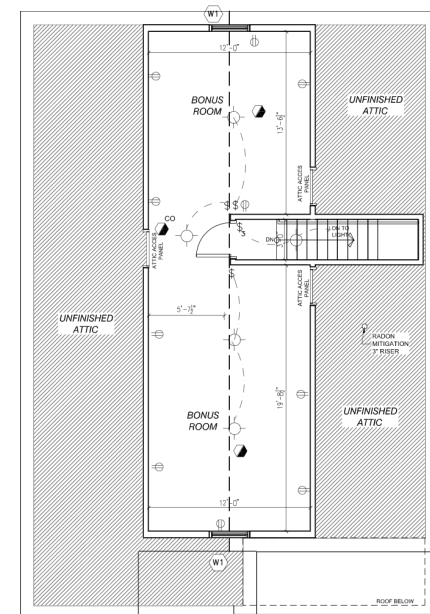
F
A-4
HOLDOWN TO FOUNDATION
SCALE = NTS



J
A-4
EXTERIOR OPENING
FRAME CONN. DETAIL
SCALE = NTS

WOOD FRAME CONNECTOR DESIGN FOR MAX. 130 MPH WINDS:

1. ALL CONNECTORS TO BE "SIMPSON" STRONG TIE
2. ALL DESIGNS ARE IN ACCORDANCE WITH THE LOAD REQUIREMENTS FOR WOOD CONSTRUCTION OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE WFCM 2001 EDITION AND SPECIFIED AS PER "SIMPSON" 2017-2018 CATALOG AND TECHNICAL BULLETIN.
3. ALL UPLIFT AND SHARE LOADS ON THIS DESIGN ARE TO ALLOW FOR A MAXIMUM MEMBER SPACING OF 24\"/>



ATTIC FLOOR PLAN
SCALE 1/2\"/>

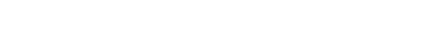
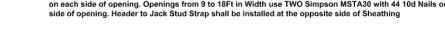
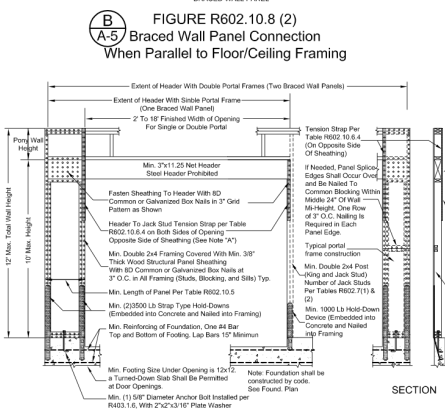
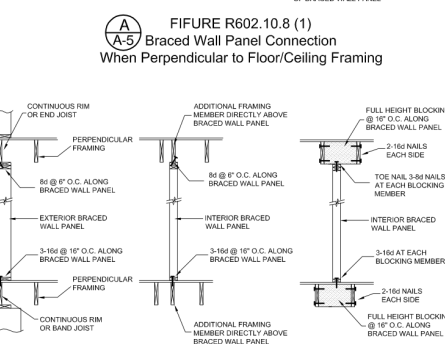
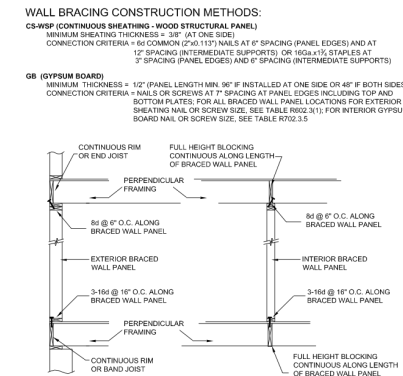
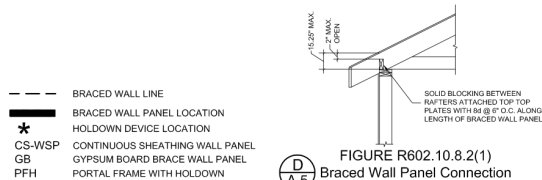
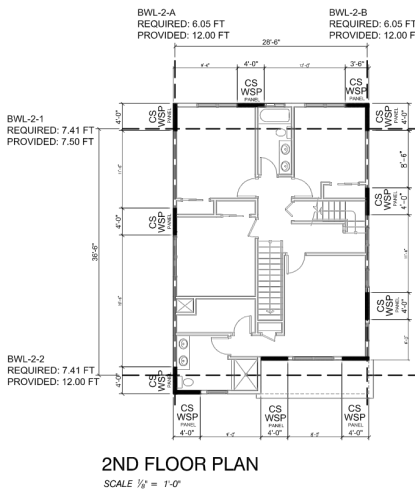
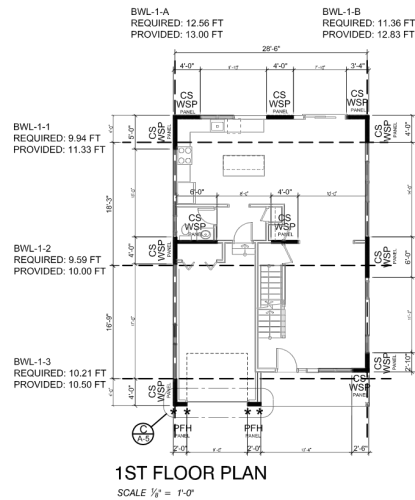
- SWITCH
- 3-WAY SWITCH
- LIGHT FIXTURE
- SMOKE DETECTOR AC/DC
- SMOKE & CARBON MONOXIDE DETECTOR AC/DC
- DUPLEX RECEPTACLE OUTLET

NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD, BRIDGEPORT CT

WOOD FRAME CONNECTOR DETAILS

scale: AS NOTED
project #: MCR-2019-107
date: 04-15-19
drawn: M. REINHEIMER 203-448-6137
E-Mail: mrc@corp.mrmc.com

A-4



WALL BRACING SCHEDULE													
Wind Speed mph	Braced Wall Line Spacing	Method	Minimum Length Req'd Table R602.10.3(1)	Exposure Category	Wave Height	Wall Height	Number of Braced Wall Panels	Additional Braced Wall Panels	Interior Braced Wall Panels	G.B. Bracing Y/N	Adjusted Minimum Length Required	Bracing Length Provided % Minimum	
1st Floor	BWL-1-1	CS-WSP	7.36 Ft	(B)	1	1.09	0.95	1.30	N	Y	N	9.94 Ft	11.33 Ft
1st Floor	BWL-1-2	CS-WSP	7.12 Ft	(B)	1	1.09	0.95	1.30	N	Y	N	9.99 Ft	10.80 Ft
1st Floor	BWL-1-3	PFH	6.88 Ft	(B)	1	1.09	1.17	1.31	N	Y	N	10.27 Ft	10.80 Ft
1st Floor	BWL-1-A	CS-WSP	10.97 Ft	(B)	1	1.09	1.05	1.00	N	Y	N	12.56 Ft	13.00 Ft
1st Floor	BWL-1-B	CS-WSP	10.97 Ft	(B)	1	1.09	0.95	1.00	N	Y	N	11.36 Ft	12.83 Ft
2nd Floor	BWL-2-1	CS-WSP	6.97 Ft	(B)	1	1.19	0.90	1.21	N	Y	N	7.41 Ft	7.50 Ft
2nd Floor	BWL-2-2	CS-WSP	6.97 Ft	(B)	1	1.19	0.90	1.00	N	Y	N	7.41 Ft	12.00 Ft
2nd Floor	BWL-2-A	CS-WSP	5.70 Ft	(B)	1	1.19	0.90	1.00	N	Y	N	6.05 Ft	12.00 Ft
2nd Floor	BWL-2-B	CS-WSP	5.70 Ft	(B)	1	1.19	0.90	1.00	N	Y	N	6.05 Ft	12.00 Ft

- NOTES:**
- THIS WALL-BRACING EVALUATION IS BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE IN COMPLIANCE WITH THE WALL-BRACING REQUIREMENTS OF SECTIONS R602.10, R602.11 AND R602.12 OF THE 2015 IRC.
 - ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES IN SEISMIC DESIGN CATEGORIES A AND B AND ONE- AND TWO-FAMILY DWELLINGS IN SEISMIC DESIGN CATEGORY C ARE EXEMPT FROM THE SEISMIC REQUIREMENTS OF THE IRC. THE LENGTH OF WALL BRACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TABLE R602.10.2(1) BASED ON WIND SPEED, INCLUDING ALL APPLICABLE ADJUSTMENT FACTORS (WIND SPEED USED BASED ON 10 MPH).
 - MIXING OF WALL BRACING METHODS SHALL BE PERMITTED WHEN IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R602.10.4.1 AS APPLICABLE.
 - BRACED WALL PANELS SHALL BEGIN WITHIN 10 FEET FROM EACH END OF A BRACED WALL LINE. THE DISTANCE BETWEEN THE EDGES OF ADJACENT WALL PANELS ALONG A BRACED WALL LINE SHALL NOT BE GREATER THAN 20 FEET.
 - BRACED WALL-LINE SPACING SHALL NOT EXCEED 60 FEET ON CENTER.
 - INTERIOR BRACED WALL-LINE SPACING IS THE GREATER OF THE DISTANCE BETWEEN TWO ADJACENT BRACED WALL LINES IN ACCORDANCE WITH FIGURE R602.10.1.1 OF THE 2015 IRC.
 - BRACED WALL PANELS SHALL BE CONNECTED TO RAFTERS AS PER FIGURES R602.10.8(1) AND R602.10.8(2) OF THE 2015 IRC.

TABLE R602.11 RAFTER OR TRUSS UPLIFT CONNECTION FORCES FROM WIND (Pounds per Connection) ^{a, b, c, d, e, h}													
RAFTER OR TRUSS SPACING	ROOF SPAN (ft)	EXPOSURE "B"											
		Ultimate Design Wind Speed (mph)											
		110		115		120		130		140		Roof Pitch	
		≤12	15:12	≤12	15:12	≤12	15:12	≤12	15:12	≤12	15:12		
12" O.C.	12	64	57	78	70	93	85	126	117	162	150		
	18	78	69	98	88	118	108	162	149	209	194		
	24	94	82	118	105	144	130	198	182	255	237		
	28	105	92	132	117	161	145	222	203	287	266		
	32	114	100	145	129	178	160	246	226	319	295		
	36	125	109	160	141	194	176	270	247	351	325		
	42	141	122	180	160	221	198	306	281	399	370		
48	157	136	201	178	246	221	343	314	447	414			

- UPLIFT LOADS AND CONNECTORS:**
- 1. MAX ROOF SPAN = 32'-0" WITH ROOF PITCH ≤ 12**
- A. LOAD AT RAFTER TO TOP PLATE =**
WIND LOAD OF 130 MPH AND FRAME AT 16" O.C. = 228 P.F.
A.T. CONNECTOR = "SIMPSON" H2A FROM EVERY RAFTER TO PLATE AND PLATE TO STUD AT MAX 16" O.C.
(AS AN ALTERNATE - WHERE RAFTERS ATTACHED WITH STUD BELOW CAN USE "SIMPSON" H2A)
- B. LOAD BETWEEN 1ST FLOOR TO FOUNDATION (AT TWO STORY) =**
228 P.F. × 60 (ONE FLOOR) = TOTAL LOAD = 1368 P.F.
B.1. CONNECTOR = "SIMPSON" C200 INSTALLED @ 32" O.C. WITH 18-NAIL BOLTS (8 AT EACH END TO STUDS)
- C. LOAD BETWEEN 1ST FLOOR TO FOUNDATION (AT TWO STORY) =**
228 P.F. × 120 (TWO FLOORS) = TOTAL LOAD = 2736 P.F.
C.1. CONNECTORS:
C.1.1. BASEMENT - "SIMPSON" C200 INSTALLED AT 48" O.C. WITH 12-NAIL BOLTS (8 AT EACH END NAIL FROM STUD TO RIM BOARD AND INSTALL "SIMPSON" SSP @ 32" O.C. FROM RIM BOARD TO PLATE
C.1.2. SLAB ON GRADE - "SIMPSON" SSP @ 32" O.C. FROM RIM BOARD TO PLATE
C.1.3. PLATE TO FOUNDATION - INSTALL 1/2" × 12" ANCHOR BOLTS @ 48" O.C. MIN. 7" EMBEDDED TO CONCRETE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES OR LESS THAN 4 INCHES FROM EACH END OF THE PLATE SECTION.
C.1.4. MIN. 1/4 INCH COLLAR TIES OR 20 GAUGE RIDGE STRIPS TO RESIST UPLIFT SHALL CONNECT THE ROOF RAFTERS. IN THE UPPER THIRD OF ATTIC SPACE NOT MORE THAN 48" O.C.

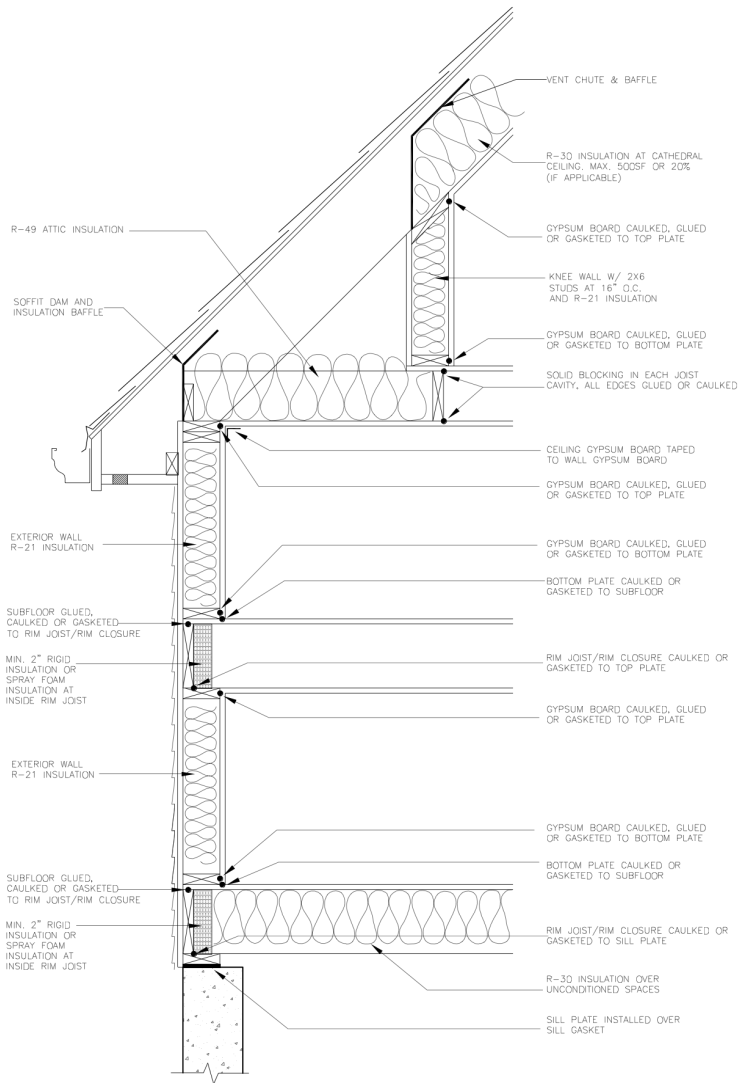
NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD, BRIDGEPORT CT

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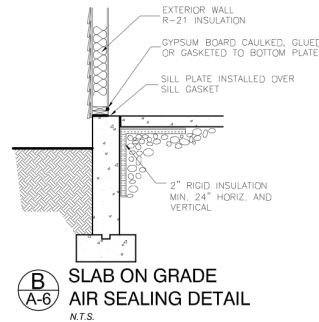
WALL BRACING COMPLIANCE PLAN

scale: AS NOTED
project: MCR-2019-107
date: 04-15-19
drawn: M. REINHEIMER 203-448-6137
E-Mail: marc@reim.com

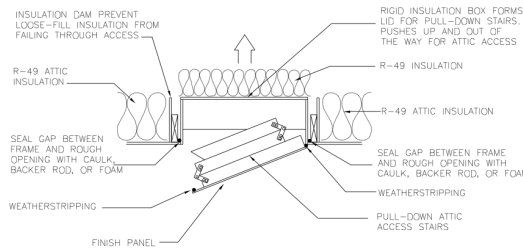
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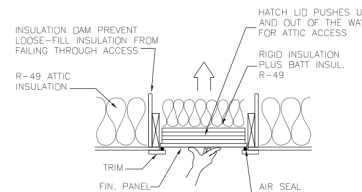
**THERMAL ENVELOPE
AIR BARRIER COMPLIANCE DETAIL**
N.T.S.



**SLAB ON GRADE
AIR SEALING DETAIL**
N.T.S.



**ATTIC PULL-DOWN STAIRS
AIR SEALING DETAIL**
N.T.S.



**ATTIC SCUTTLE
AIR SEALING DETAIL**
(ALTERNATE TO ATTIC PULL-DOWN STAIRS)
N.T.S.

AIR BARRIER AND INSULATION NOTES

NOTE: BUILDING THERMAL ENVELOPE TO COMPLY WITH SECTION "N1102" OF THE 2015 INTERNATIONAL RESIDENTIAL CODE

- 1 - INSULATION MINIMUM REQUIREMENTS:
- WOOD FRAME EXTERIOR WALLS = R-20 INSULATION
- CEILING/ATTIC = R-49 INSULATION
- CEILING/CATHEDRAL = R-30 (MAX 500SF OR 20% ROOF AREA)
- FLOOR OVER UNCONDITIONED SPACES = R-30 INSULATION
- SLAB ON GRADE = R-10 MIN. 2FT IN DEPTH.

- 2 - AIR BARRIER AND THERMAL BARRIER -
A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN BUILDING ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR PERMEABLE INSULATION SHALL NOT BE USED AS SEALING MATERIAL.

- 3 - CEILING / ATTIC -
THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED AND INSULATED.

- 4 - EXTERIOR WALLS -
CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.

- 5 - WINDOWS, SKYLIGHTS AND EXTERIOR DOORS -
THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.

- 6 - RIM JOISTS -
RIM JOISTS SHALL BE INSULATED AND SEALED AND INCLUDE THE AIR BARRIER.

- 7 - FLOORS OVER UNCONDITIONED SPACES -
INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.

- 8 - SHAFTS, PENETRATIONS -
DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.

- 9 - GARAGE SEPARATION -
AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.

- 10 - RECESSED LIGHTING -
RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, "IC" RATED, AND SEALED TO THE DRYWALL.

- 11 - PLUMBING AND WIRING -
BATT INSULATION SHALL CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.

- 12 - SHOWER/TUB ON EXTERIOR WALL -
EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWER AND TUBS. INSTALL DRAFT STOP SHEATHING BEHIND SHOWER AND TUBS ON EXTERIOR WALLS.

- 13 - ELECTRICAL/PHONE BOX ON EXTERIOR WALLS -
THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMM. BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.

- 14 - HVAC REGISTER BOOTS -
HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL.

- 15 - FIREPLACE - (IF APPLICABLE)
AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACE SHALL HAVE GASKETED DOORS.



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NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD. BRIDGEPORT CT

THERMAL ENVELOPE AIR BARRIER COMPLIANCE PLAN		scale: AS NOTED	project #
date: 04-15-19	drawn: M. REINHEIMER	203-448-6137	MCR-2019-107
E-Mail: mrc@mcgrm.com		mrc@mcgrm.com	

A-6

#1 - ALL ROOF PLYWOOD SHEATHING PROVIDE
PLYWOOD SHEATHING CLIPS - "SIMPSON" PSC

#2 - INSTALL SEISMIC AND HURRICANE ANCHORS ON EVERY RAFTER
OR EVERY ROOF WOOD TRUSS TO BEARING WALL OR BEAM

#3 - ACCESSIBLE ATTIC ACCESS - A READILY ACCESSIBLE ATTIC
ACCESS FRAMED OPENING NOT LESS THAN 22 INCHES BY
30 INCHES SHALL BE PROVIDED TO ANY ATTIC AREA HAVING
A CLEAR HEIGHT OF OVER 30 INCHES.
HATCH TO BE FULLY WEATHER-STRIPPED AND
INSULATED ABOVE ACCESS PANEL OR PULLDOWN STAIRS

#4 - PROVIDE WINTERGUARD (ICE & WATER PROTECTION)
AT ALL EAVES , VALLEYS.
ALL ROOF FLASHING FOR ASPHALT SHINGLES SHALL
BE OF NON CORROSIVE MATERIAL.

#5 - THE STRUCTURAL WOOD JOISTS, RAFTERS, AND
STUDS, SHOWN ON THESE DRAWINGS WILL BE
DOUGLAS FIR-LARCH NO. 2 OR BETTER WITH
MINIMUM ALLOWABLE STRENGTH OF FB=1,
1,350 PSI, Fv=185 PSI, AND E=1,700,000 PSI.

1. PROVIDE STANDARD METAL HANGERS FOR ALL FLUSH CONNECTIONS
2. INSTALL DOUBLE JOISTS UNDER BATH TUB LOCATIONS
3. INSTALL RIM JOIST AROUND HOUSE PERIMETER
4. PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION.
5. ALL HEADERS TO BE INSTALLED WITH KING & JACK STUDS AT EACH END
6. ALL HEADERS AT EXTERIOR WALLS SHALL BE INSULATED.

- A - SPANS UP TO 14'-0" USE ONE ROW
AT CENTER OF SPAN
- B - SPANS FROM 14'-0" TO 21'-0" USE TWO ROWS
AT 1/3 POINTS OF SPAN
- C - SPANS FROM 21'-0" TO 32'-0" USE THREE ROWS
AT 1/4 POINTS OF SPAN
- D - PROVIDE SOLID BRIDGING UNDER ALL BEARING
PARTITIONS PERPENDICULAR TO JOIST

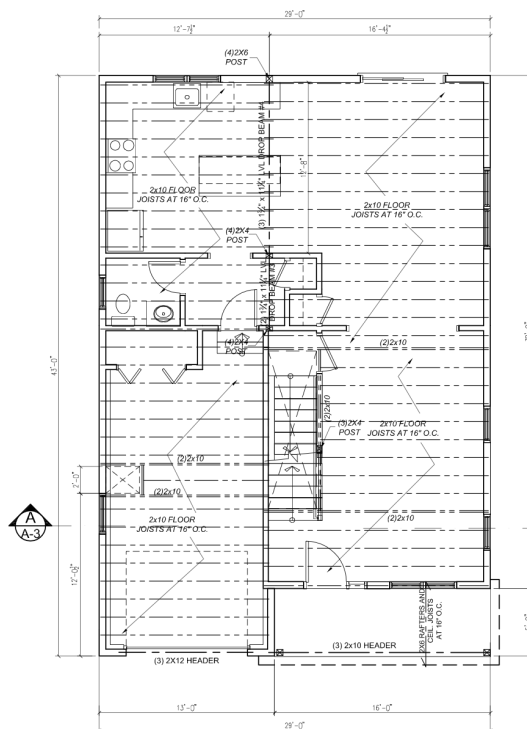
PROVIDE 3-2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED ON PLAN

PROVIDE DOUBLE JOIST UNDER BATHTUB

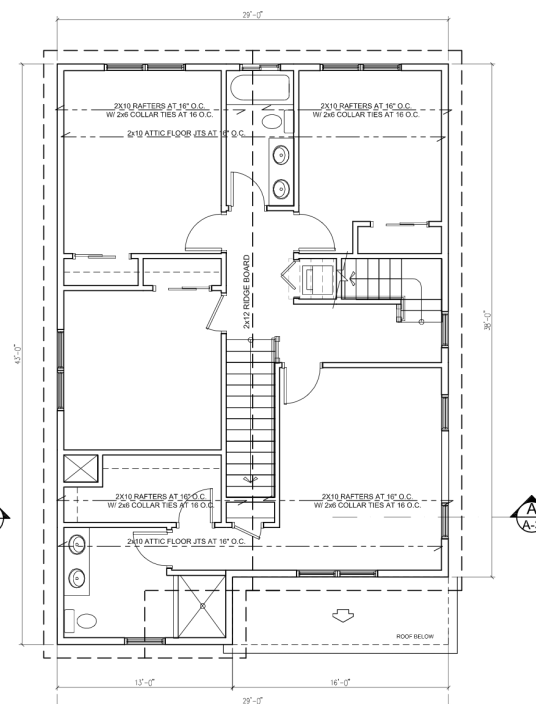
PROVIDE DOUBLE JOIST AROUND STAIR OPENING

PROVIDE STANDARD METAL JOIST HANGERS FOR ALL FLUSH FRAMED CONNECTIONS

ALL HEADERS TO BE INSTALLED WITH KING AND JACK STUDS AT EACH END



SCALE $\frac{1}{4}" = 1'-0"$



SCALE $\frac{1}{4}" = 1'-0"$

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NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD, BRIDGEPORT CT

FRAMING PLANS	date:	04-15-19	scale:	AS NOTED
	drawn:	M. REINHWEIMER 203-449-6137	project #:	MCR-2019-107

ROOF CONSTRUCTION NOTES:

- #1 - ALL ROOF PLYWOOD SHEATHING PROVIDE PLYWOOD SHEATHING CLIPS - "SIMPSON" PSC
- #2 - INSTALL SEISMIC AND HURRICANE ANCHORS ON EVERY RAFTER OR EVERY ROOF WOOD TRUSS TO BEARING WALL OR ROOF BEAM
- #3 - ACCESSIBLE ATTIC ACCESS - A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22 INCHES BY 30 INCHES SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES. HATCH TO BE FULLY WEATHER-STRIPPED AND INSULATED ABOVE ACCESS PANEL OR PULldOWN STAIRS
- #4 - PROVIDE WINTERGUARD (ICE & WATER PROTECTION) AT ALL EAVES , VALLEYS. ALL ROOF FLASHING FOR ASPHALT SHINGLES SHALL BE OF NON CORROSIVE MATERIAL.
- #5 - THE STRUCTURAL WOOD JOISTS, RAFTERS, AND STUDS, SHOWN ON THESE DRAWINGS WILL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER WITH MINIMUM ALLOWABLE UNIT STRESSES OF FB= 1,350 PSI , FV= 95 PSI, AND E= 1,700,000 PSI.

GENERAL NOTES:

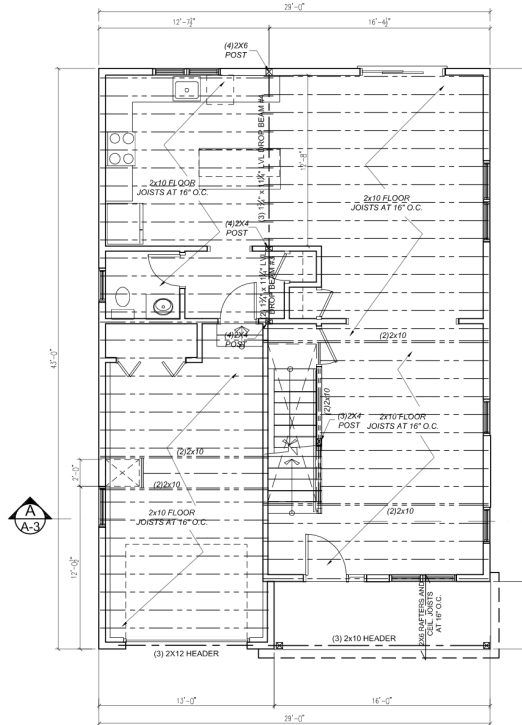
1. PROVIDE STANDARD METAL HANGERS FOR ALL FLUSH CONNECTIONS
2. INSTALL DOUBLE JOISTS UNDER BATH TUB LOCATIONS
3. INSTALL RIM JOIST AROUND HOUSE PERIMETER
4. PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION.
5. ALL HEADERS TO BE INSTALLED WITH KING & JACK STUDS AT EACH END
6. ALL HEADERS AT EXTERIOR WALLS SHALL BE INSULATED.

BRIDGING NOTES

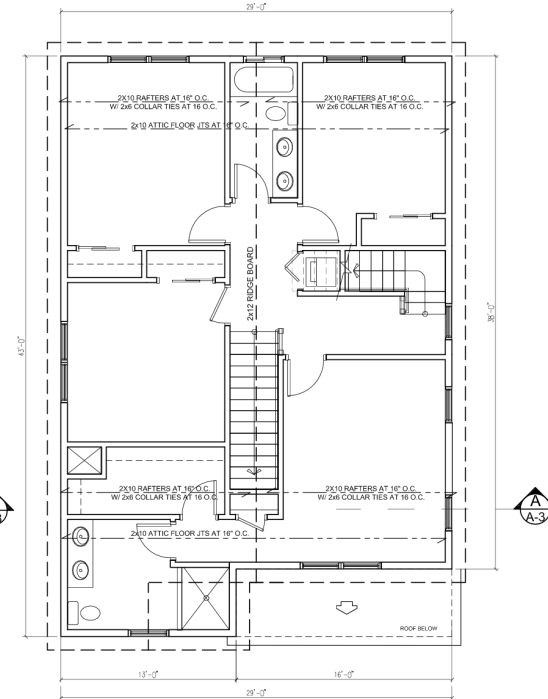
- A - SPANS UP TO 14'-0" USE ONE ROW AT CENTER OF SPAN
B - SPANS FROM 14'-0" TO 21'-0" USE TWO ROWS AT 1/3 POINTS OF SPAN
C - SPANS FROM 21'-0" TO 32'-0" USE THREE ROWS AT 1/4 POINTS OF SPAN
D - PROVIDE SOLID BRIDGING UNDER ALL BEARING PARTITIONS PERPENDICULAR TO JOIST

HEADER NOTES

- PROVIDE 3-2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED ON PLAN
PROVIDE DOUBLE JOIST UNDER BATHTUB
PROVIDE DOUBLE JOIST AROUND STAIR OPENING
PROVIDE STANDARD METAL JOIST HANGERS FOR ALL FLUSH FRAMED CONNECTIONS
ALL HEADERS TO BE INSTALLED WITH KING AND JACK STUDS AT EACH END



2ND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



1	2	3	4	5	6
REVISIONS					

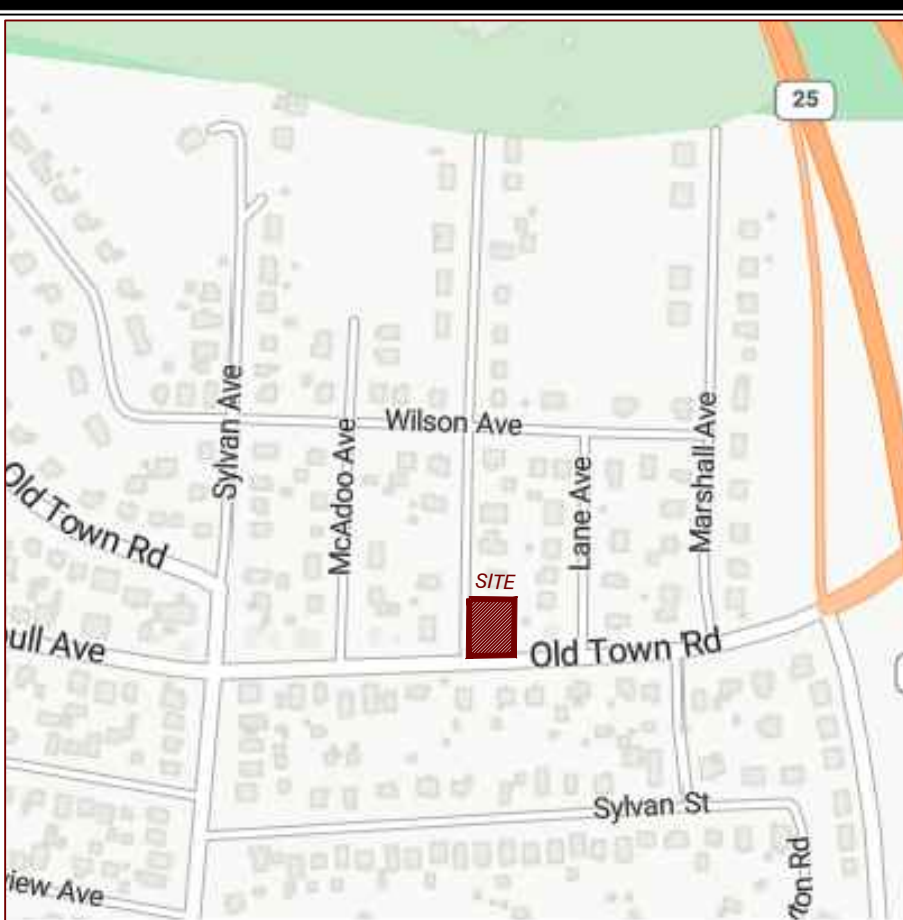
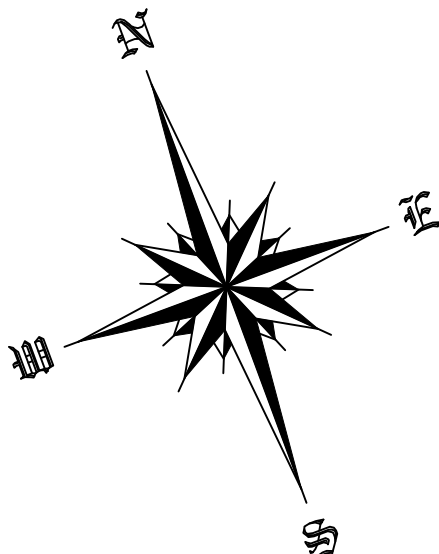
NEW SINGLE FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
260 OLD TOWN RD, BRIDGEPORT CT

ELECTRICAL PLANS	date:	scale: AS NOTED
	04-15-19	project #
	drawn:	M. REINHEIMER 203-448-6137
	E-Mail:	marcorp@ymail.com

E-1

STANDARD	MAXIMUM/ALLOWED		EXISTING CONDITIONS		LOT A		LOT B	
Minimum Lot Area (Sq. Ft.)	21,780		12,820± SF		6,820± SF		6,000± SF	
Minimum Lot Frontage (Ft.)	125.0'		234.92'		74.20'		60.00'	
Minimum Floor Area (Sq.Ft.)	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor
1 Story	1200	---	500± SF	N/A	N/A	N/A	N/A	N/A
1 1/2 Story	900	500	N/A	N/A	N/A	N/A	N/A	N/A
2 Story	900	800	N/A	N/A	1180	1180	1180	1180
Maximum Height for a Building or Structure	35.0'		15.4'		30'±		30'±	
Minimum Front Yard (Ft.)	50.0'		19.5'		21.0'		21.0'	
Minimum Side Yard (Ft.)	20.0'		60.1'		15.5'		15.5'	
Minimum Rear Yard (Ft.)	50.0'		63.9'		36.0'		36.0'	
Maximum Lot Coverage	25.0%		4.9%		24.1%		27.5%	
Maximum Floor Area Ratio (F.A.R.)	0.29		0.039		0.346		0.393	

BUILDING ZONE: A



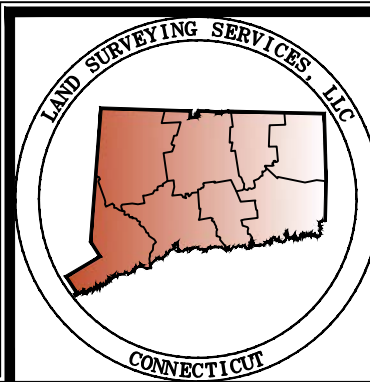
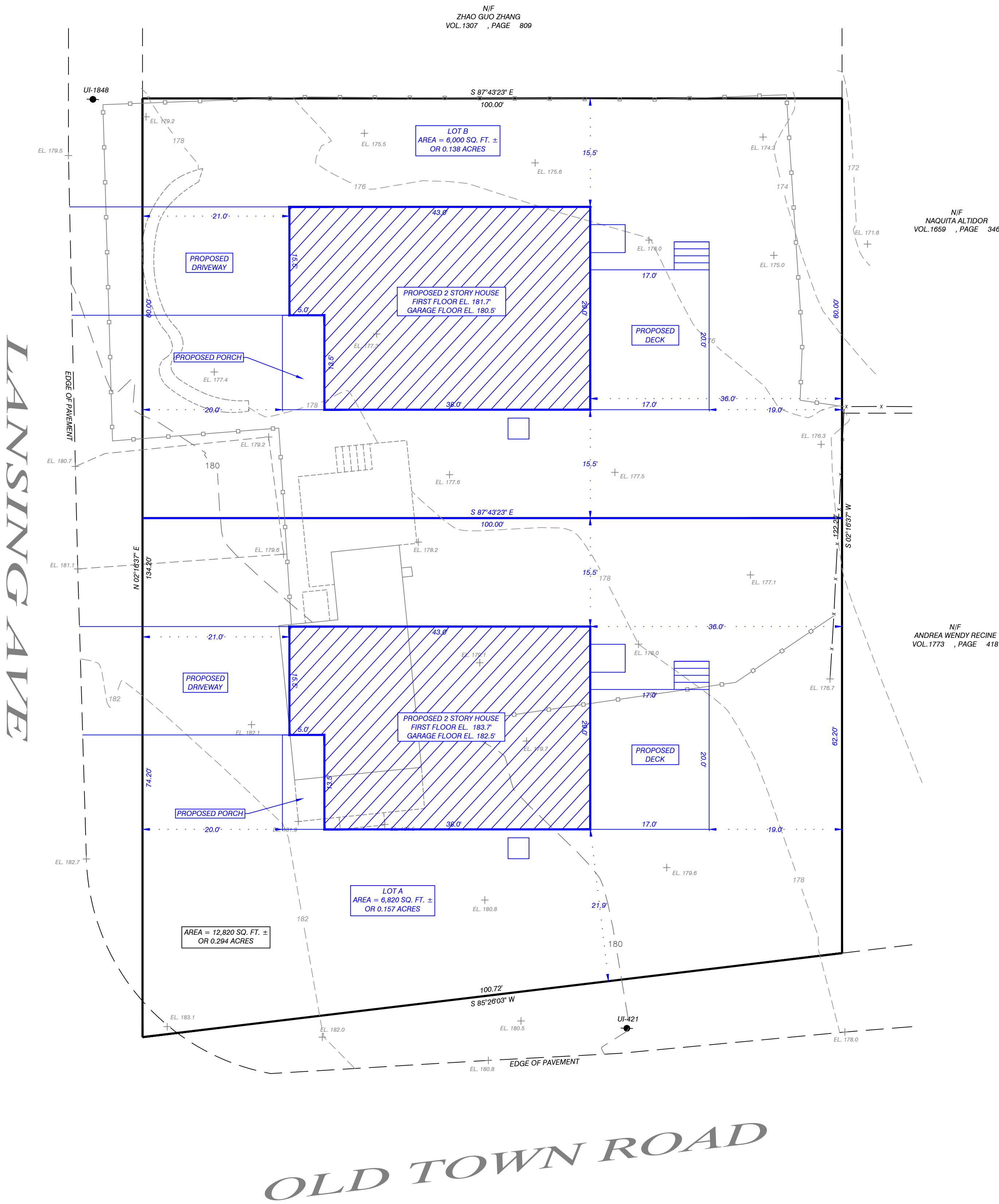
LOCATION MAP

GENERAL NOTES:

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on CT State Plane NAD83.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.

MAP REFERENCES:

- RECORD MAP #27



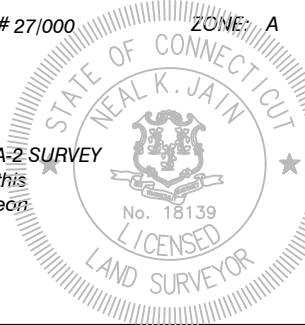
LAND SURVEYING SERVICES, LLC
1275 POST ROAD, SUITE A-20
FAIRFIELD, CONNECTICUT 06824
TEL. (203) 522-4177
FAX. (203) 615-0123
EMAIL: info@A2survey.com

RES:KK SKT:LL PL:NV MAP:LL DWG: 2002119

TITLE BLOCK
ASSESSORS MAP # H112 , PARCEL # 27/000
APPLICANT: SAME AS OWNER

DESCRIPTIVE TITLE: CLASS A-2 SURVEY
To the best of my knowledge and belief this map is substantially correct as noted hereon.

NEAL K. JAIN L.S. # 18139



DATE:	DESCRIPTION
	REVISIONS

LOT DIVISION MAP
PREPARED FOR
AILTON GONCALVES
260 OLD TOWN ROAD, TRUMBULL, CONNECTICUT

10 0 20 40

SCALE: 1"= 20'

DATE: MAR. 20, 2025

Date Received: _____

Application #: **25-30**

ZONING BOARD OF APPEALS

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- a. Variance of the Trumbull Zoning Regulations X
- b. Appeal from Order of the Zoning Enforcement Officer
- c. Approval of Location for a Gasoline Station, Limited
Repairer's License or General Repairer's License.

2. Location of Subject Premises:

House and Street: 260 Old Town Road

Assessor's Map No. H12 Parcel No. 27 Lot No. --

Trumbull Land Records: Volume(s) 1930 Page(s) 576

Zoning District: A

3. Name of Applicant: Ailton Goncalves & Luis Vaz

Street Address: 179 William Street

City: Bridgeport ST: CT Zip: 06608 Email: [REDACTED]

Phone: Day 203-650-3916 Signed by: Ailton Goncalves Evening 203-650-3916 Signed by: [Signature]

SIGNATURE OF APPLICANT Ailton Goncalves [Signature]
(If agent, state capacity)

4. Owner of Record: Ailton Goncalves & Luis Vaz

Street Address: 179 William Street

City: Bridgeport ST: CT Zip: 06608 Signed by: Ailton Goncalves Email: [REDACTED]

SIGNATURE OF OWNER OF RECORD Ailton Goncalves [Signature]

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- ☒ Setbacks (front, side, rear)
☐ Floor Area
☐ Lot Area
☐ Lot Coverage
☐ Damage Reconstruction
☐ Parking
☐ Extension of enlargement of a non-conforming use or building
☐ Other (explain) _____

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) _____ PARAGRAPH(S) _____
SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

Yes. Variance application heard by ZBA on 11/5/2025.
ZBA voted to table decision until 12/3/2025 meeting.

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHEN APPLICABLE: See attached.

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

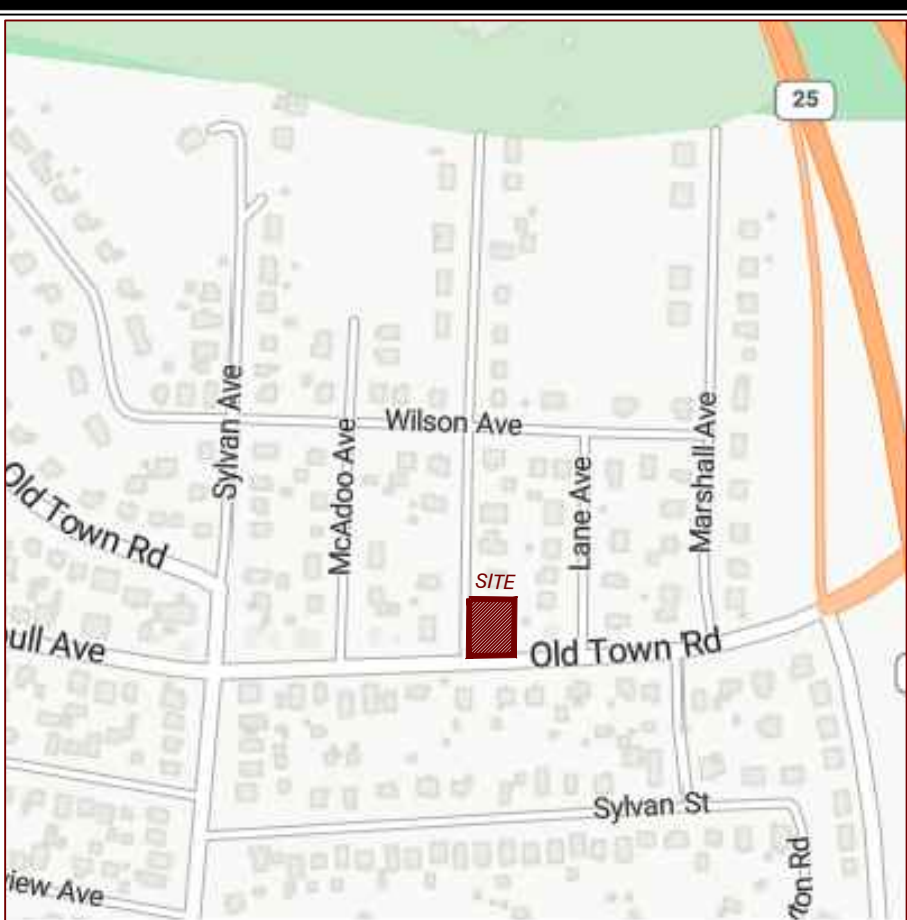
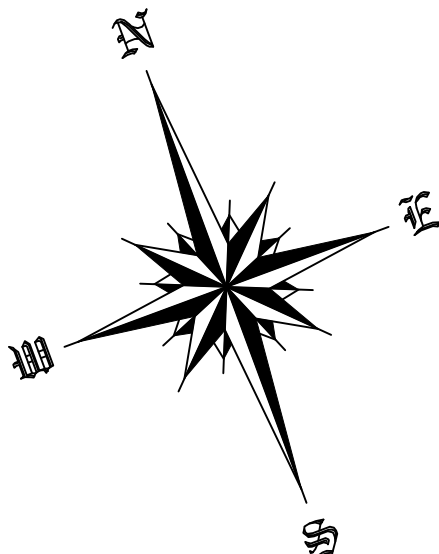
See attached.

4. Requesting variance of Article III bulk standards as applied to properties in the Residence A Zone, specifically to vary the Article III Bulk Standards as applied to properties in the Residence A Zone, specifically to vary Minimum Front Yard setbacks on a corner lot, from 50' to 21' (-29') on Lansing Street and from 50' to 21.9' (-28.1') on Old Town Road for Lot A to allow the subdivision of one lot into two lots and the construction of two single family houses thereon.

5. The hardship is based on the unique size of the property, the strict application of the zoning regulations as applied to this property and the legal principle of fundamental fairness which requires this property to be afforded parity with other residential properties and uses in the immediate neighborhood. The lot as it exists is an outlier in that it is substantially larger than the majority of the lots in the neighborhood and, therefore, in its current size, is not in conformity with the comprehensive plan. The reduced proposed Lots A and B, conversely, conform to the majority of the neighboring lots, do not adversely impact the neighboring lots in any way, and thus are in full compliance with the comprehensive plan.

STANDARD	MAXIMUM/ALLOWED		EXISTING CONDITIONS		LOT A		LOT B	
Minimum Lot Area (Sq. Ft.)	21,780		12,820± SF		6,820± SF		6,000± SF	
Minimum Lot Frontage (Ft.)	125.0'		234.92'		74.20'		60.00'	
Minimum Floor Area (Sq.Ft.)	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor
1 Story	1200	---	500± SF	N/A	N/A	N/A	N/A	N/A
1 1/2 Story	900	500	N/A	N/A	N/A	N/A	N/A	N/A
2 Story	900	800	N/A	N/A	1180	1180	1180	1180
Maximum Height for a Building or Structure	35.0'		15.4'		30'±		30'±	
Minimum Front Yard (Ft.)	50.0'		19.5'		21.0'		21.0'	
Minimum Side Yard (Ft.)	20.0'		60.1'		15.5'		15.5'	
Minimum Rear Yard (Ft.)	50.0'		63.9'		36.0'		36.0'	
Maximum Lot Coverage	25.0%		4.9%		24.1%		27.5%	
Maximum Floor Area Ratio (F.A.R.)	0.29		0.039		0.346		0.393	

BUILDING ZONE: A



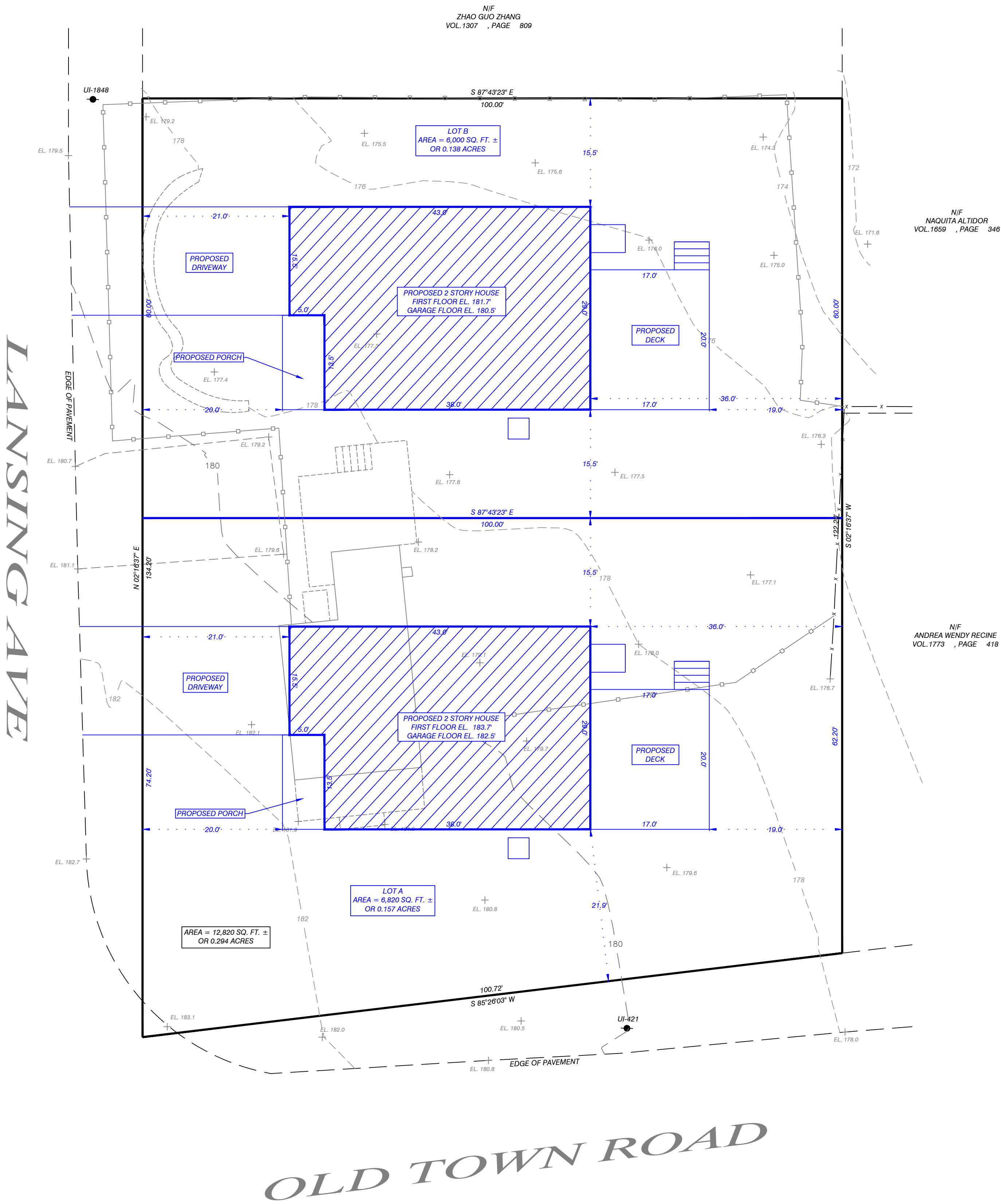
LOCATION MAP

GENERAL NOTES:

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on CT State Plane NAD83.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.

MAP REFERENCES:

- RECORD MAP #27



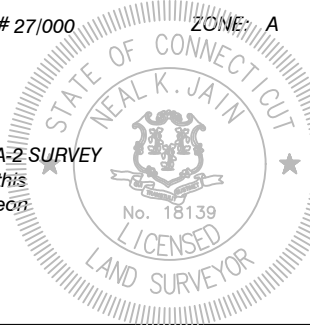
LAND SURVEYING SERVICES, LLC
1275 POST ROAD, SUITE A-20
FAIRFIELD, CONNECTICUT 06824
TEL. (203) 522-4177
FAX. (203) 615-0123
EMAIL: info@A2survey.com

RES:KK SKT:LL PL:NU MAP:LL DWG: 2002119

TITLE BLOCK
ASSESSORS MAP # H112 , PARCEL # 27/000
APPLICANT: SAME AS OWNER

DESCRIPTIVE TITLE: CLASS A-2 SURVEY
To the best of my knowledge and belief this map is substantially correct as noted hereon.

NEAL K. JAIN L.S. # 18139



DATE:	DESCRIPTION
	REVISIONS

LOT DIVISION MAP
PREPARED FOR
AILTON GONCALVES
260 OLD TOWN ROAD, TRUMBULL, CONNECTICUT

10 0 20 40

SCALE: 1"= 20'

DATE: MAR. 20, 2025

Date Received: 12/4/25

Application #: 26-01

ZONING BOARD OF APPEALS

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- a. Variance of the Trumbull Zoning Regulations X
- b. Appeal from Order of the Zoning Enforcement Officer _____
- c. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. _____

2. Location of Subject Premises:

House and Street: 18 FERN CIRCLE And 32 Fern Circle

Assessor's Map No. 09 Parcel No. 150 Lot No. _____

Trumbull Land Records: Volume(s) 1951 Page(s) 867

Zoning District: _____

3. Name of Applicant: 125 Fernwood Rd

Street Address: Owen Pollyann K Est c/o Owen Timothy K. ↩

City: Trumbull ST: CT Zip: 06611 Email: _____

Phone: Day 203-218-1317 Evening 203-452-7465

SIGNATURE OF APPLICANT Timothy K Owen Executor
(If agent, state capacity)

4. Owner of Record: Owen Pollyann K Est c/o Owen Timothy K.

Street Address: 125 Fernwood Rd

City: Trumbull ST: CT Zip: 06611 Email: _____

SIGNATURE OF OWNER OF RECORD Timothy K Owen Executor

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

☐ Setbacks (front, side, rear)
☐ Floor Area
☐ Lot Area
☒ Lot Coverage
☐ Damage Reconstruction
☐ Parking
☐ Extension of enlargement of a non-conforming use or building
☐ Other (explain) _____

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) - PARAGRAPH(S) -
SUBPARAGRAPH(S) -

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

NO

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY

WHEN APPLICABLE: the lot line revision will modify
32 Fern Circle lot size from 0.558 acres to 0.75 acres.
Additionally, 18 Fern Circle will modify
from 0.81 acres to 0.61 acres.

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

The Revision will allow a greater distance
between the 32 Fern Circle house and property
line as well as straighten out the line
between the two properties. Neither property
creates a smaller lot size than already
exists and will keep a similar relationship
with surrounding properties.

CURRENT OWNER		TOPO	UTILITIES	STRT/ROAD	LOCATION	CURRENT ASSESSMENT				6144 TRUMBULL, CT VISION								
OWEN POLLYANN K EST						Description	Code	Appraised	Assessed									
C/O OWEN TIMOTHY K						RES LAND	1-1	234,200	163,940									
125 FERNWOOD RD						DWELLING	1-3	239,800	167,860									
TRUMBULL CT 06611		SUPPLEMENTAL DATA																
		Alt Prcl ID 00981000 Census Tr 0905 Fire Dist: N: Border Pro Voting Dist			Dev Lot: LOT 41 Survey Ma BNDRY LINE AG Survey Ma Section #: A3 CB Letter:													
		GIS ID 00981000			Assoc Pid#			Total		474,000	331,800							
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)										
OWEN POLLYANN K EST		1951 0867	08-21-2025	U	I	0	04	Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed		
OWEN HENRY E S & POLLY ANN		0264 0135	12-13-1972	U	I	0		2024	1-1	163,940	2023	1-1	163,940	2022	1-1	163,940		
									1-3	167,860		1-3	167,860		1-3	167,860		
								Total		331,800	Total		331,800	Total		331,800		
EXEMPTIONS				OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor										
Year	Code	Description		Amount	Code	Description	Number	Amount	Comm Int									
Total				0.00														
ASSESSING NEIGHBORHOOD																		
Nbhd		Nbhd Name		B	Tracing		Batch											
5																		
NOTES																		
IG 14 X 24 FUS ADDN 2005 MK-05																		
BUILDING PERMIT RECORD																		
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments		Date	Id	Type	Is	Cd	Purpose/Result			
5451 E	11-19-2004	AD	Addition	39,000	04-15-2005	100		KITCH ADD & REMOD		08-05-2021	MVS	1		65	Datamailer No Change			
										06-19-2015	PG	6	1	61	Data Mailer Return			
										04-15-2005	HH	1	1	00	Measur+Listed			
										04-06-2005	HH	1		01	Measured			
LAND LINE VALUATION SECTION																		
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes		Location Adjustmen	Adj Unit P	Land Value	
1	101	Single Family Re	AA			0.840 AC	202,400.00	1.14078	5	1.05	515	1.150			1.0000	278,806	234,200	
Total Card Land Units						0.84 AC	Parcel Total Land Area						0.84	Total Land Value				234,200

Property Location 18 FERN CIRCLE
Vision ID 8406

Account # 00981000

Map ID I/09 / 00150/ 000/
Bldg # 1

Bldg Name
Sec # 1 of 1

Card # 1 of 1

State Use 101
Print Date 10/8/2025 2:22:17 PM

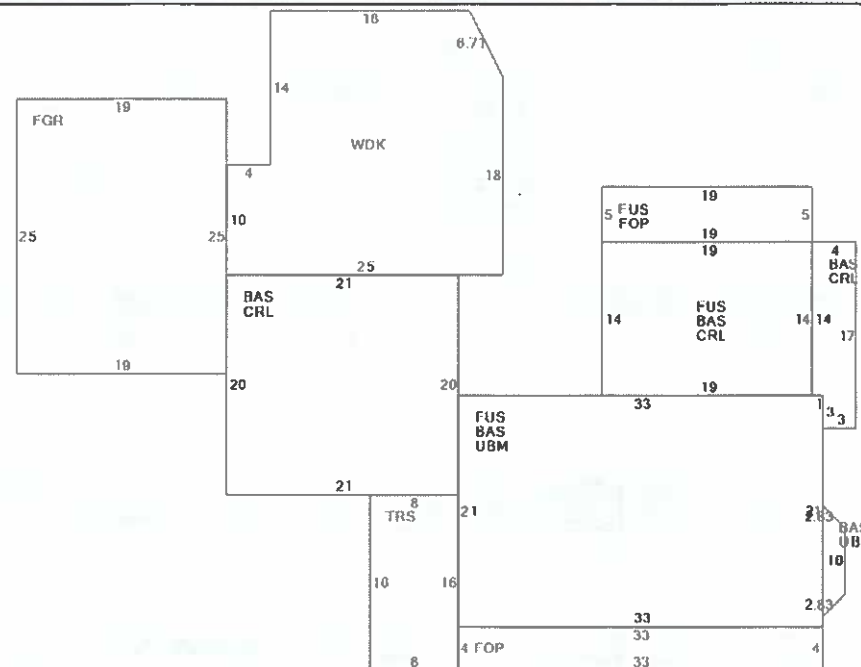
CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	03	Colonial			
Model	01	Residential			
Grade:	13	B-1			
Stories:	2	2 Stories			
Occupancy	1				
Exterior Wall 1	25	Vinyl Siding			
Exterior Wall 2					
Roof Structure:	03	Gable			
Roof Cover	03	Asph/F GlS			
Interior Wall 1	05	Drywall			
Interior Wall 2	03	Plastered			
Floor Covering	12	Hardwood			
Alt. Floor Cover	18	Slate			
Heat Fuel	02	Oil			
Heat Type:	05	Hot Water			
AC Type:	01	None			
Total Bedrooms	03	3 Bedrooms			
Total Bthrms:	2	2 Full Baths			
Total Half Baths	1	1 Half Bath			
Total Xtra Fixtrs					
Total Rooms:	7	7 Rooms			
Bath Style:	02	Average			
Kitchen Style:	03	Modern			
Total Kitchens	1				
Total Elec Meter	1				

CONDO DATA			
Parcel Id	C	Owne	
		B	S
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			

COST / MARKET VALUATION	
Building Value New	327,149
Year Built	1936
Effective Year Built	1990
Depreciation Code	A
Remodel Rating	M
Year Remodeled	2005
Depreciation %	31
Functional Obsol	
External Obsol	
Trend Factor	1
Condition	
Condition %	
Percent Good	69
RCNLD	225,700
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL	Fireplace	B	2	5000.00	1990	A	69	00	1.00	6,900
FBM	FBsmt	B	325	30.00	1990		69	00	1.00	6,700
PAT1	Patio Br	L	100	10.50	1987		50	3	1.00	500

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,460	1,460	1,460	105.52	154,053
CRL	Crawl Space	0	751	0	0.00	0
FGR	Attached Garage	0	475	190	42.21	20,048
FOP	Open Porch	0	227	45	20.92	4,748
FUS	Finished Upper Story	1,054	1,054	1,054	105.52	111,214
TRS	Stone Terrace	0	128	19	15.66	2,005
UBM	Unfinished Basement	0	709	142	21.13	14,983
WDK	Wood Deck	0	535	54	10.65	5,698
Ttl Gross Liv / Lease Area		2,514	5,339	2,964		312,749



109-150 05/10/2015

Property Location 32 FERN CIRCLE
Vision ID 997

Account # 00670100

Map ID I/09 / 00145/ 000/
Bldg # 1

Parcel Name
Sec # 1 of 1

Card # 1 of 1

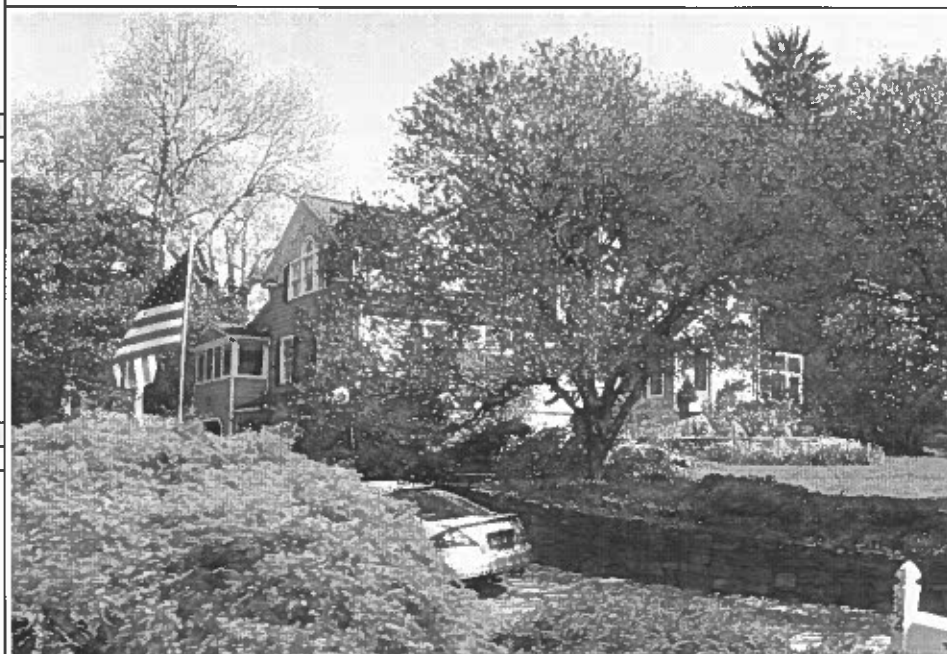
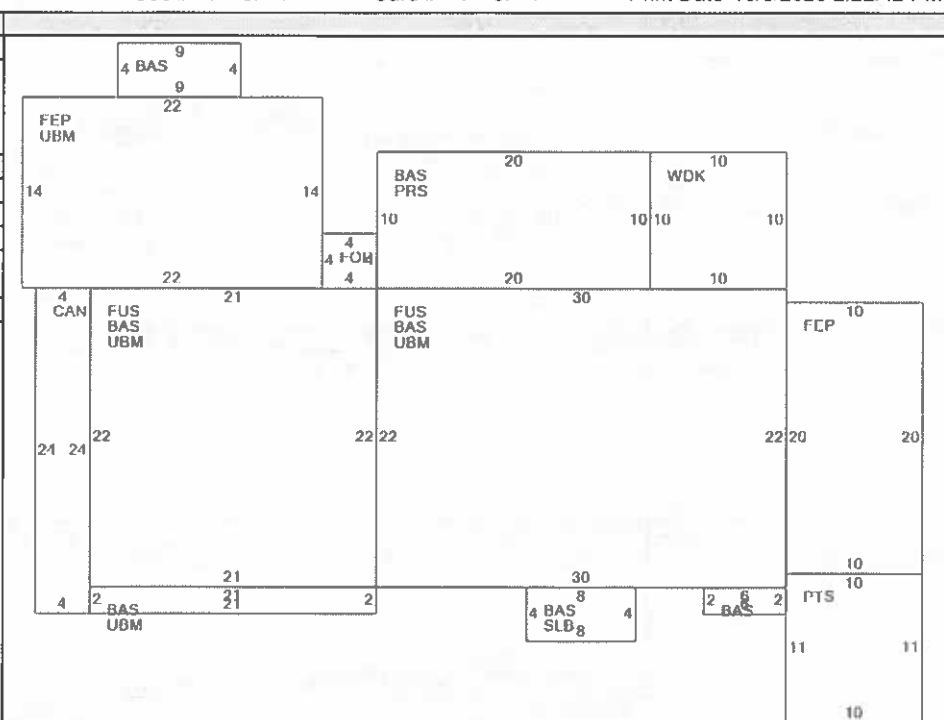
State Use 101
Print Date 10/8/2025 2:22:41 PM

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				6144 TRUMBULL, CT VISION									
BOLLERT BRYCE F & KAREN A 32 FERN CIRCLE TRUMBULL CT 06611		<div>SUPPLEMENTAL DATA</div> <div>Alt Prcl ID 00670100 Census Tr 0905 Fire Dist: N: Border Pro Voting Dist GIS ID 00670100</div> <div>Dev Lot: LOT 43 Survey Ma BNDRY LINE AG Survey Ma Section #: A3 CB Letter: Assoc Pid#</div>				Description	Code	Appraised	Assessed										
						RES LAND	1-1	257,500	180,250										
						DWELLING	1-3	308,900	216,230										
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)											
BOLLERT BRYCE F & KAREN A		0668	0056	08-29-1988		I	202,000		Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed		
									2024	1-1	180,250	2023	1-1	180,250	2022	1-1	180,250		
										1-3	216,230		1-3	216,230		1-3	216,230		
		Total		396,480		Total		396,480		Total		396,480		Total		396,480			
EXEMPTIONS				OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor											
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int											
Total			0.00																
ASSESSING NEIGHBORHOOD										APPROAISED VALUE SUMMARY									
Nbhd	Nbhd Name		B		Tracing		Batch		Appraised Bldg. Value (Card)							281,600			
5									Appraised Xf (B) Value (Bldg)							27,300			
									Appraised Ob (B) Value (Bldg)							0			
									Appraised Land Value (Bldg)							257,500			
									Special Land Value							0			
									Total Appraised Parcel Value							566,400			
									Valuation Method							C			
									Total Appraised Parcel Value							566,400			
BUILDING PERMIT RECORD										VISIT / CHANGE HISTORY									
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments		Date	Id	Type	Is	Cd	Purpose/Result				
SOLE-24-46	05-13-2024	SP	Roofing	44,490	06-21-2013	100	05-13-2024	27 SOLAR PANELS		07-30-2021	MVS	1		65	Datamailer No Change				
SOLB-24-46	05-13-2024	SP		44,490		100	05-13-2024	SOLAR INSTALLATION 27 PA		08-06-2015	PG	6	1	61	Data Mailer Return				
MI61110056	06-03-2011	RF		7,950		100	06-21-2013	STRIP AND REROOF		06-21-2013	PG	2	5	50	Permit Check				
										04-30-2005	HH	1		00	Measur+Listed				
										04-14-2005	HH	1		02	2nd Attempt @ Int Insp				
										04-06-2005	HH	1		01	Measured				
LAND LINE VALUATION SECTION																			
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes		Location Adjustmen	Adj Unit P	Land Value		
1	101	Single Family Re	AA			0.600	AC	202,400.00	1.53623	5	1.20	515	1.150	LOCATION		1.0000	429,088	257,500	
Total Card Land Units						0.60	AC	Parcel Total Land Area						0.60	Total Land Value				257,500

CONDO DATA			
Parcel Id	C	Owne	
	B	S	
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			
COST / MARKET VALUATION			

BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,444	1,444	1,444	107.01	154,526
CAN	Canopy	0	96	19	21.18	2,033
FEP	Enclosed Porch	0	508	330	69.52	35,314
FOP	Open Porch	0	16	3	20.06	321
FUS	Finished Upper Story	1,122	1,122	1,122	107.01	120,068
PRS	Piers	0	200	0	0.00	0
PTS	Stone Patio	0	110	11	10.70	1,177
SLB	Slab	0	32	0	0.00	0
UBM	Unfinished Basement	0	1,472	294	21.37	31,462
WDK	Wood Deck	0	100	10	10.70	1,070
Tot Gross Liv / Lease Area		2,566	5,100	3,233		345,971



109-145 05/10/2015

Thrushwood Lake

Fern Circle

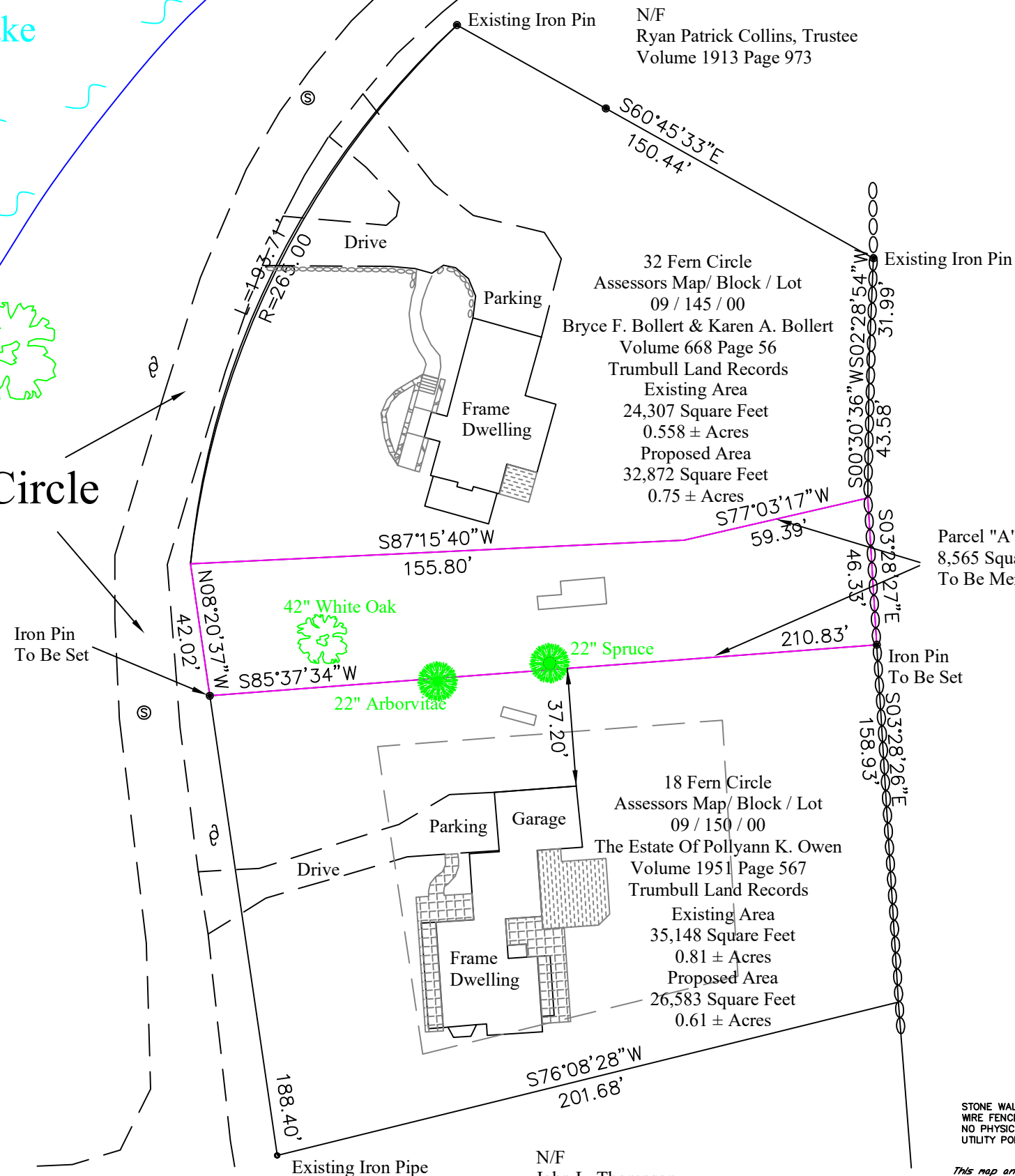
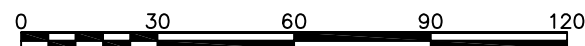
Lot Line Revision Map

Prepared For
Bryce F. Bollert
AND
Karen A. Bollert

32 Fern Circle
Trumbull, Connecticut
November, 2025 Scale 1" = 30'

To my knowledge and belief, this map
is substantially correct as noted hereon

T. Michael Alex Licensed Land Surveyor #15462 Washington, Connecticut



Refer To Maps By;
John Marano
J.&D. Kasper Associates
Russel M. Logie



This map and survey was prepared to the standards of a
class A-2 survey as defined in the regulations of Connecticut
State Agencies Sec. 20-300b-1 Thru 20-300b-20
The type of survey performed is a Dependent Resurvey.

Approved By The Trumbull Zoning Board Of Appeals
By: _____ Date _____

Date Received: _____

Application #: **26-02**

ZONING BOARD OF APPEALS

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- a. Variance of the Trumbull Zoning Regulations ✓
- b. Appeal from Order of the Zoning Enforcement Officer _____
- c. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. _____

2. Location of Subject Premises:

House and Street: 51 Zephyr Rd

Assessor's Map No. E-09 Parcel No. 624900 Lot No. 8

Trumbull Land Records: Volume(s) 1815 Page(s) 0703

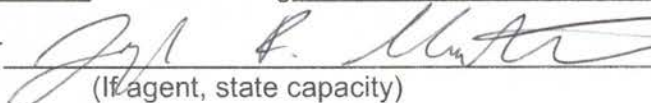
Zoning District: A

3. Name of Applicant: Joseph R. Mastroluca

Street Address: 51 Zephyr Rd

City: Trumbull ST: CT Zip: 06611


Phone: Day 203-581-3838 Evening 203-581-3838

SIGNATURE OF APPLICANT 
(If agent, state capacity)

4. Owner of Record: Joseph R. Mastroluca

Street Address: 51 Zephyr Rd

City: Trumbull ST: CT Zip: 06611

SIGNATURE OF OWNER OF RECORD 

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- ☒ Setbacks (front, side, rear)
☐ Floor Area
☐ Lot Area
☐ Lot Coverage
☐ Damage Reconstruction
☐ Parking
☐ Extension of enlargement of a non-conforming use or building
☐ Other (explain) _____

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) 2 PARAGRAPH(S) 2.3
SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

YES; June 5th 2024 Hearing Date. Application for Accessory building with zoning variances.

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHEN

APPLICABLE: 32.5' from 50' required at
Magnolia Front Yard

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

Existing Non-Conforming setback on Magnolia
front yard restricts expansion opportunity.
proposal is to maintain existing setbacks.

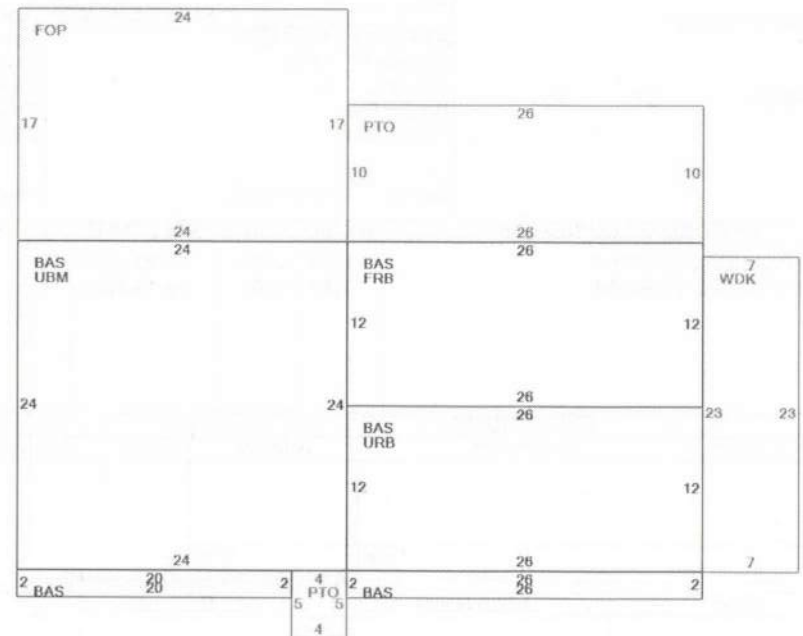
CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	02	Split-Level			
Model	01	Residential			
Grade:	09	C			
Stories:	1	1 Story			
Occupancy	1				
Exterior Wall 1	25	Vinyl Siding			
Exterior Wall 2					
Roof Structure:	03	Gable			
Roof Cover	03	Asph/F Gls			
Interior Wall 1	05	Drywall			
Interior Wall 2	04	Plywood Panel			
Floor Covering	12	Hardwood			
Alt. Floor Cover	14	Carpet			
Heat Fuel	03	Gas			
Heat Type:	05	Hot Water			
AC Type:	03	Central			
Total Bedrooms	03	3 Bedrooms			
Total Bthrms:	2	2 Full Baths			
Total Half Baths	0				
Total Xtra Fixtrs					
Total Rooms:	5	5 Rooms			
Bath Style:	02	Average			
Kitchen Style:	02	Average			
Total Kitchens	1				
Total Elec Meter	1				

CONDO DATA			
Parcel Id		C	Ownr
		B	S
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			
COST / MARKET VALUATION			
Building Value New		176,776	
Year Built		1966	
Effective Year Built			
Depreciation Code		G	
Remodel Rating			
Year Remodeled			
Depreciation %		23	
Functional Obsol			
External Obsol			
Trend Factor		1	
Condition			
Condition %			
Percent Good		77	
RCNLD		136,100	
Dep % Ovr			
Dep Ovr Comment			
Misc Imp Ovr			
Misc Imp Ovr Comment			
Cost to Cure Ovr			
Cost to Cure Ovr Comment			

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL	Fireplace	B	1	5000.00	1998	A	77	00	1.00	3,900
BGR	Gar Bsmt	B	1	10000.00	1998		77		0.00	7,700
SHD1	Shed Fr	L	140	10.00	1980		50	3	1.00	700

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,292	1,292	1,292	97.45	125,907
FOP	Open Porch	0	408	82	19.59	7,991
FRB	Finished Raised Bsmt	0	312	187	58.41	18,223
PTO	Patio	0	280	28	9.75	2,729
UBM	Unfinished Basement	0	576	115	19.46	11,207
URB	Unfin Raised Bsmt	0	312	94	29.36	9,160
WDK	Wood Deck	0	161	16	9.68	1,559
Ttl Gross Liv / Lease Area		1,292	3,341			176,776

SHD



E06-8 05/03/2015

CURRENT OWNER			TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				6144 TRUMBULL, CT
MASTROLUCA JOSEPH R							Description	Code	Appraised	Assessed	
							RES LAND	1-1	221,800	155,260	
							DWELLING	1-3	148,400	103,880	
51 ZEPHYR ROAD			SUPPLEMENTAL DATA				Total370,200259,140				VISION
TRUMBULLCT06611			Alt Prcl ID00624900		Dev Lot: LOT 50						
			Census Tr0902		Survey Ma						
			Fire Dist: L:		Survey Ma						
			Border Pro		Section #: B1						
			Voting Dist		CB Letter:						
			GIS ID00624900		Assoc Pid#						

RECORD OF OWNERSHIP		BK-VOL/PAGE		SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)											
MASTROLUCA JOSEPH R PIETRANTONIO HERMINE		1815	0703	06-22-2020	U	I	425,000	25	Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed			
		0187	0552	08-16-1966	U	I	0		2023	1-1 1-3	155,260 103,880	2022	1-1 1-3	155,260 103,880	2021	1-1 1-3 1-4	155,260 103,390 490			
									Total		259,140		Total		259,140		Total		259,140	

EXEMPTIONS				OTHER ASSESSMENTS					This signature acknowledges a visit by a Data Collector or Assessor		
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int			
Total			0.00						APPRAISED VALUE SUMMARY		
ASSESSING NEIGHBORHOOD											
Nbhd		Nbhd Name		B		Tracing		Batch			
1											
NOTES											
									Appraised Bldg. Value (Card)		136,100
									Appraised Xf (B) Value (Bldg)		11,600
									Appraised Ob (B) Value (Bldg)		700
									Appraised Land Value (Bldg)		221,800
									Special Land Value		0
									Total Appraised Parcel Value		370,200
									Valuation Method		C
									Total Appraised Parcel Value		370,200

BUILDING PERMIT RECORD									VISIT / CHANGE HISTORY					
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result
									08-13-2021	MVS	1		65	Datamailer No Change
									04-29-2005	MJ	7		11	QC - Check
									03-24-2005	JE	1	1	00	Measur+Listed

LAND LINE VALUATION SECTION														
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen
1	101	Single Family Re	A			0.500	AC	202,400.00	1.82608	5	1.00	110	1.200	1.0000
						Total Card Land Units	0.50	AC	Parcel Total Land Area				0.50	Total Land Value
														221,800

Date: 1/3/2026

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

A) I have reviewed the proposed zoning variance plans provided by my neighbors Joseph & Kyle Mastroluca.

B) I have no complaints, issues or problems with the zoning variances they are proposing on their property located at 51 Zephyr Rd Trumbull CT 06611.

C) I fully support Joseph & Kyle Mastroluca and believe this project is beneficial for our neighborhood.

Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

Regards,

Signature Michael Durbano

Name (Print) Michael Durbano

Address 54 Zephyr Rd

Phone Number (914) 450-9631

Email Address [REDACTED]

*Please feel free to call or email with any questions.

Joe Mastroluca: joseph.mastroluca@gmail.com / 203-581-3838

**Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

Date: 12/26/25

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

A) I have reviewed the proposed zoning variance plans provided by my neighbors Joseph & Kyle Mastroluca.

B) I have no complaints, issues or problems with the zoning variances they are proposing on their property located at 51 Zephyr Rd Trumbull CT 06611.

C) I fully support Joseph & Kyle Mastroluca and believe this project is beneficial for our neighborhood.

Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

Regards,

Signature Ashley R. Schexnaydre

Name (Print) Ashley R. Schexnaydre

Address 68 Magnolia Rd. Trumbull CT 06611

Phone Number 504 250 0450

Email Address [REDACTED]

*Please feel free to call or email with any questions.

Joe Mastroluca: joseph.mastroluca@gmail.com / 203-581-3838

**Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

Date: 12-20-2025

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

A) I have reviewed the proposed zoning variance plans provided by my neighbors Joseph & Kyle Mastroluca.

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C) I fully support Joseph & Kyle Mastroluca and believe this project is beneficial for our neighborhood.

Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

BEST WISHES !!!

Regards,

Signature



Name (Print)

ELI HASANRAMAJ

Address

81 MAGNOLIA ROAD TRUMBULL, CT 06611

Phone Number

(203) 998-8455

Email Address



*Please feel free to call or email with any questions.

Joe Mastroluca: joseph.mastroluca@gmail.com / 203-581-3838

**Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

Date: 12/19/25

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

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C) I fully support Joseph & Kyle Mastroluca and believe this project is beneficial for our neighborhood.

Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

Regards,

Signature  / Karen Hammel

Name (Print) Kevin Hammel / Karen Hammel

Address 42 Zephyr Rd. Trumbull, CT 06611

Phone Number 203-261-6487

Email Address 

*Please feel free to call or email with any questions.

Joe Mastroluca: joseph.mastroluca@gmail.com / 203-581-3838

**Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

Date: 12/18/25

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

A) I have reviewed the proposed zoning variance plans provided by my neighbors Joseph & Kyle Mastroluca.

B) I have no complaints, issues or problems with the zoning variances they are proposing on their property located at 51 Zephyr Rd Trumbull CT 06611.

C) I fully support Joseph & Kyle Mastroluca and believe this project is beneficial for our neighborhood.

Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

Regards,

Signature



Name (Print)

Brian Holinko

Address

48 Zephyr Rd

Phone Number

203 258 8801

Email Address



*Please feel free to call or email with any questions.

Joe Mastroluca: joseph.mastroluca@gmail.com / 203-581-3838

**Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

Date: 12/18/25

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

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Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

Regards,

Signature



Name (Print)

Ahmed Assaidi

Address

85 Magnolia Rd Trumbull, CT 06611

Phone Number

(347) 280-5756

Email Address



*Please feel free to call or email with any questions.


Joe Mastroluca: joseph.mastroluca@gmail.com / 203-581-3838

**Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

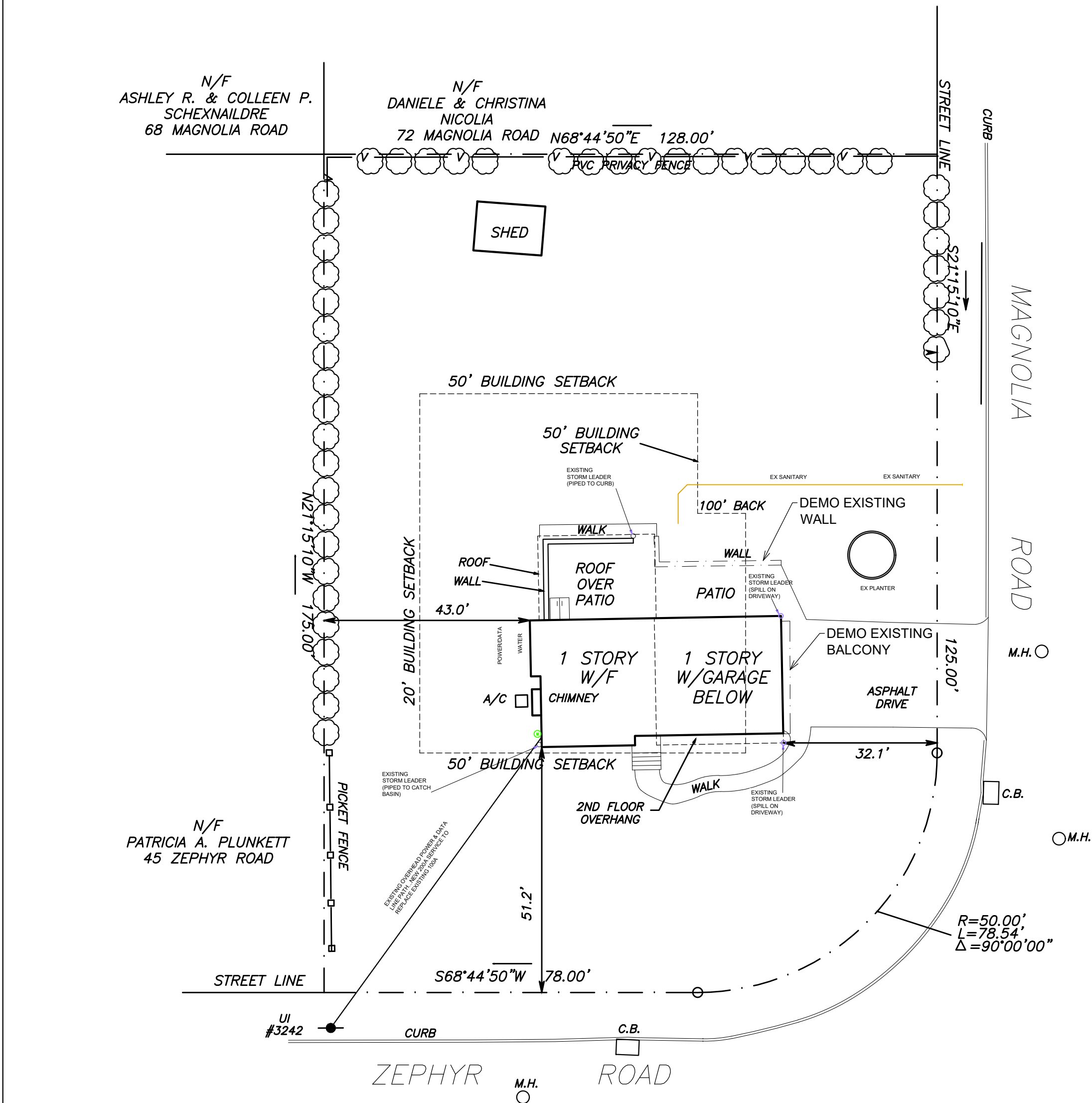
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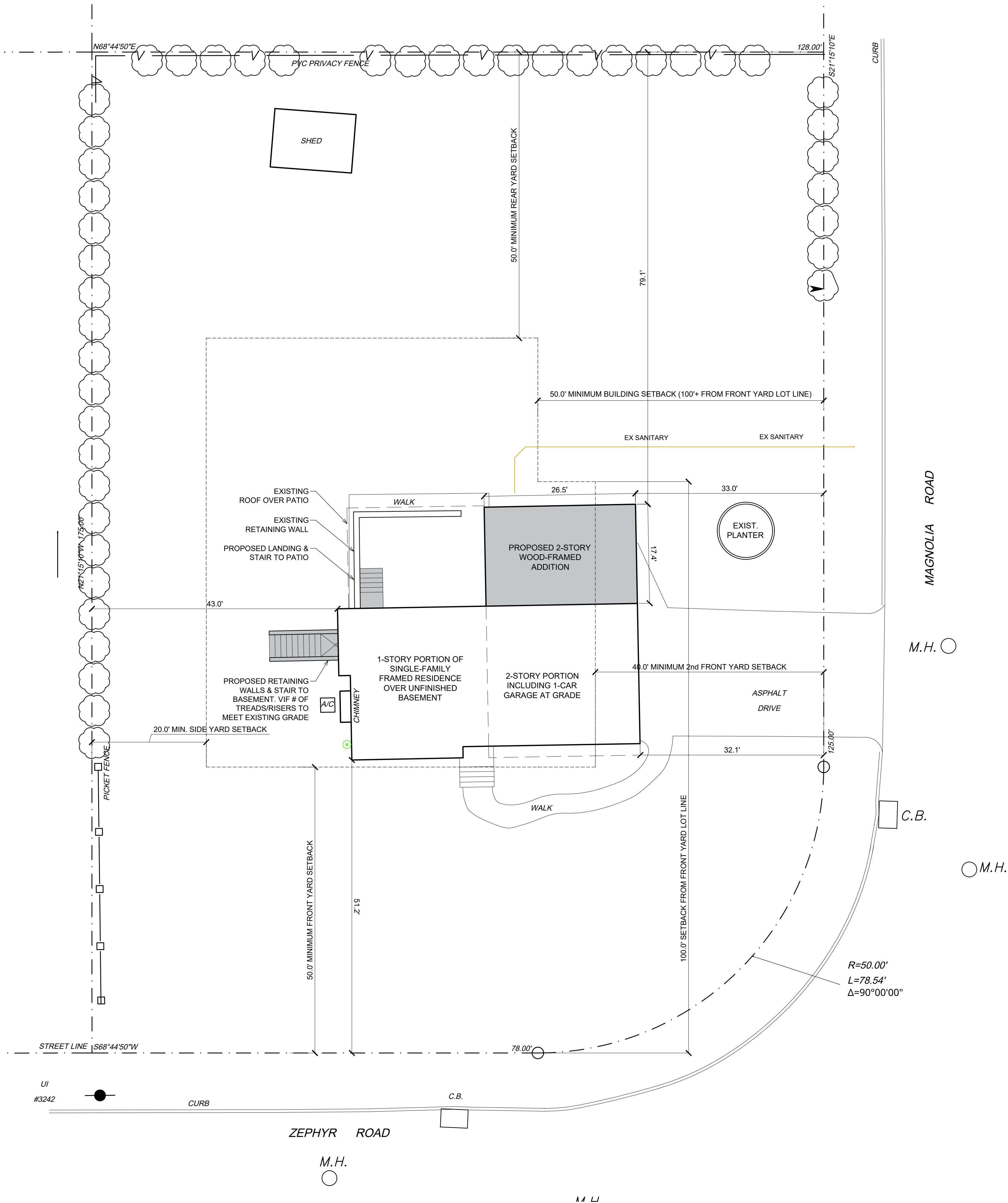
project:
0636.00
date:
12/12/25
scale:
AS NOTED

drawing title:
EXISTING & PROPOSED
SITE PLANS

drawing number:
SP-1



1 EXISTING SITE PLAN
SCALE: 1"=20'-0"




2 PROPOSED SITE PLAN
SCALE: 1"=10'-0"

MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

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project:

0636.00

date:

12/12/25

scale:

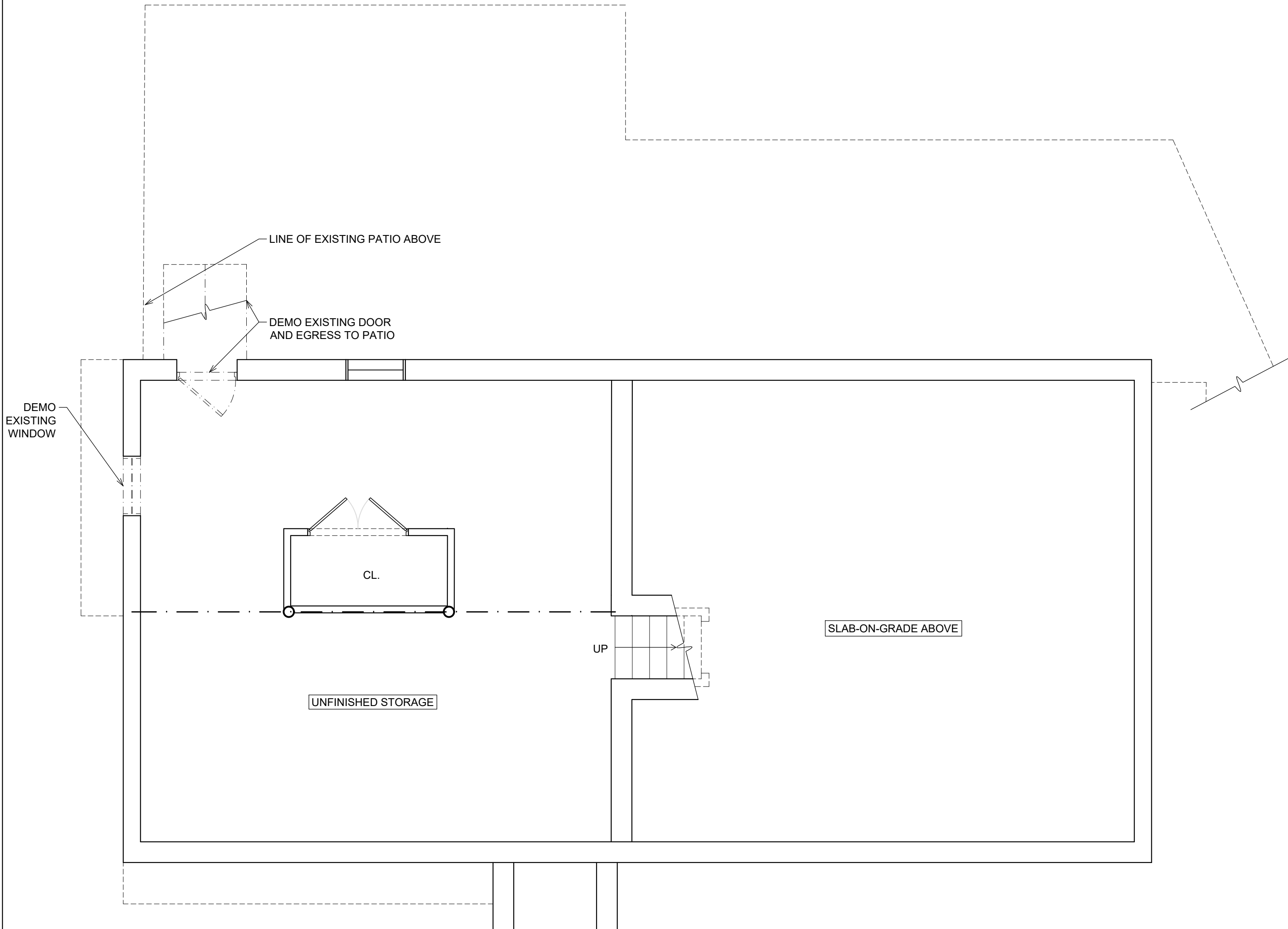
AS NOTED

drawing title:

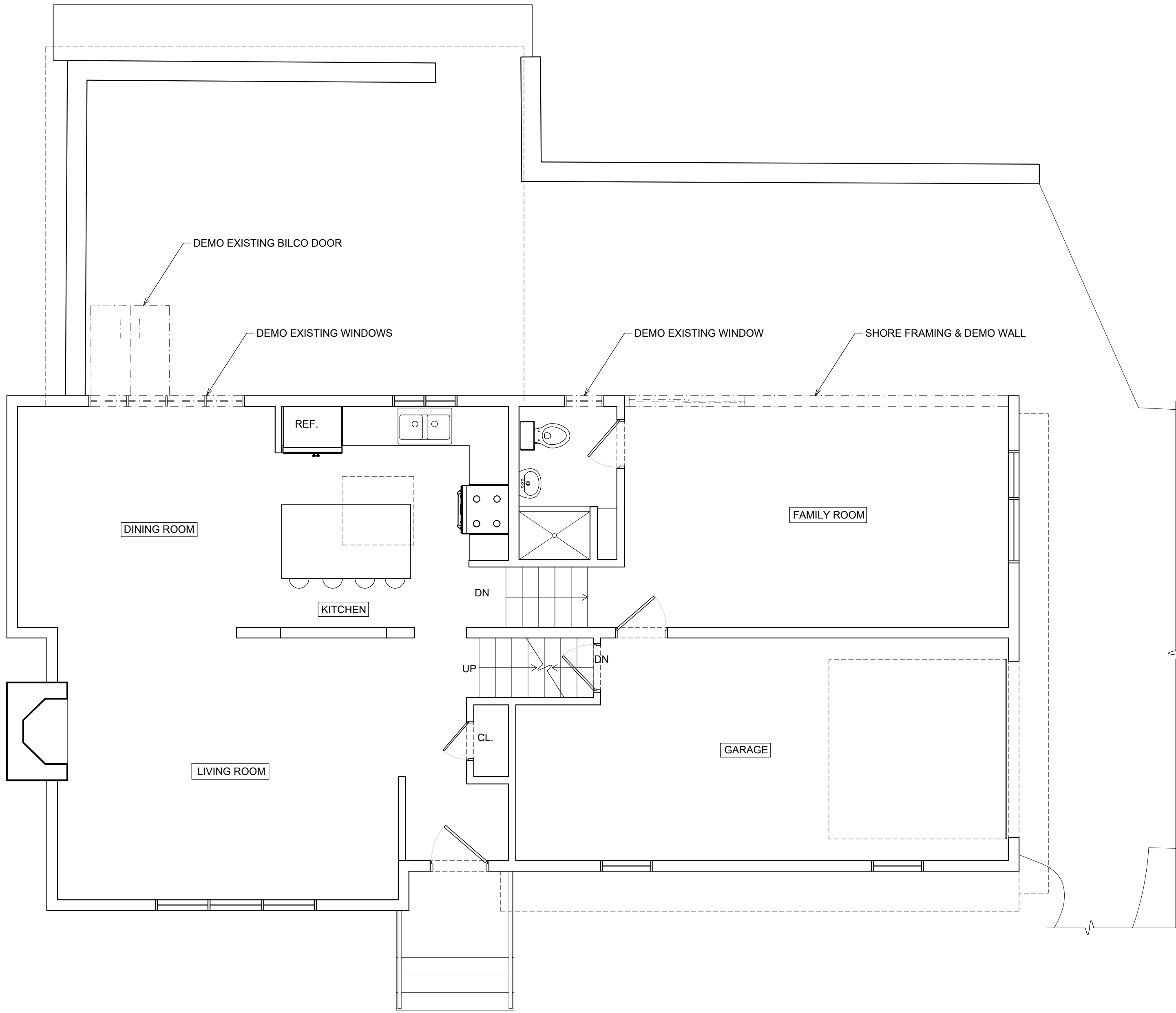
EXISTING/DEMO FLOOR PLANS

drawing number:

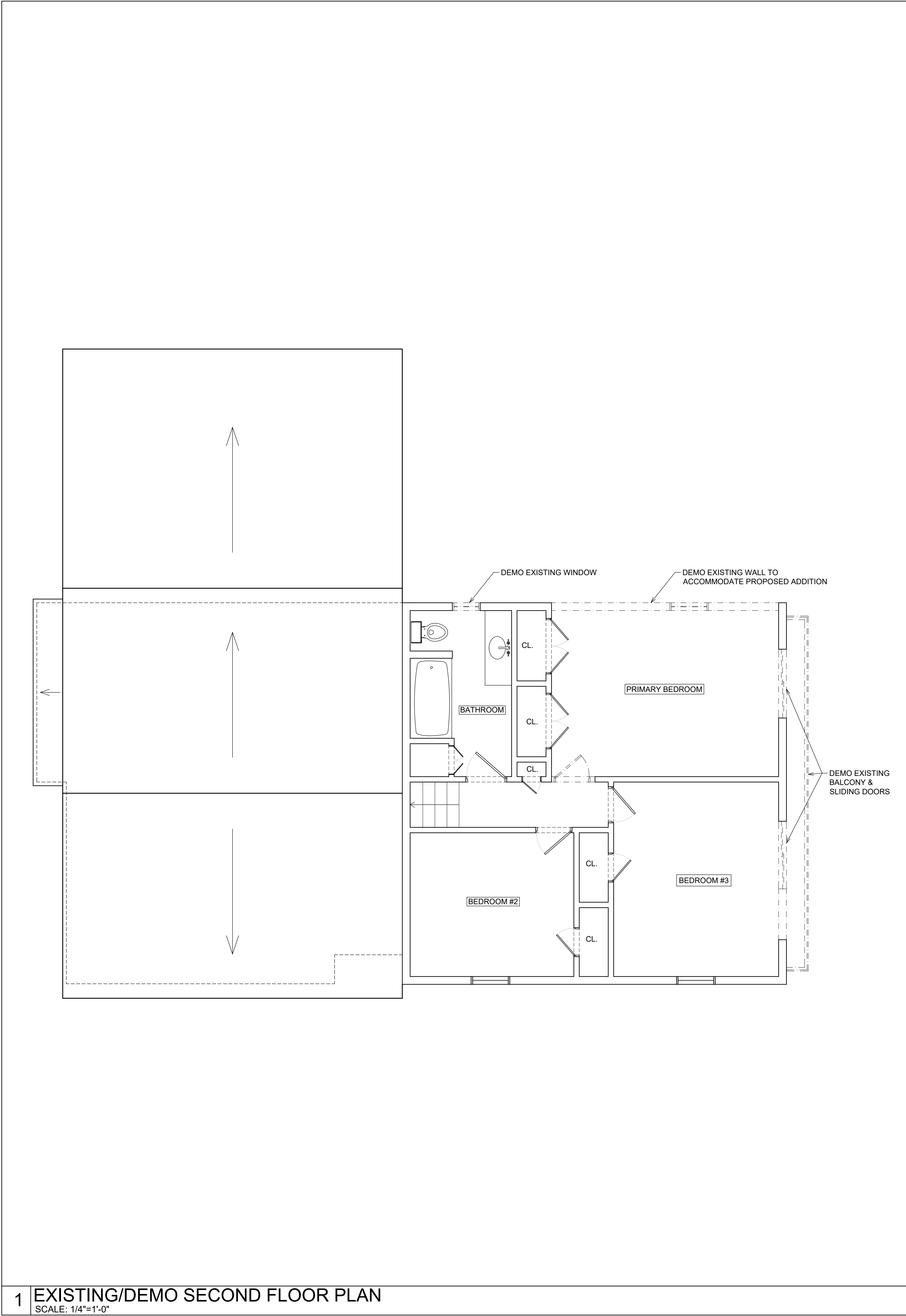
EC-1



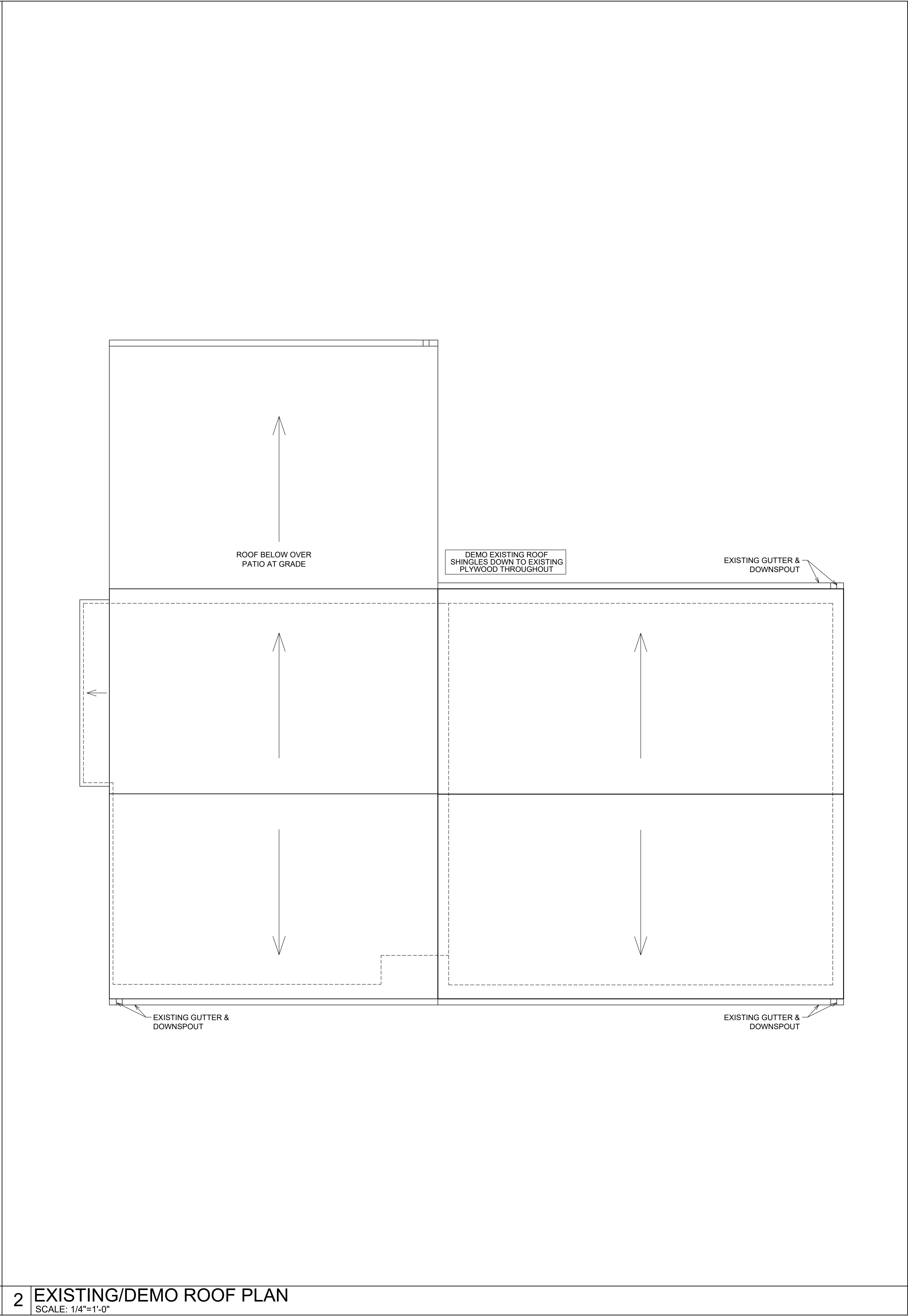
1 EXISTING/DEMO BASEMENT PLAN
SCALE: 1/4"=1'-0"



1 EXISTING/DEMO LOWER LEVEL & FIRST FLOOR PLANS
SCALE: 1/4"=1'-0"



1 EXISTING/DEMO SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"




2 EXISTING/DEMO ROOF PLAN
SCALE: 1/4"=1'-0"

KTM
Architect, NCARB
Kimberly Tuter Martelli, PLLC
700 Fenimore Road, 2nd Floor
Mamaroneck, NY 10543
www.ktmarchitect.com
(914)481-8877

MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

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project: 0636.00

date: 12/12/25

scale: AS NOTED

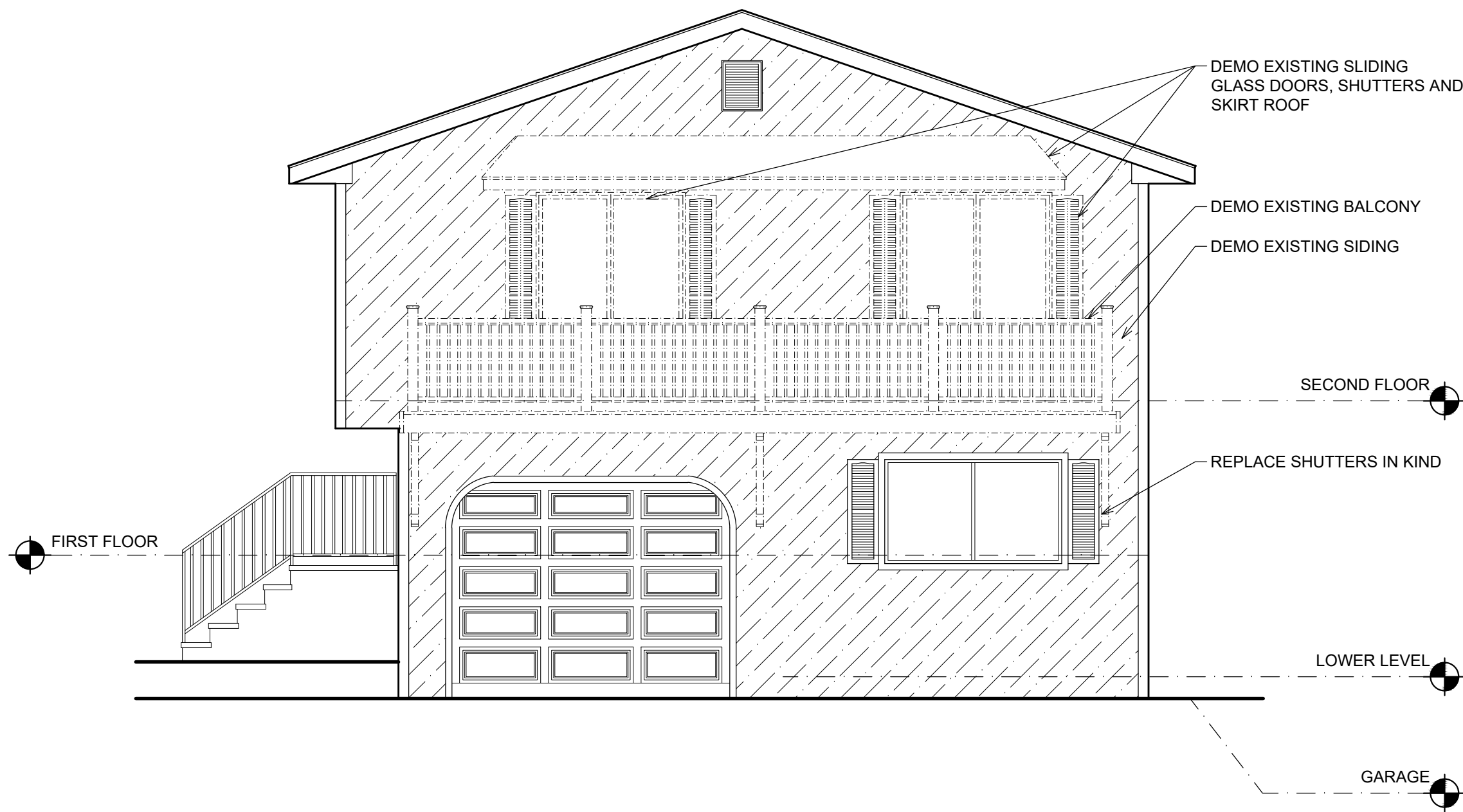
drawing title:
**EXISTING/DEMO
SECOND FLOOR &
ROOF PLANS**

drawing number:
EC-2

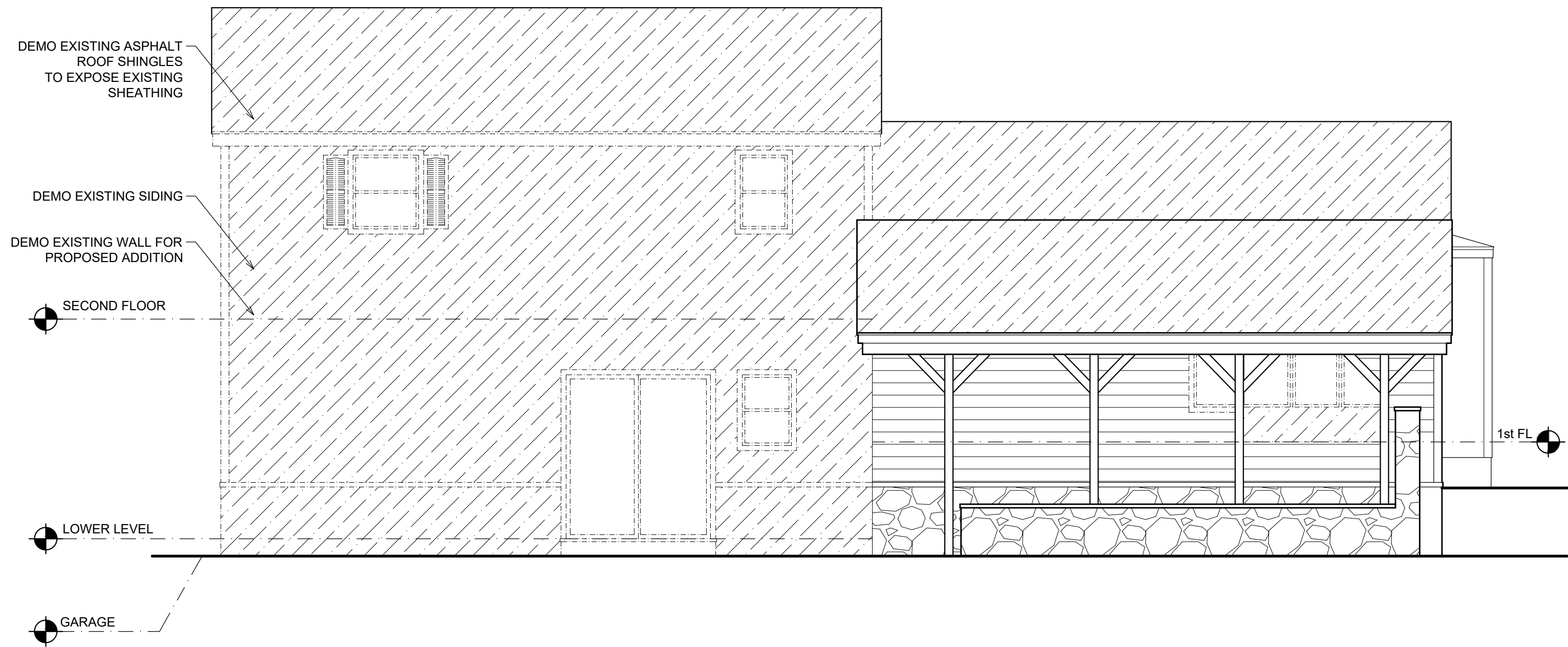
MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca



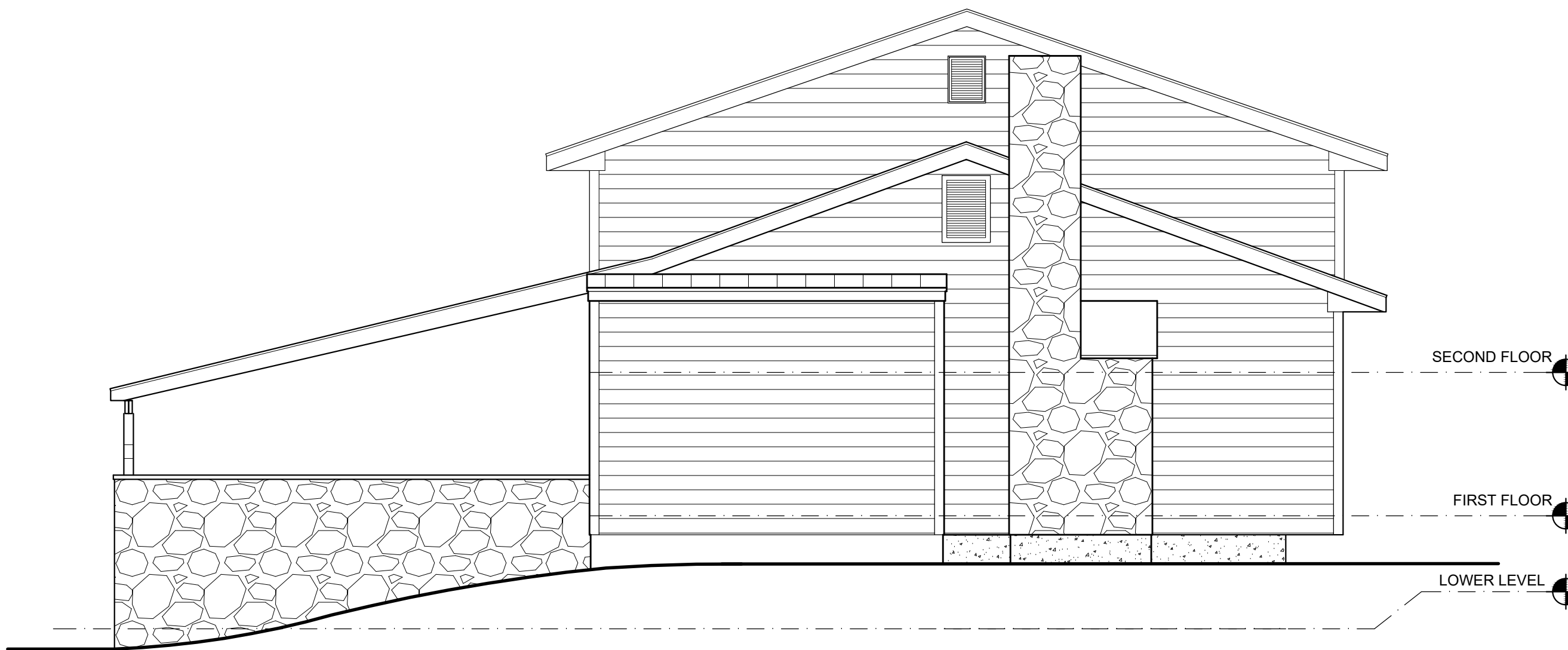
1 EXISTING/DEMO SOUTHWEST (FRONT) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



2 EXISTING/DEMO SOUTHEAST (SECOND FRONT) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"




3 EXISTING/DEMO NORTHEAST (SIDE) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



4 EXISTING/DEMO NORTHWEST (REAR) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

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project:
0636.00

date:
12/12/25

scale:
AS NOTED


drawing title:
**EXISTING/DEMO
EXTERIOR
ELEVATIONS**

drawing number:
EC-3

MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

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project:

0636.00

date:

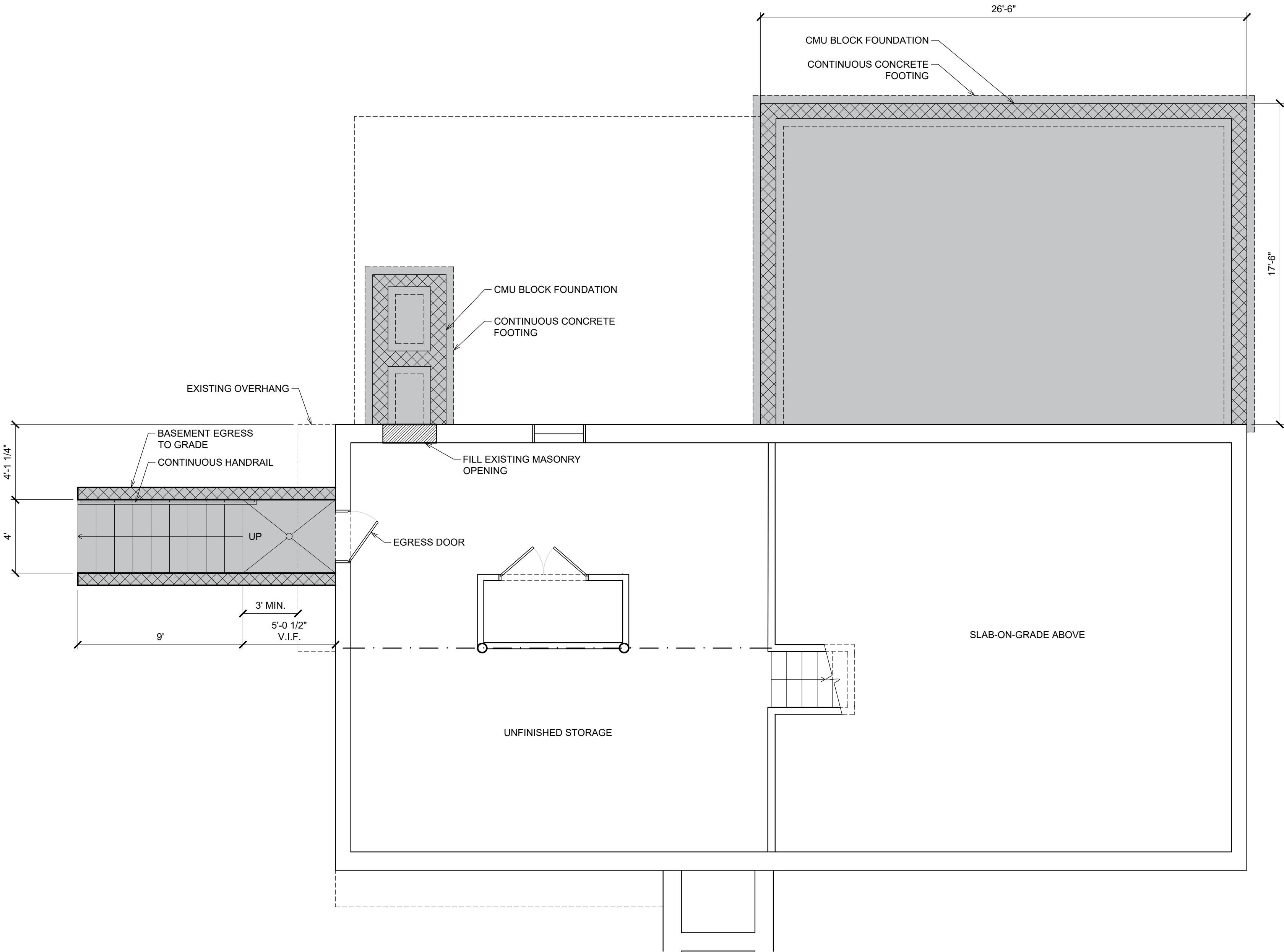
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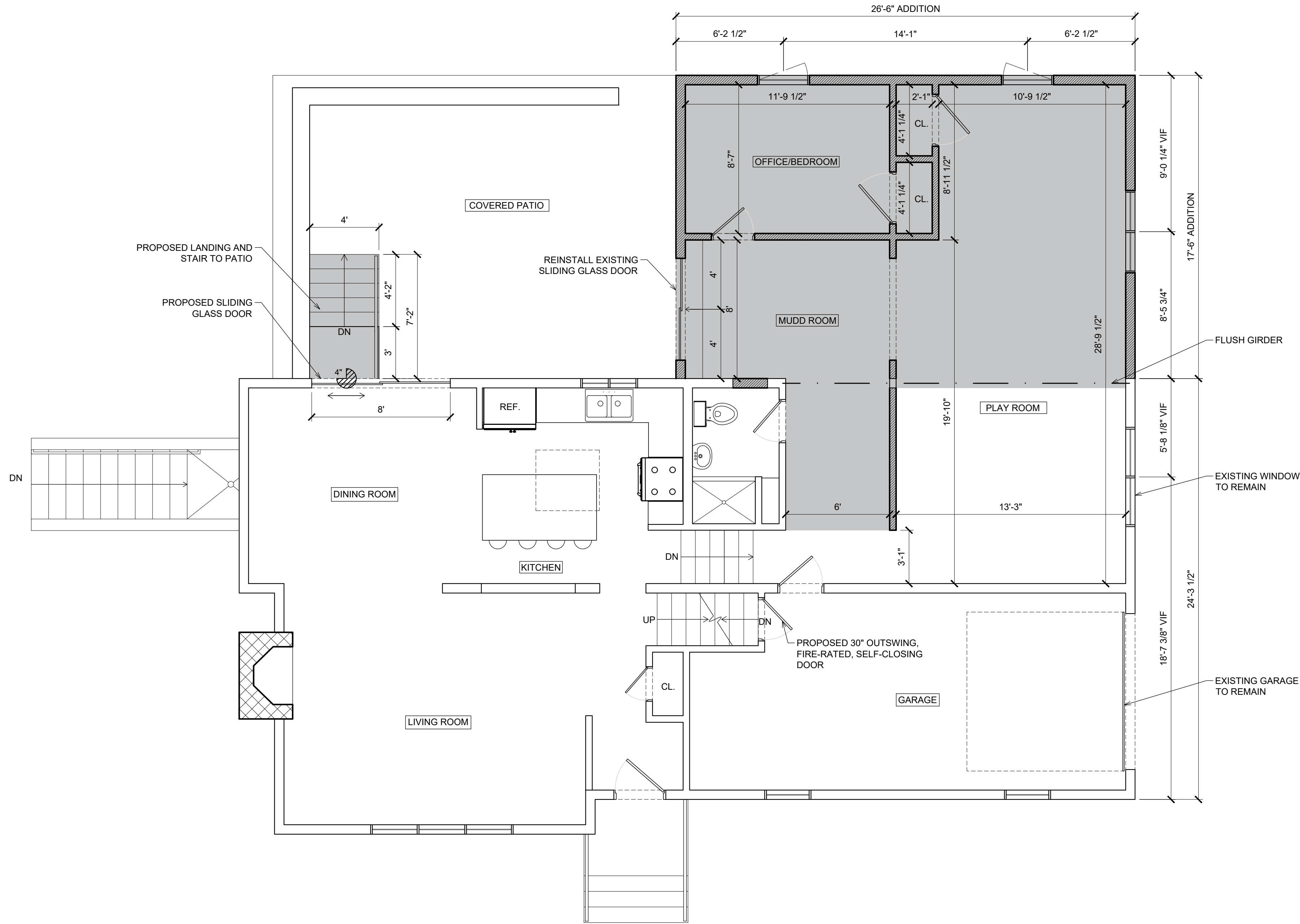
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drawing title:
PROPOSED
BASEMENT
FLOOR PLAN

drawing number:
A-1




MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca



REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

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project:

0636.00

date:

12/12/25

scale:

AS NOTED


drawing title:
**PROPOSED
LOWER LEVEL
& FIRST FLOOR
PLAN**

drawing number:
A-2

MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

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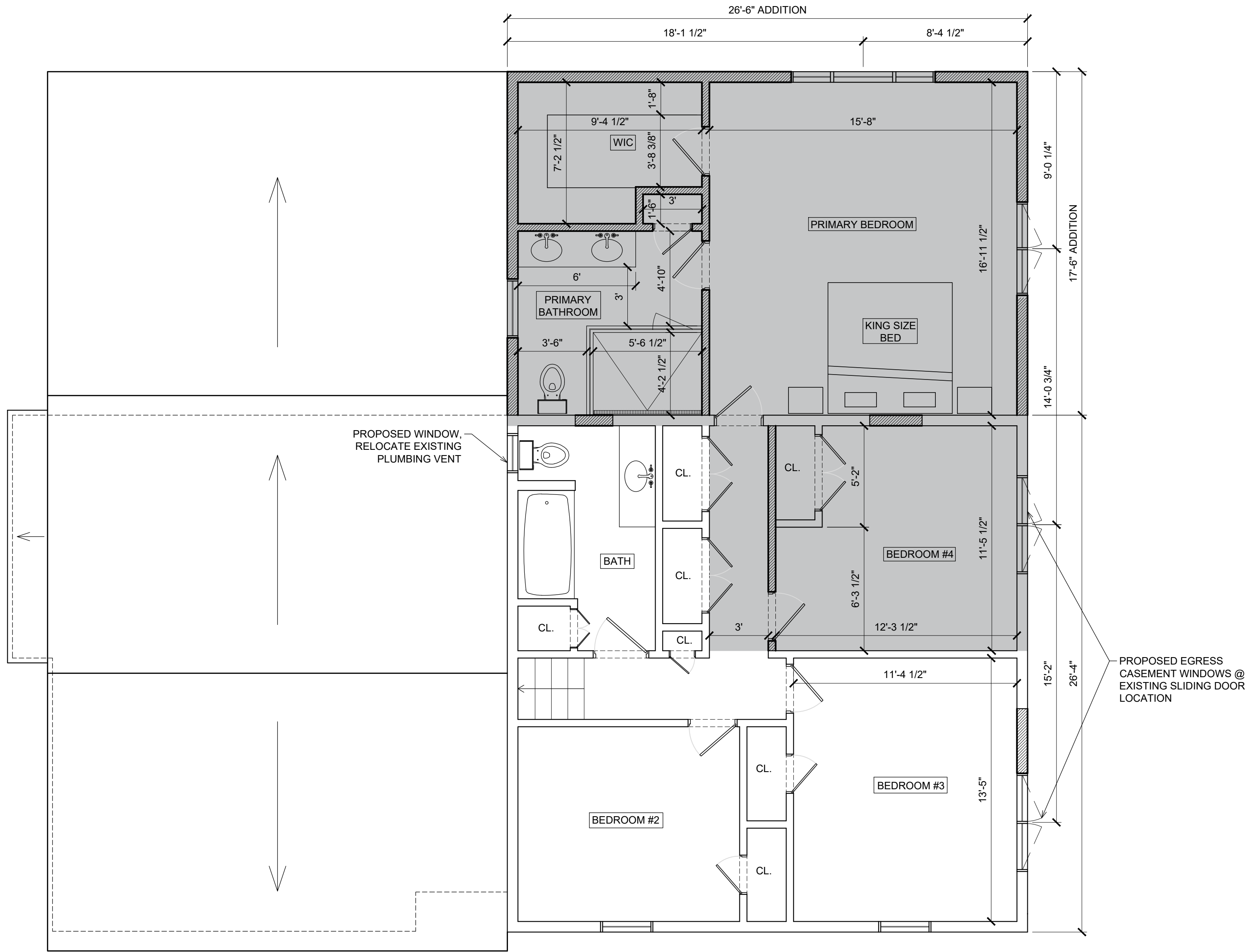
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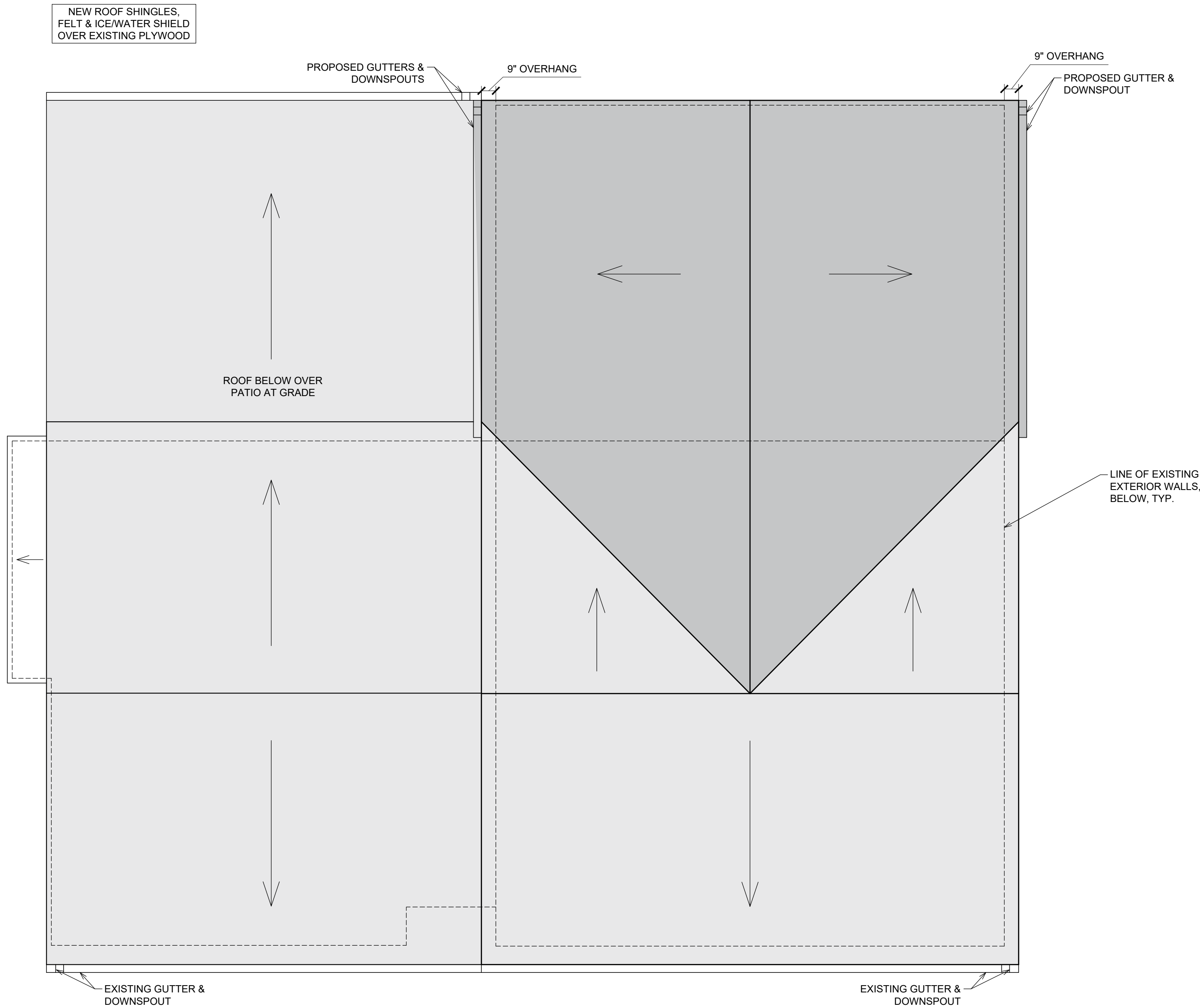
date:
12/12/25

scale:
AS NOTED

drawing title:
PROPOSED
SECOND
FLOOR PLAN

drawing number:
A-3






MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

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project:
0636.00

date:
12/12/25

scale:
AS NOTED

drawing title:
**PROPOSED
ROOF PLAN**

drawing number:
A-4

MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca



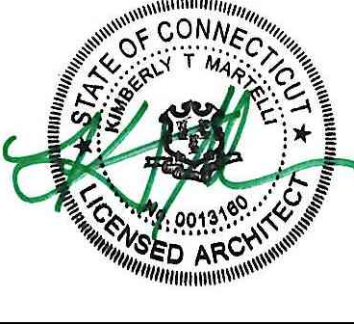
1 | PROPOSED SOUTHWEST (FRONT) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



2 | PROPOSED SOUTHEAST (SECOND FRONT) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

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project:
0636.00

date:
12/12/25

scale:
AS NOTED

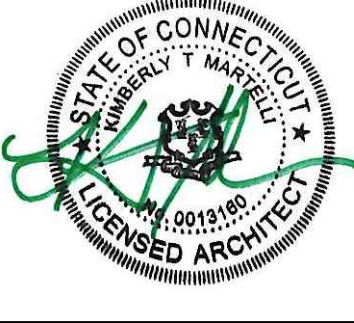
drawing title:
PROPOSED
EXTERIOR
ELEVATIONS

drawing number:
A-5

MASTROLUCA RESIDENCE
51 ZEPHYR ROAD
TRUMBULL, CT 06611
for Mr. Joseph & Mrs. Kyle Mastroluca

REVISION/SUBMISSION NOTES		
1	ZBA FILING	12/12/25

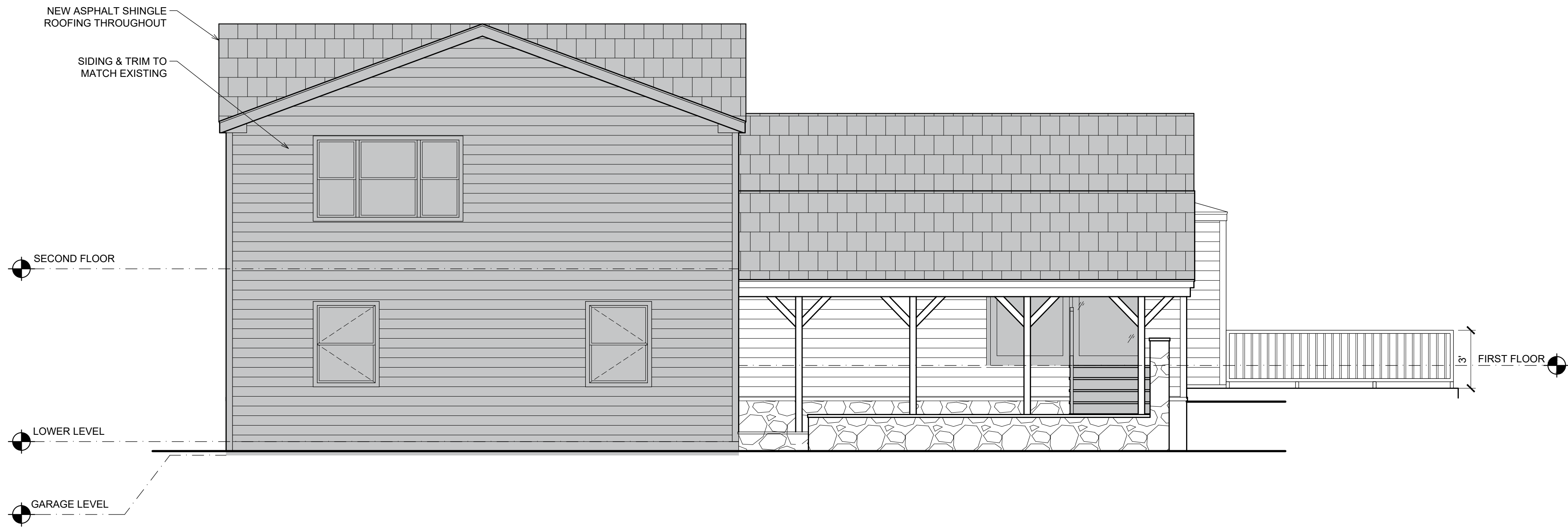
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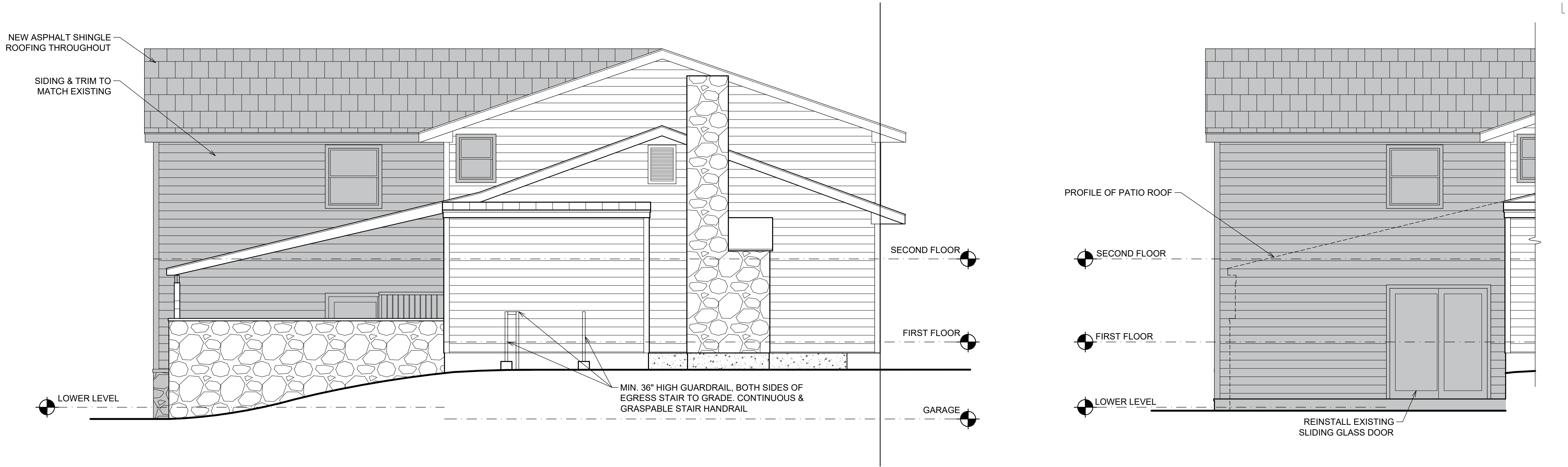
project:
0636.00
date:
12/12/25
scale:
AS NOTED

drawing title:
PROPOSED
EXTERIOR
ELEVATIONS

drawing number:
A-6



1 | PROPOSED NORTHEAST (REAR) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



2 | PROPOSED NORTHWEST (SIDE) ELEVATIONS
SCALE: 1/4"=1'-0"

RESIDENCE A ZONING CHART

REGULATION	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	0.5 ACRE (21,780 S.F.)	0.5019 AC (21,863 S.F.)	0.5019 AC (21,863 S.F.)
MIN. ROAD FRONTAGE	125 FEET	281.54'	281.54'
MAX. BUILDING HEIGHT	40'	21.5±	21.5±
MIN. FRNT YARD ZEPHYR	50 FEET	51.2 FEET	51.2 FEET
MIN. FRNT YARD MAGNOLIA	50 FT/40 FT 100 FT BACK	32.1 FEET	32.5 FEET NEW ADDITION
MIN SIDE YARD	20 FEET	43.0 FEET	43.0 FEET
MIN REAR YARD	50 FEET	97 FEET±	78 FEET NEW ADDITION
MIN. FLOOR AREA	FIRST FLOOR 1 STORY = 1,200 S.F. 1.5 STORY = 900 S.F. 2 STORY = 900 S.F. SECOND FLOOR 1.5 STORY = 500 S.F. 2 STORY = 800 S.F.	FIRST FLOOR LIVING AREA= 989 S.F. 2ND FLOOR LIVING AREA= 698	FIRST FLOOR LIVING AREA= 1452 S.F. 2ND FLOOR LIVING AREA= 1161 S.F.
MAXIMUM FLOOR AREA RATIO	.29 PRINCIPAL BUILDING .1 ACCESSORY BUILDING	.07 PRINCIPAL BUILDING .007 ACCESSORY BUILDING	.12 PRINCIPAL BUILDING .007 ACCESSORY BUILDINGS
BUILDING COVERAGE	25% MAXIMUM	6.8%	9.0%

MAP REFERENCE:
"Highlawn Park", Subdivision in Trumbull, Conn., scale:
1"= 100' dated Mar. 21, 1964 by Frank C. Penney,
Trumbull Town Clerk Map No. 1232.

- NOTES:
- This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in The State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. The Boundary Determination is Dependent Resurvey conforming to Horizontal Accuracy Class A-2. The Survey Type is Zoning Location Survey.
 - Municipal Zone Designation is Residence A.

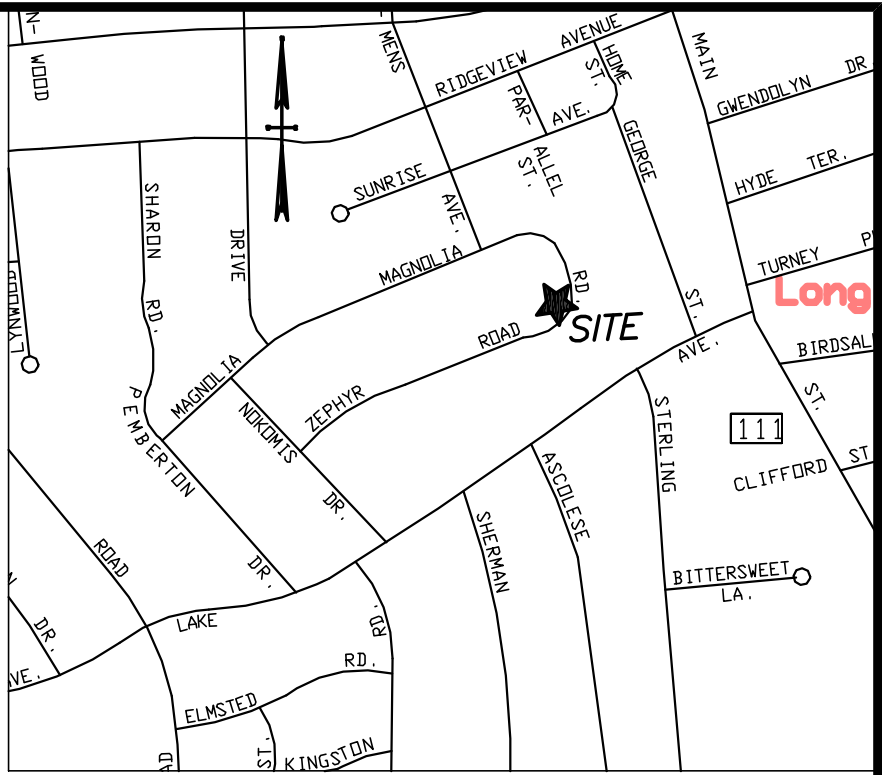
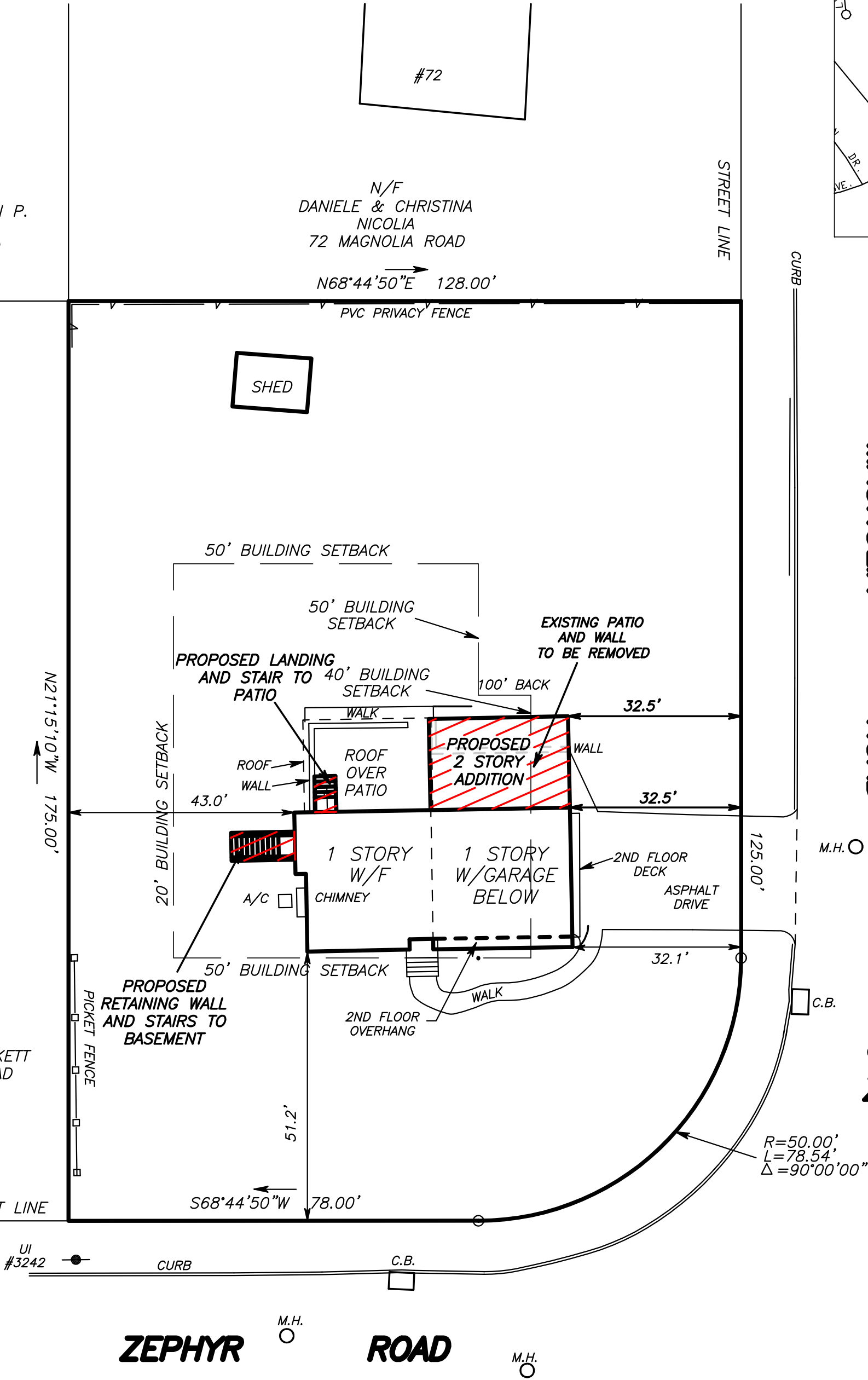
To my knowledge and belief,
this map is substantially correct as noted hereon.

This map is not valid unless it has a live
signature and embossed seal of Tracy H. Lewis.

N/F
ASHLEY R. & COLLEEN P.
SCHEXNAILDRE
68 MAGNOLIA ROAD

N/F
DANIELE & CHRISTINA
NICOLIA
72 MAGNOLIA ROAD

N/F
PATRICIA A. PLUNKETT
45 ZEPHYR ROAD



ZONING LOCATION SURVEY
LOT 50
"HIGHLAWN PARK"
PROPERTY LOCATED AT
51 ZEPHYR ROAD
AND
MAGNOLIA ROAD
TRUMBULL, CONNECTICUT
PREPARED FOR
JOSEPH R. MASTROLUCA
SCALE: 1"= 20' DATE: 5-6-2024
REVISED 12-5-2025



LEWIS ASSOCIATES
LAND SURVEYING AND CIVIL ENGINEERING
260 MAIN STREET, MONROE, CONNECTICUT
PHONE: 203-261-8648

Date Received: 12/17/25

Application #: 26-03

ZONING BOARD OF APPEALS

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- a. Variance of the Trumbull Zoning Regulations ✓
- b. Appeal from Order of the Zoning Enforcement Officer _____
- c. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. _____

2. Location of Subject Premises:

House and Street: 52 Ascolese Rd

Assessor's Map No. E-06 Parcel No. 330 Lot No. 0

Trumbull Land Records: Volume(s) 1657 Page(s) 432

Zoning District: A

3. Name of Applicant: Claude Dyzant

Street Address: 48 Essex

City: Shelton CT Zip: 06484

Phone: Day 203 583 5505 Evening Same

SIGNATURE OF APPLICANT Claude Dyzant
(If agent, state capacity)

4. Owner of Record: Christopher DeCruze + Emily Rose

Street Address: 52 Ascolese Road

City: Trumbull ST: CT Zip: 06611

SIGNATURE OF OWNER OF RECORD Chris DeCruze

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- ☒ Setbacks (front, side, rear)
☐ Floor Area
☐ Lot Area
☐ Lot Coverage
☐ Damage Reconstruction
☐ Parking
☐ Extension of enlargement of a non-conforming use or building
☐ Other (explain) _____

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) _____ PARAGRAPH(S) _____
SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

NONE

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHEN

APPLICABLE: Requesting a set back line
OF 20FT From the rear set back line.
Instead OF the 50FT that is required.

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

The reason for the hardship is because
OF how the workshop will take up the main
part of the rear yard, where the family spends
most of their time together.

Property Location 52 ASCOLESE ROAD
Vision ID 444 Account # 00499700

Map ID E/06 / 00380/ 000/
Bldg # 1

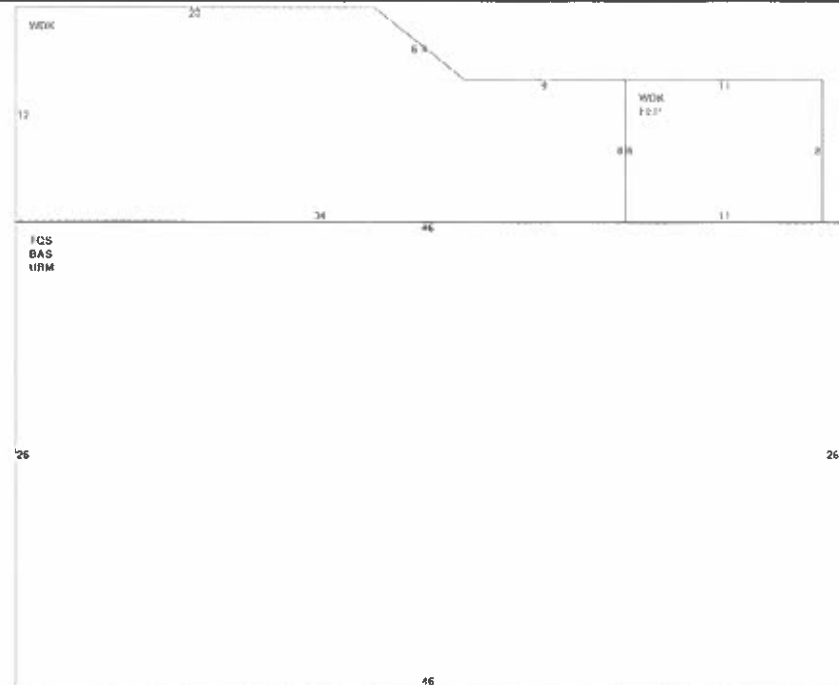
Parcel Name
Sec # 1 of 1 Card # 1 of 1

State Use 101
Print Date 12/17/2025 1:33:17 P

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				6144 - TRUMBULL, CT VISION							
DECRUZE CHRISTOPHER THOMAS						Description	Code	Appraised	Assessed								
52 ASCOLESE ROAD						RES LAND	1-1	203,300	142,310								
TRUMBULL CT 06611						DWELLING	1-3	248,900	174,230								
		SUPPLEMENTAL DATA															
		Alt Prcl ID 00499700 Census Tr 0902 Fire Dist: L: Border Pro Voting Dist			Dev Lot: LOT 13B Survey Ma Survey Ma Section #: B1 CB Letter:												
		GIS ID 00499700			Assoc Pid#		Total 452,200				316,540						
RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)									
DECRUZE CHRISTOPHER THOMAS & EMIL		1657 0422	01-24-2014	Q	I	415,000	U	Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed	
BADINTER INNA		1036 0001	03-02-2000	U	I	0	Q	2024	1-1	142,310	2023	1-1	142,310	2022	1-1	142,310	
BADINTER INNA		1036 0001	03-02-2000			0			1-3	174,230		1-3	174,230		1-3	174,230	
								Total		316,540	Total		316,540	Total		316,540	
EXEMPTIONS			OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor										
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int									
		Total	0.00														
ASSESSING NEIGHBORHOOD																	
Nbhd		Nbhd Name		B		Tracing		Batch									
1																	
NOTES																	
I= G INT EST-NO ENTRY-8/05																	
XF= 1-4 FIX BA																	
XF= TOILET IN BSMT																	
MK- 04																	
KIT= MARBLE CT																	
BUILDING PERMIT RECORD																	
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	VISIT / CHANGE HISTORY								
4779 E	04-29-2004	AD	Addition	59,000	08-01-2005	100		10X26 FGR W/RM ABV	Date	Id	Type	Is	Cd	Purpose/Result			
									08-09-2021	MVS	1		65	Datamailer No Change			
									10-05-2015	REV	1	1	61	Data Mailer Return			
									08-09-2013	PG	6	5	56	Review 3rd party data			
									08-01-2005	PS	2		01	Measured			
									04-26-2005	SR	7		11	QC - Check			
									04-07-2005	JE	1	1	00	Measur+Listed			
									03-11-2005	JE	1		01	Measured			
LAND LINE VALUATION SECTION																	
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value	
1	101	Single Family Re	A			0.290 AC	202,400.00	2.88605	5	1.00	110	1.200			1.0000	700,971.9 203,300	
Total Card Land Units						0.29 AC	Parcel Total Land Area						0.29	Total Land Value 203,300			

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	03	Colonial			
Model	01	Residential			
Grade:	12	B-2			
Stories:	1.75	1 3/4 Stories			
Occupancy	1				
Exterior Wall 1	14	Wood Shingle			
Exterior Wall 2					
Roof Structure:	07	Gambrel			
Roof Cover	03	Asph/F Gls			
Interior Wall 1	05	Drywall			
Interior Wall 2					
Floor Covering	12	Hardwood			
Alt. Floor Cover					
Heat Fuel	02	Oil			
Heat Type:	05	Hot Water			
AC Type:	03	Central			
Total Bedrooms	03	3 Bedrooms			
Total Bthrms:	3	3 Full Baths			
Total Half Baths	2	2 Half Baths			
Total Xtra Fixtrs	2				
Total Rooms:	7	7 Rooms			
Bath Style:	03	Modern			
Kitchen Style:	03	Modern			
Total Kitchens	1				
Total Elec Meter	1				

CONDO DATA			
Parcel Id		C	Owne
		B	S
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			
COST / MARKET VALUATION			
Building Value New		289,458	
Year Built		1982	
Effective Year Built		1996	
Depreciation Code		A	
Remodel Rating		K	
Year Remodeled		2004	
Depreciation %		25	
Functional Obsol			
External Obsol			
Trend Factor		1	
Condition			
Condition %			
Percent Good		75	
RCNLD		217,100	
Dep % Ovr			
Dep Ovr Comment			
Misc Imp Ovr			
Misc Imp Ovr Comment			
Cost to Cure Ovr			
Cost to Cure Ovr Comment			



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL	Fireplace	B	1	5000.00	1996		75	00	1.00	3,800
FBM	FBsmt	B	512	30.00	1996		75	00	1.00	11,500
BGR	Gar Bsmt	B	2	10000.00	1996		75		0.00	15,000
TUB	Whirlpool Tub	B	1	2000.00	1996		75		0.00	1,500

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,196	1,196	1,196		0
FEP	Enclosed Porch	0	88	57		0
TQS	Three Quarter Story	957	1,196	957		0
UBM	Unfinished Basement	0	1,196	239		0
WDK	Wood Deck	0	450	45		0
Ttl Gross Liv / Lease Area		2,153	4,126	2,494		0



E06-380 05/04/2015

PROJECT • 52 •

STUDIO
52 ASCOLESE ROAD
TRUMBULL, CONNECTICUT

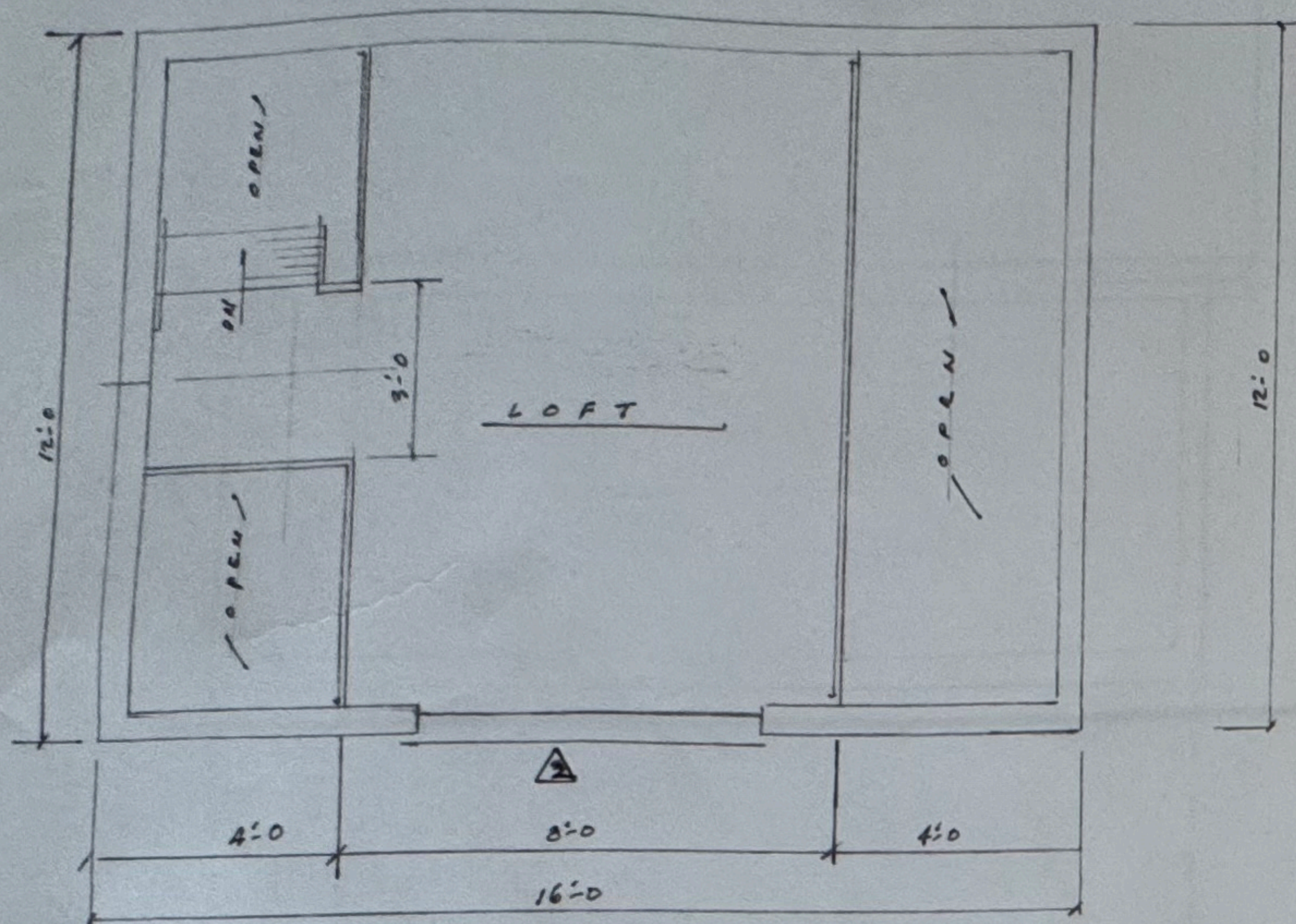


Robert Mangino
Architect

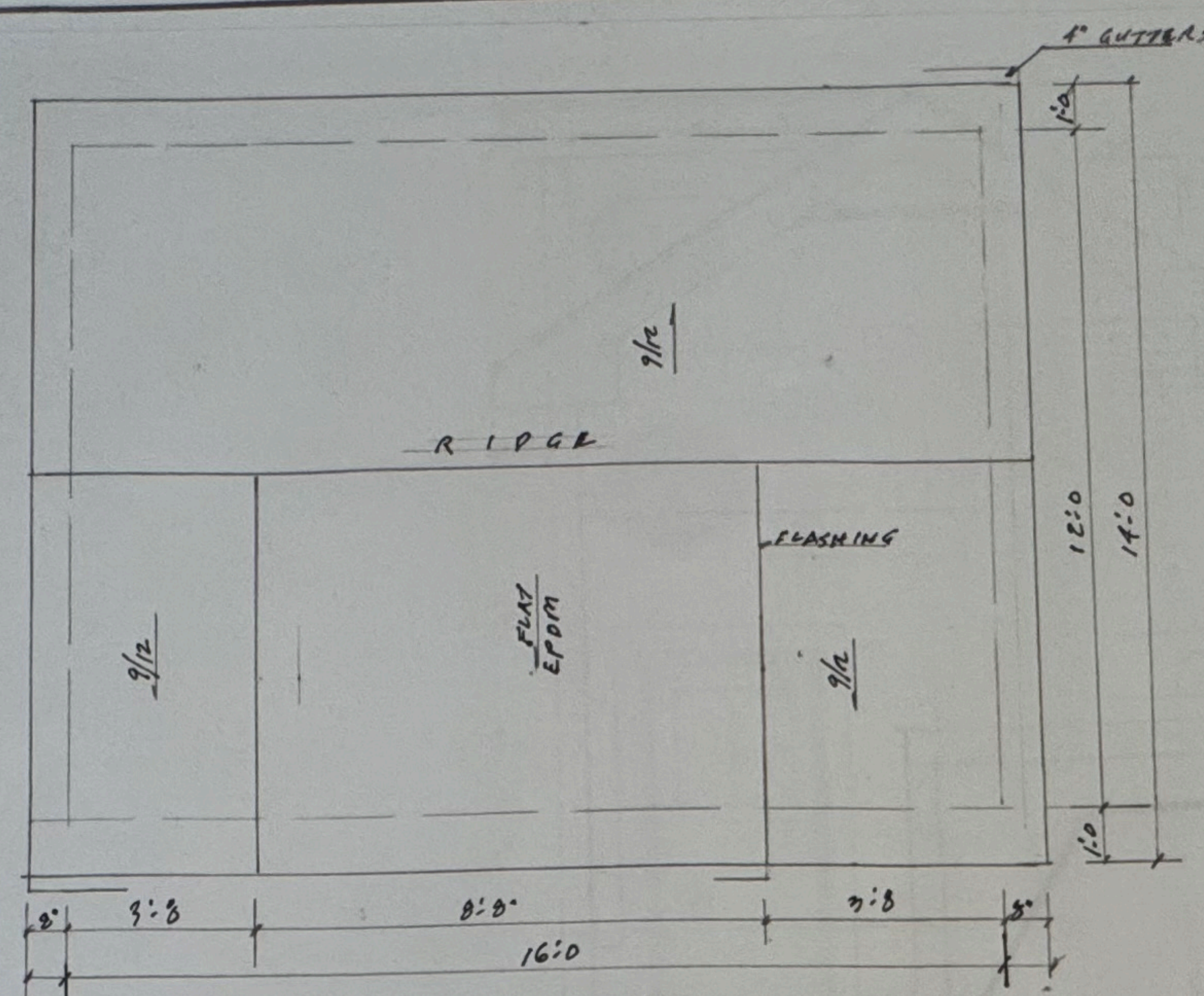
P.O. Box 257
131 Talbot Road
Gulfport, Connecticut 06437

Tel: 203.453.8358
Fax 203.903.5217
Cell 203.988.1068
manginoberg@yahoo.com

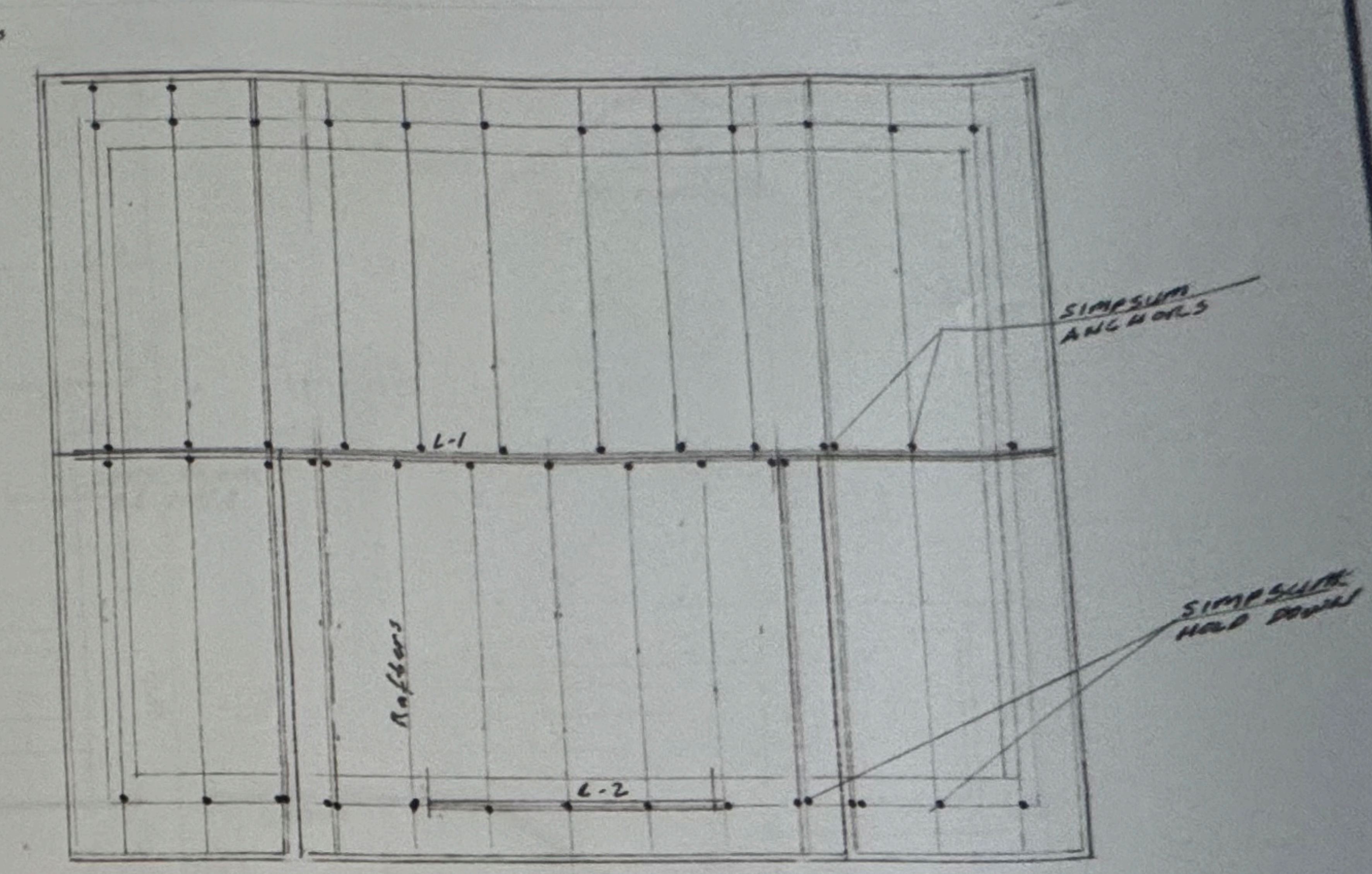




SECOND FLOOR PLAN
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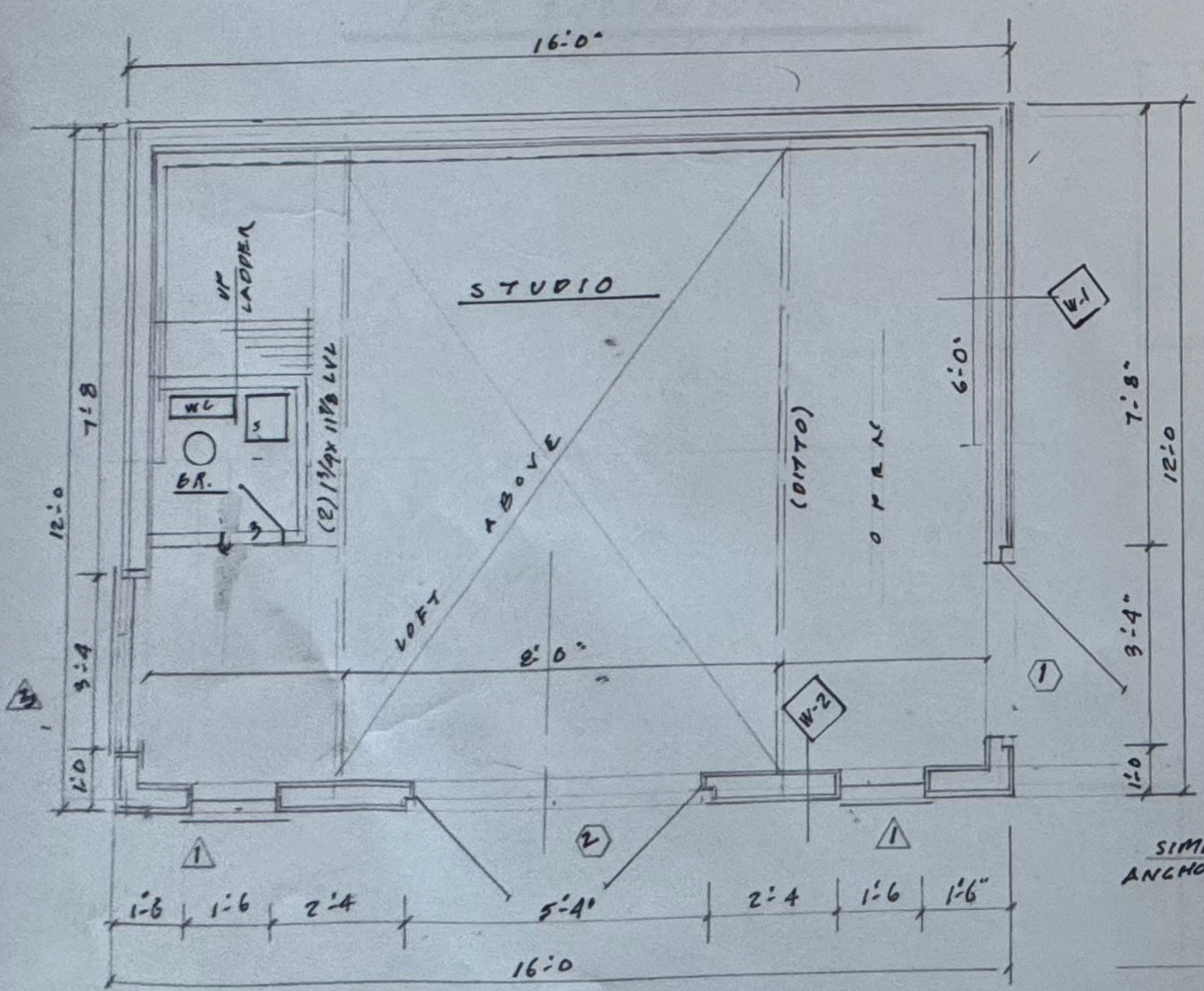


ROOF PLAN
scale: 1/8" = 1'-0"

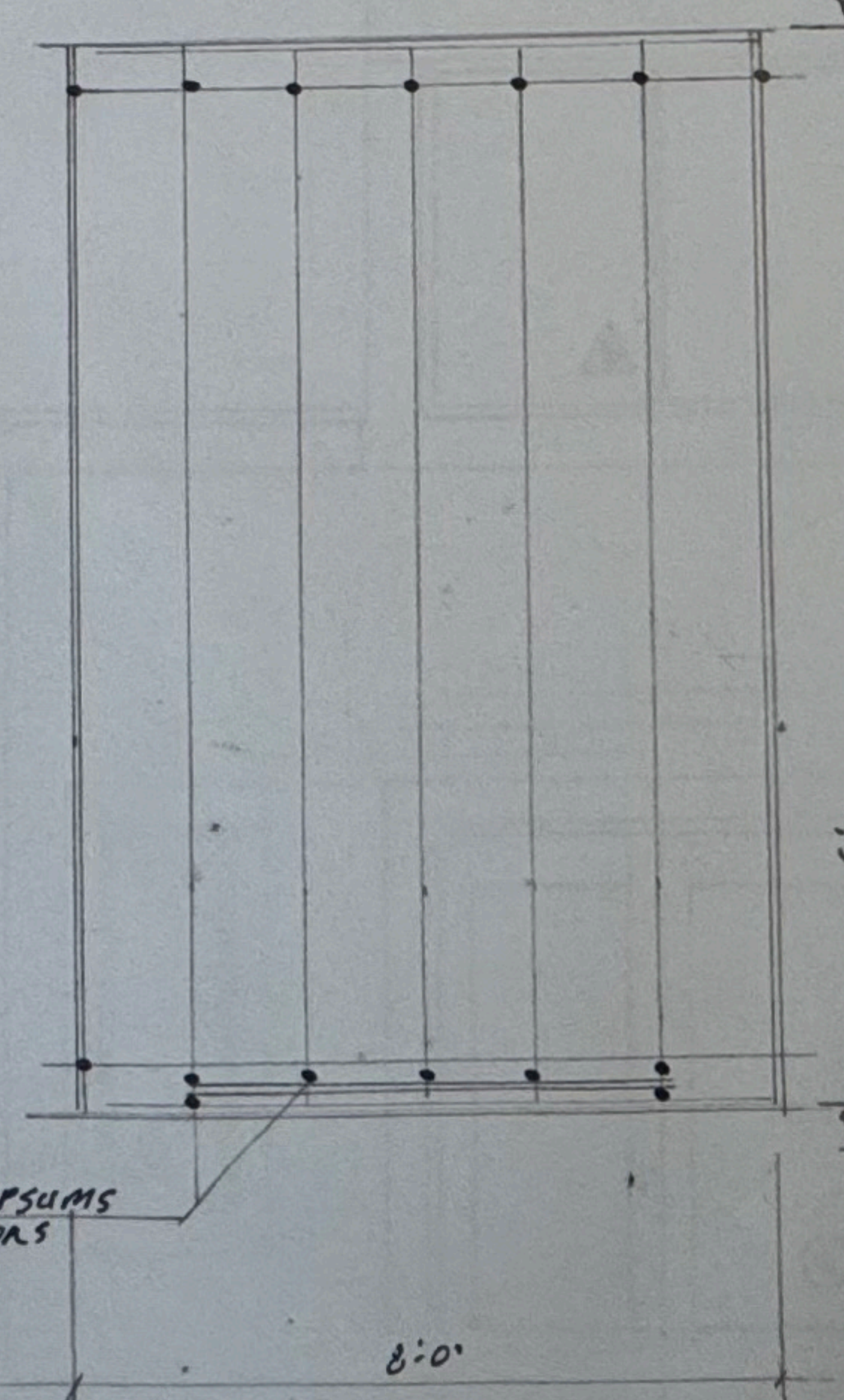


ROOF FRAMING PLAN
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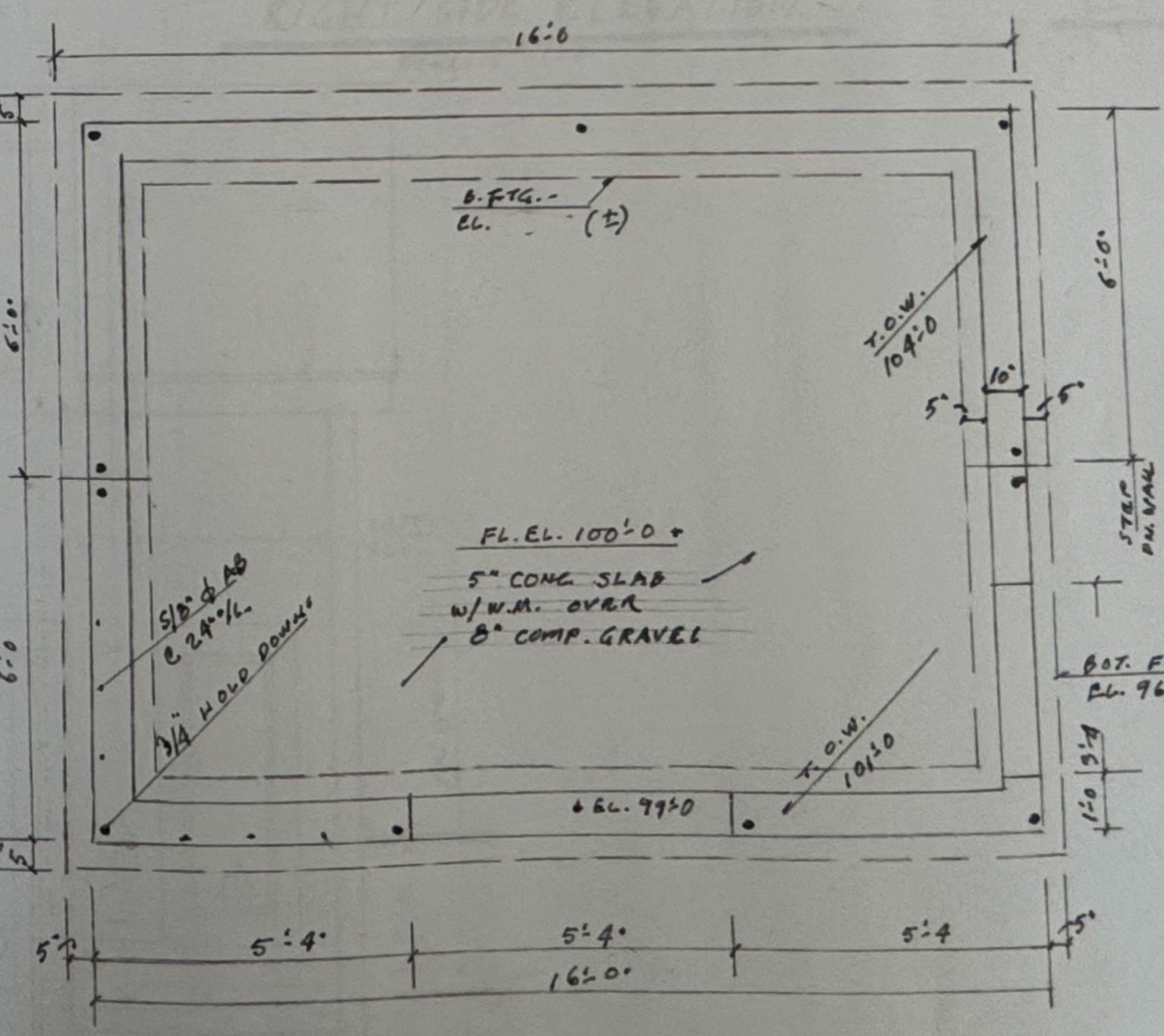
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Rafters - 2x10 @ 16" o.c.
5/8" PLYWOOD DECK
W.P. MEMBRANE



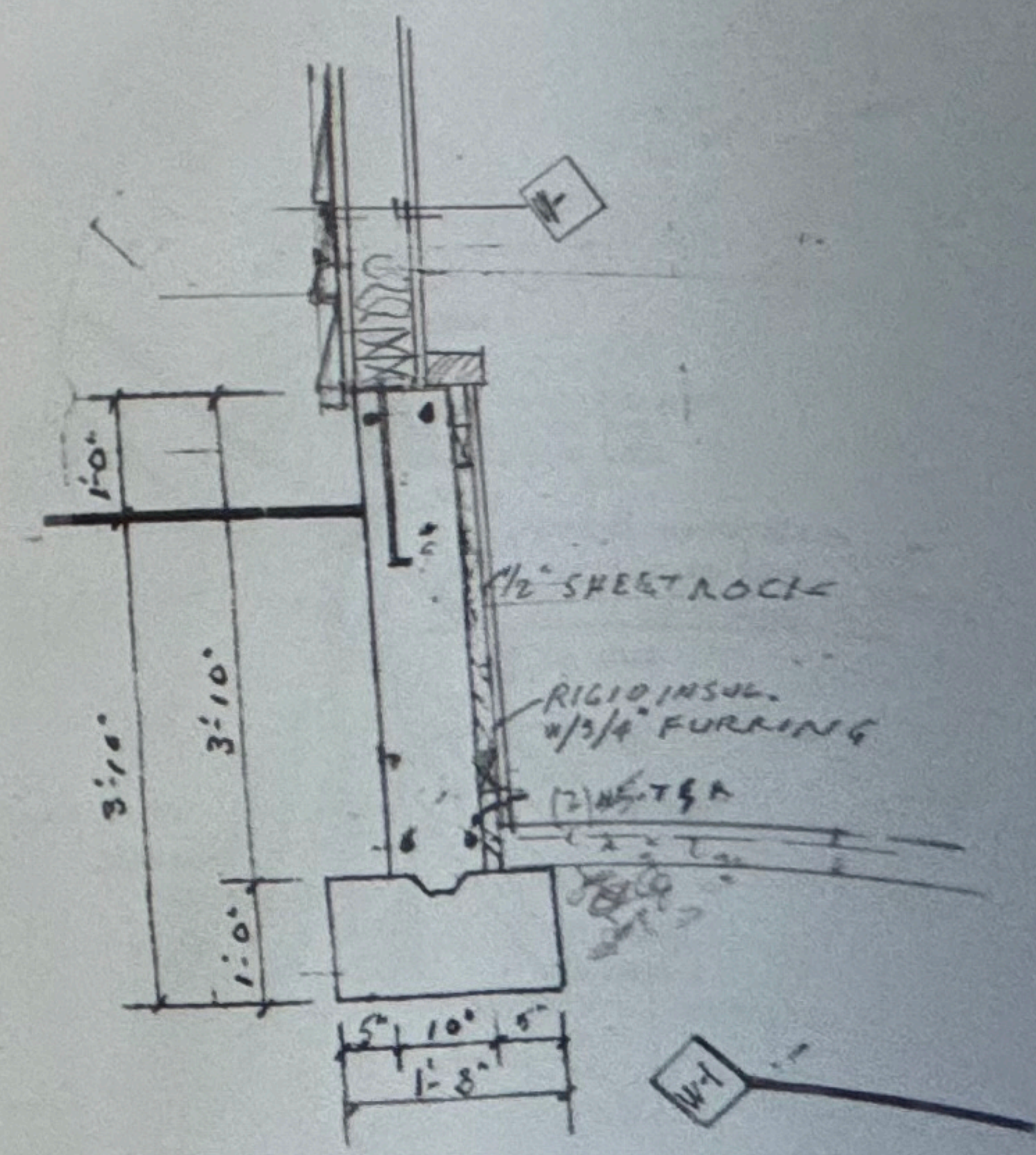
FIRST FLOOR PLAN
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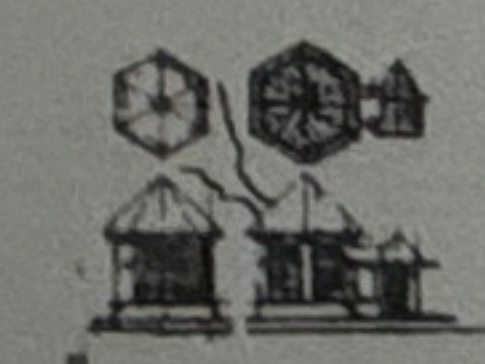
LOFT FRAMING PLAN
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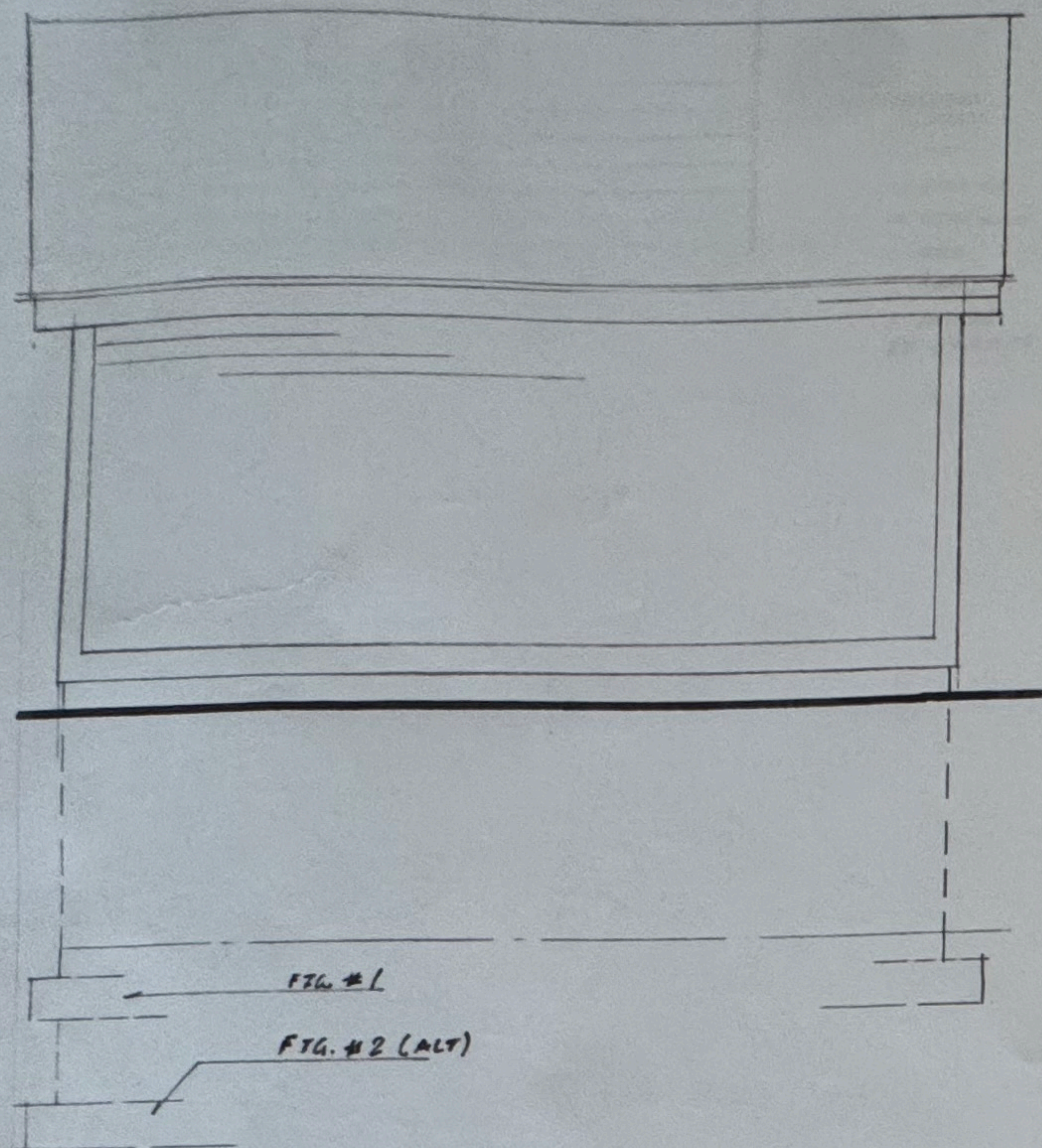
FOUNDATION PLAN
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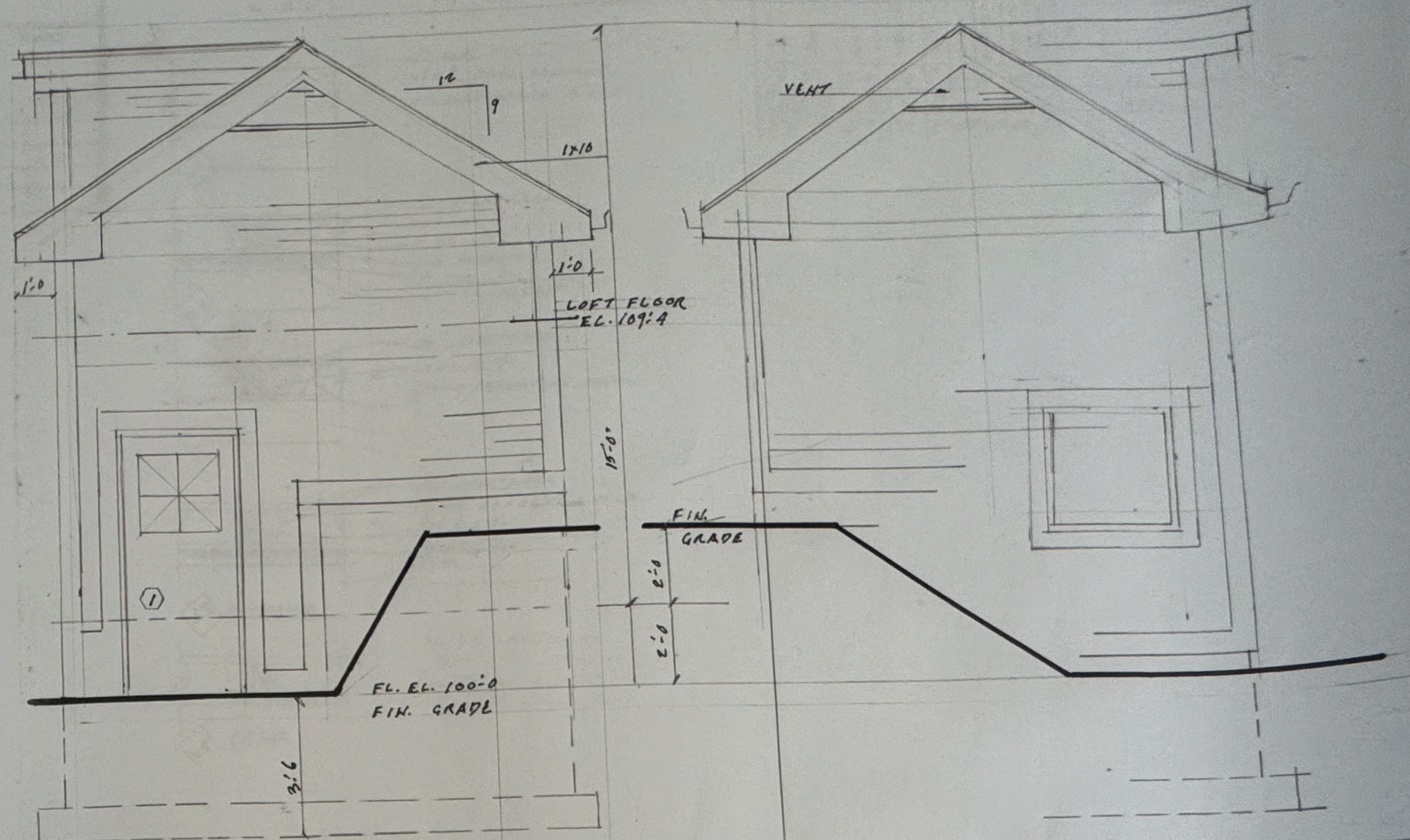
Robert Mangino
Architect
P.O. Box 257
131 Talcott Road
Gulfport, Connecticut 06437
Tel: 203.453.8358
Fax: 203.903.5217
Cell: 203.988.1068
manginorober@yahoo.com



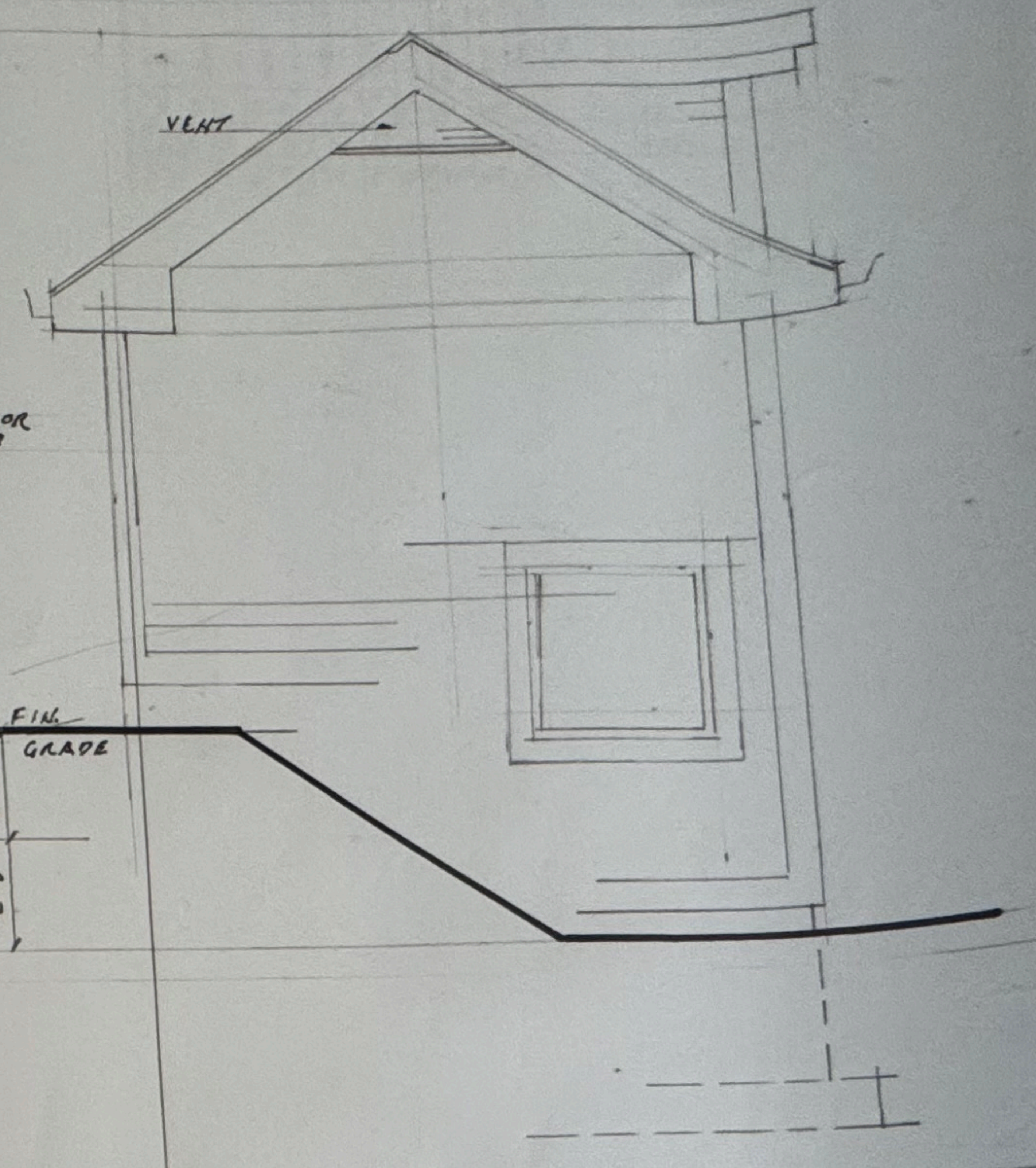
STUDIO
82 ASCOLESE ROAD
TRUMBULL, CONN.
DATE: 11/6/25



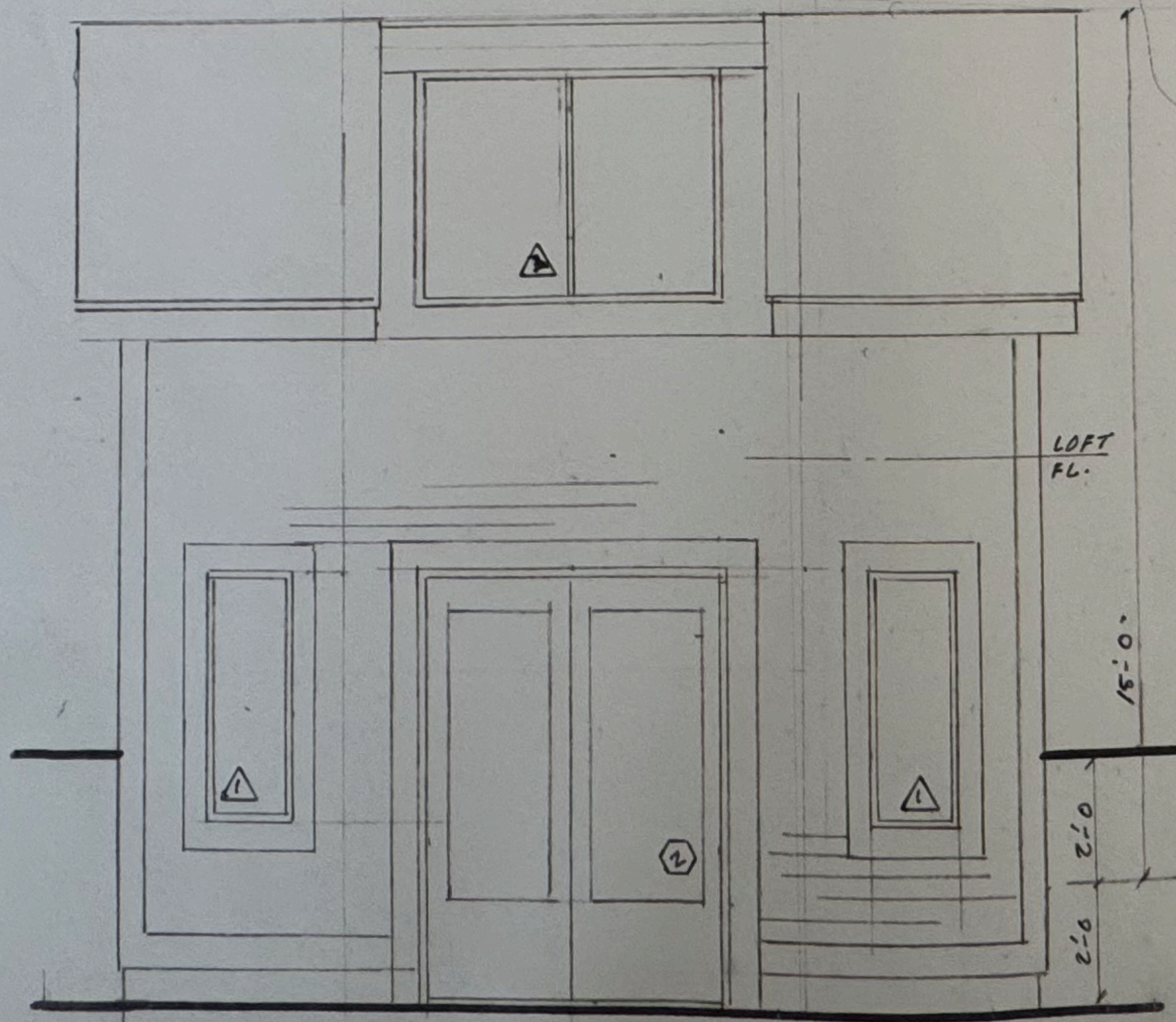
REAR ELEVATION
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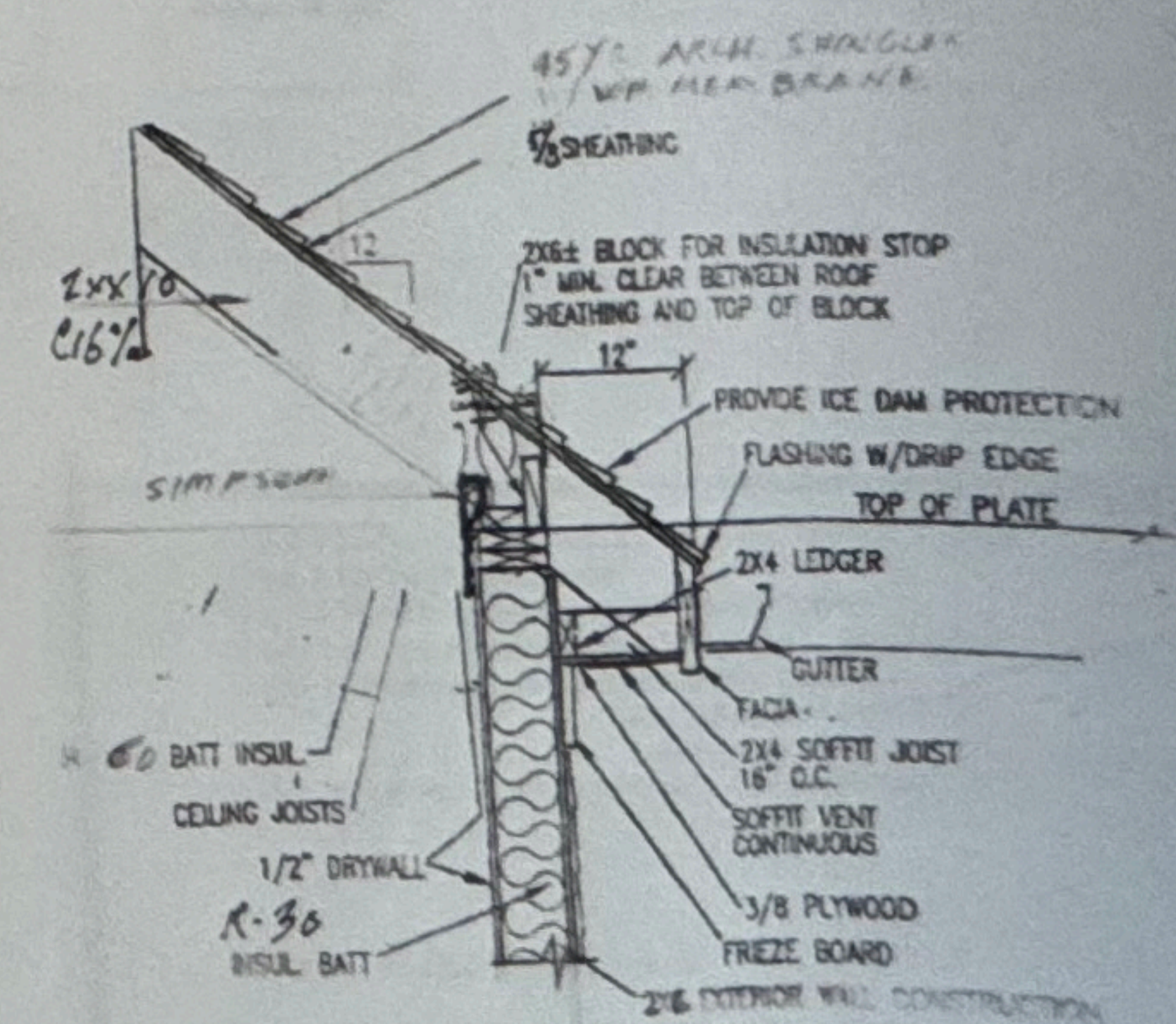
RIGHT SIDE ELEVATION
scale: 1/2" = 1'-0"



LEFT SIDE ELEVATION
scale: 1/2" = 1'-0"



FRONT ELEVATION
scale: 1/2" = 1'-0"



Robert Mangino
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Fax: 203.903.5217
Cell: 203.988.1068
manginorobert@yahoo.com



STUDIO
52 ASCOLESE ROAD
TRUMBULL, CONN.

DATE: 11/6/95

1a2

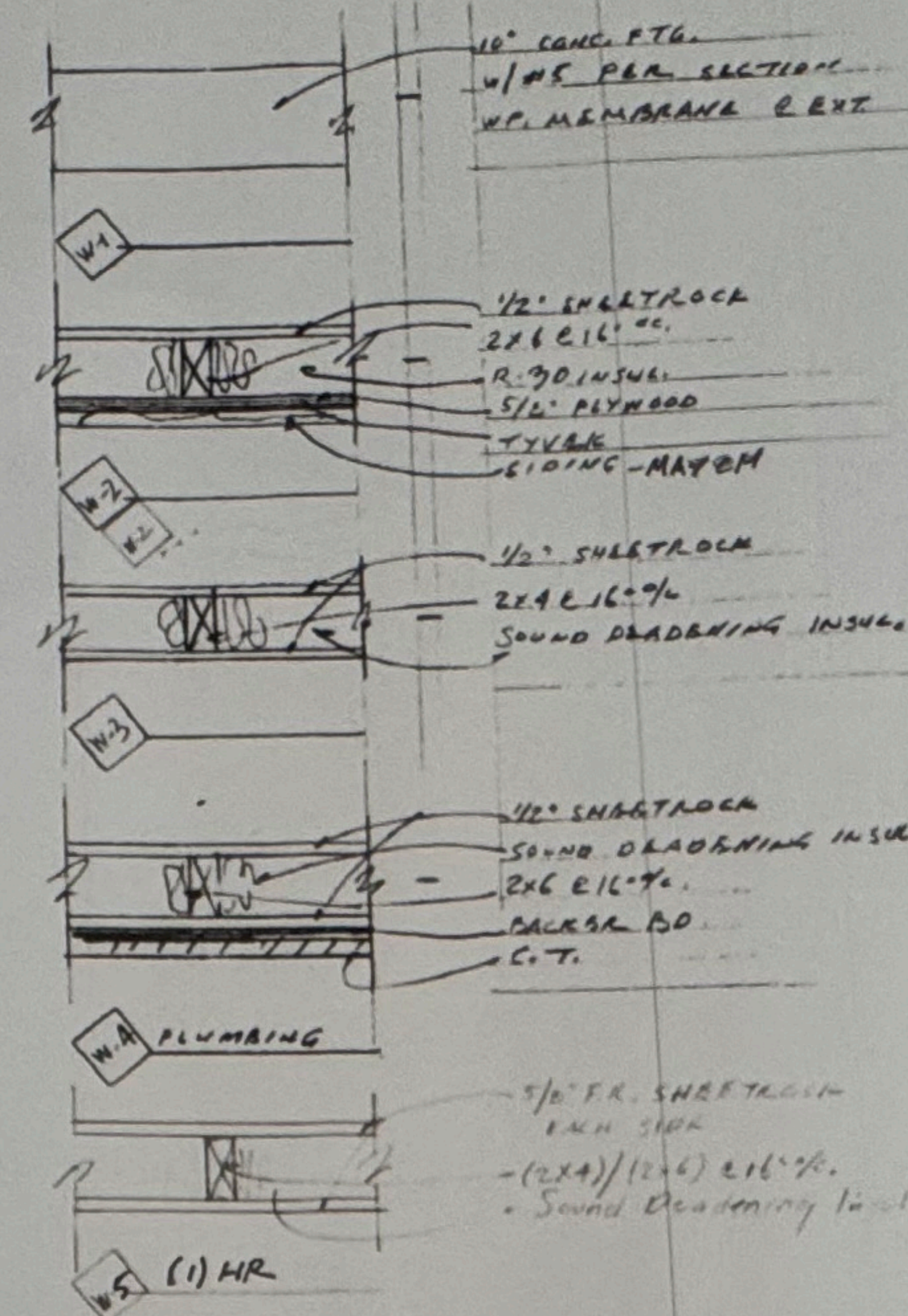
PROJECT 52.

ROOM FINISH SCHEDULE														REMARKS						
FLOORS				WALLS				CEILING			BASE									
CONCRETE	WALL	CEMENT TILE	CARPET	UNPAVED	PAVED	STUCCO	WALL COVERING	CEMENT TILE	ENAMELED STEEL	PANIC	WOOD PANEL	F.F. SHEETROCK			ONE	ACUSTICAL	STUCCO	F.F. SHEETROCK	WALL	WOOD
STUDIO	X					X								X				X		
LOFT	X					X								X				X		
DR.	X					X								X				X		

ABBREVIATIONS
 C CASSETTE
 F FIXED
 D.H. DOUBLE HUNG
 FM FACTORY MULLION
 E EGRESS
 T TEMPERED
 A JAWING
 EX EXISTING

NEW WINDOW SCHEDULE										REMARKS
CLASS TYPE	WIDTH	HEIGHT	INSULATED	EXTERIOR	INTERIOR	JAMB TYPE	GLASS TYPE	GLASS TYPE	GLASS TYPE	
1	7'6"	4'0"	✓	VC	WD	WD				
2	5'0"	4'0"	✓	VC	WD	WD				
3	3'4"	3'4"	✓	VC	WD	WD				

WALL TYPES



DOOR SCHEDULE												REMARKS
LOCATION	WIDTH	HEIGHT	THICKNESS	FINISH	MATERIAL	THRESHOLD	JAMB TYPE	DOOR TYPE	RATING	CLOSER		
①	3'-0"	6'-0"	1 3/4"	P	VC	WF	WD	D			EXT.	
②	2'-2 1/8"	6'-0"	1 3/4"	P	WD		WD	C			EXT.	
③	2'-0"	6'-0"	1 3/4"	P	WD	WF	WD	C				

GENERAL NOTES

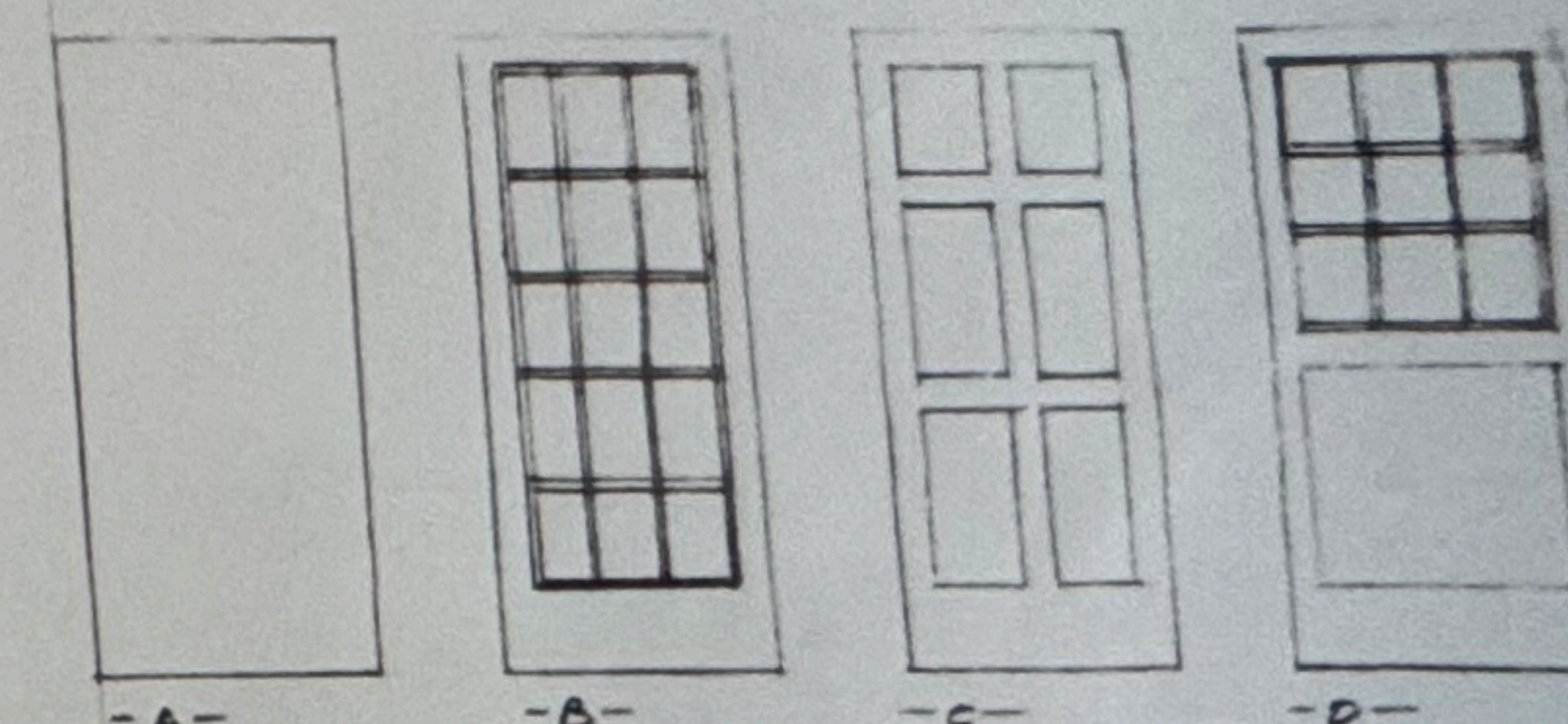
1. ALL FINISHES SHALL MEET ALL APPLICABLE CODES, BUILDING AND FIRE OFFICIALS APPROVAL. (SUBMIT SAMPLES AS REQ. FOR APPROVAL)
2. ALL WORKMANSHIP SHALL BE OF THE HIGHEST PROFESSIONAL CALIBER.
3. ALL WORK SHALL MEET ALL APPLICABLE STATE, LOCAL, BUILDING, FIRE, HANDICAPPED CODES.
4. ALL WORK RELATIVE TO THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE DETECTION SYSTEM, SHALL MEET ALL APPLICABLE CODES. SUCH INFORMATION, DESIGN DETAILS ARE NOT PART OF THIS SUBMISSION AND IF REQUIRED SHALL BE SUBMITTED AT A LATER DATE.
5. LOCATION OF UNIT PARTITIONS MAY BE ADJUSTED IN THE FIELD.
6. CONTINUOUS CAULKING AROUND DOOR, WINDOW FRAMES AS REQUIRED.
7. R.O. TO BE SET FROM MANUFACTURERS SHOP DRAWINGS.
8. ALL DOORS WITH 3 EJECTS.
9. ALL DOORS WITH LOCKING.
10. SHEETROCK (3) COAT TAPING APPLICATION.
11. ALL INTERIOR TRIM TO BE PAINTED.

FOUNDATION NOTES

1. ALL FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL / COMPACTED STRUCTURAL FILL / ROCK HAVING MINIMUM BEARING CAPACITY AS INDICATED IN DESIGN BASIS.
2. BOTTOMS OF ALL EXTERIOR FOOTINGS TO BE MINIMUM OF 8'-6" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
3. MAXIMUM SLOPE FOR BOTTOM OF FOOTINGS (OR BETWEEN BOTTOMS OF ADJACENT FOOTINGS) TO BE 1 VERTICAL TO 2 HORIZONTAL.
4. ALL SOIL SURROUNDINGS AND BENEATH FOOTINGS SHALL BE PROTECTED FROM FROST DURING THE COURSE OF CONSTRUCTION.
5. PLACEMENT OF ALL COMPACTED FILL AND COMPACTION OF SUBGRADE SHALL BE UNDER FULL TIME DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER. CONCRETE SLABS AND FOOTINGS SHALL NOT BE PLACED UNTIL FILL AND SUBGRADE HAVE BEEN CHECKED IN PLACE AND APPROVED BY THE GEOTECHNICAL ENGINEER.

CONCRETE NOTES

1. UNLESS OTHERWISE SHOWN, LOCATE REINFORCING BARS WITH FOLLOWING CLEAR DIMENSION TO FACE OF CONCRETE:
 A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3" CLEAR
 B. EXTERIOR EXPOSED OR WEATHER: 2" CLEAR
 C. SLABS: 1/2" CLEAR FROM TOP
2. CONCRETE ACCESSORIES MUST BE ADEQUATE TO MAINTAIN REINFORCING ACCURATELY IN PLACE AND BE NON-CORROSIVE NON-STAINING TYPE.
3. LAP ALL BAR REINFORCING IN CONCRETE ELEMENTS 49 DIAMETERS MINIMUM (UNLESS OTHERWISE NOTED).



DOOR TYPES

2022 State of Connecticut Building Code
 2022 State Fire Code
 2022 International Building Code
 2022 International Residential Building Code
 2022 International Plumbing Code
 Mechanical Code
 Energy Conservation Code
 2020 National Electrical Code (NEPA 701)

single family residence
 type of construction: V3 unprotected wood framed
 ceiling insulation: R-60
 wall insulation: R-30
 floor insulation: R-38

PROJECT 52

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 Fax: 203.903.5217
 Cell: 203.988.1068
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STUDIO
 52 ASCOLESE ROAD
 GRUMBULL, CONNECTICUT

DATE: 11/6/05

3

LEGEND

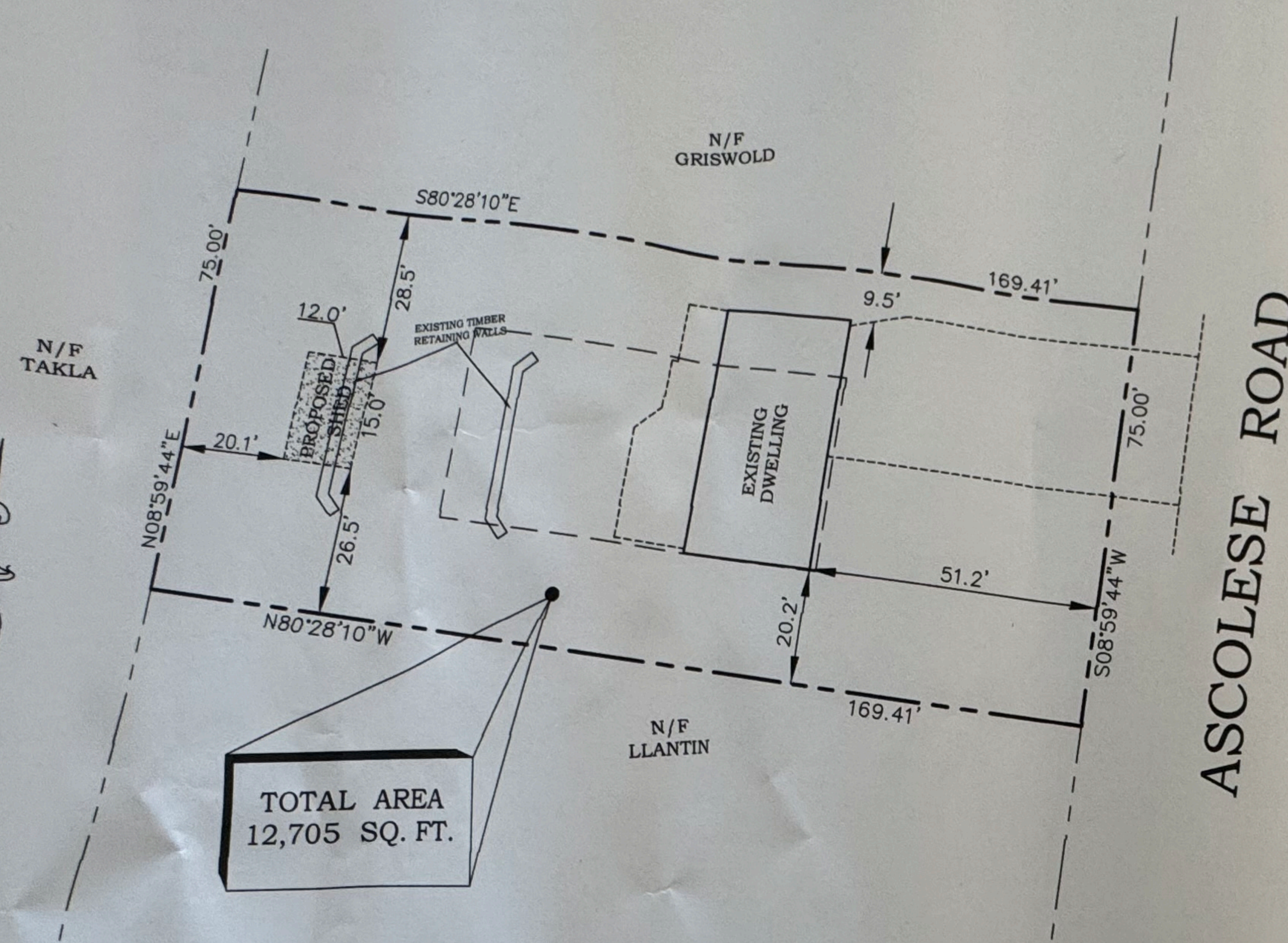
--- PROPERTY LINE

~~~~~ WETLANDS

---+--- SILT FENCE

---(X)--- PROPOSED ELEVATION

---(X)--- PROPOSED CONTOUR



TOTAL AREA  
12,705 SQ. FT.

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 20-300B-1 TO 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES. IT IS A MAP BASED ON A DEPENDANT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2. TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Fred D'Amico  
FRED D'AMICO CONN. P.E., L.S. 10833

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Scale  $1" = 30'$

|      |        |
|------|--------|
| Date | 12/11/ |
|------|--------|

TRUMBULL CONNECTICUT

|               |
|---------------|
| Drawing Title |
|---------------|

PROPOSED SHED

REVISION DESCRIPTION

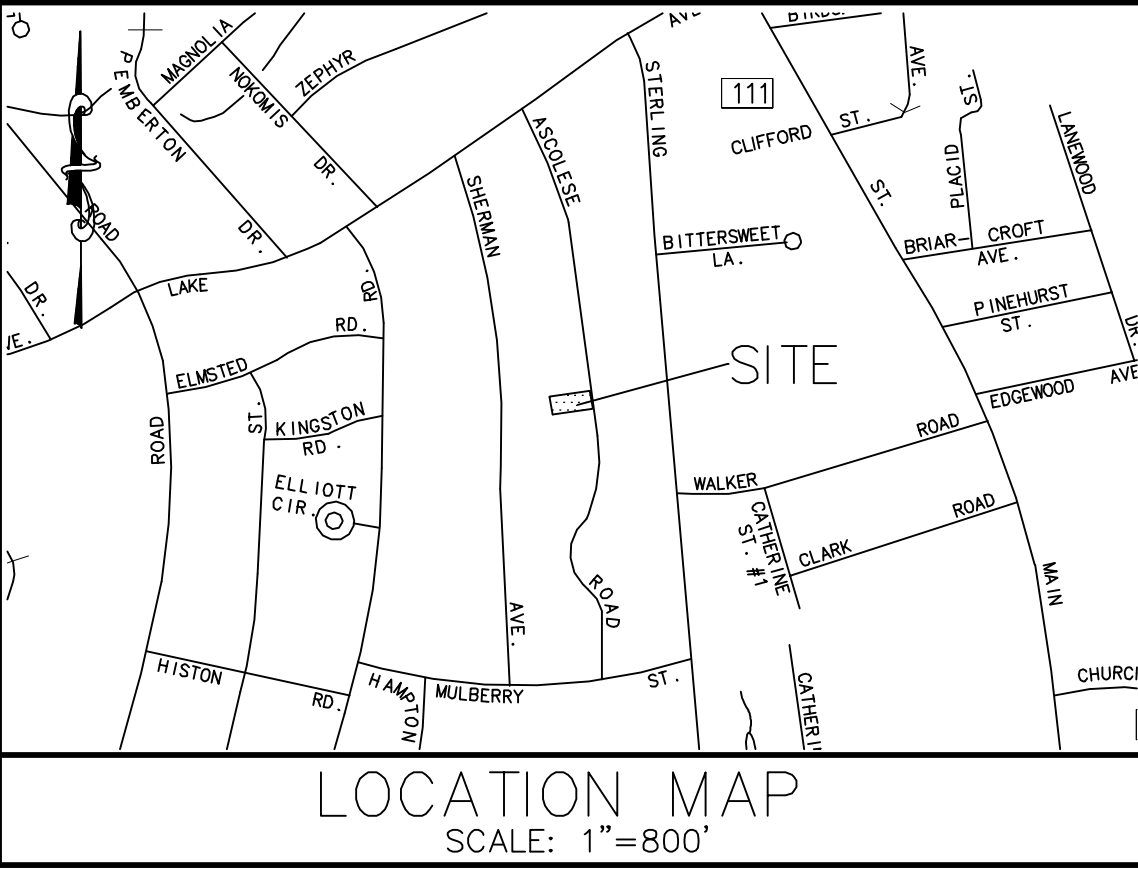
Date \_\_\_\_\_

No.

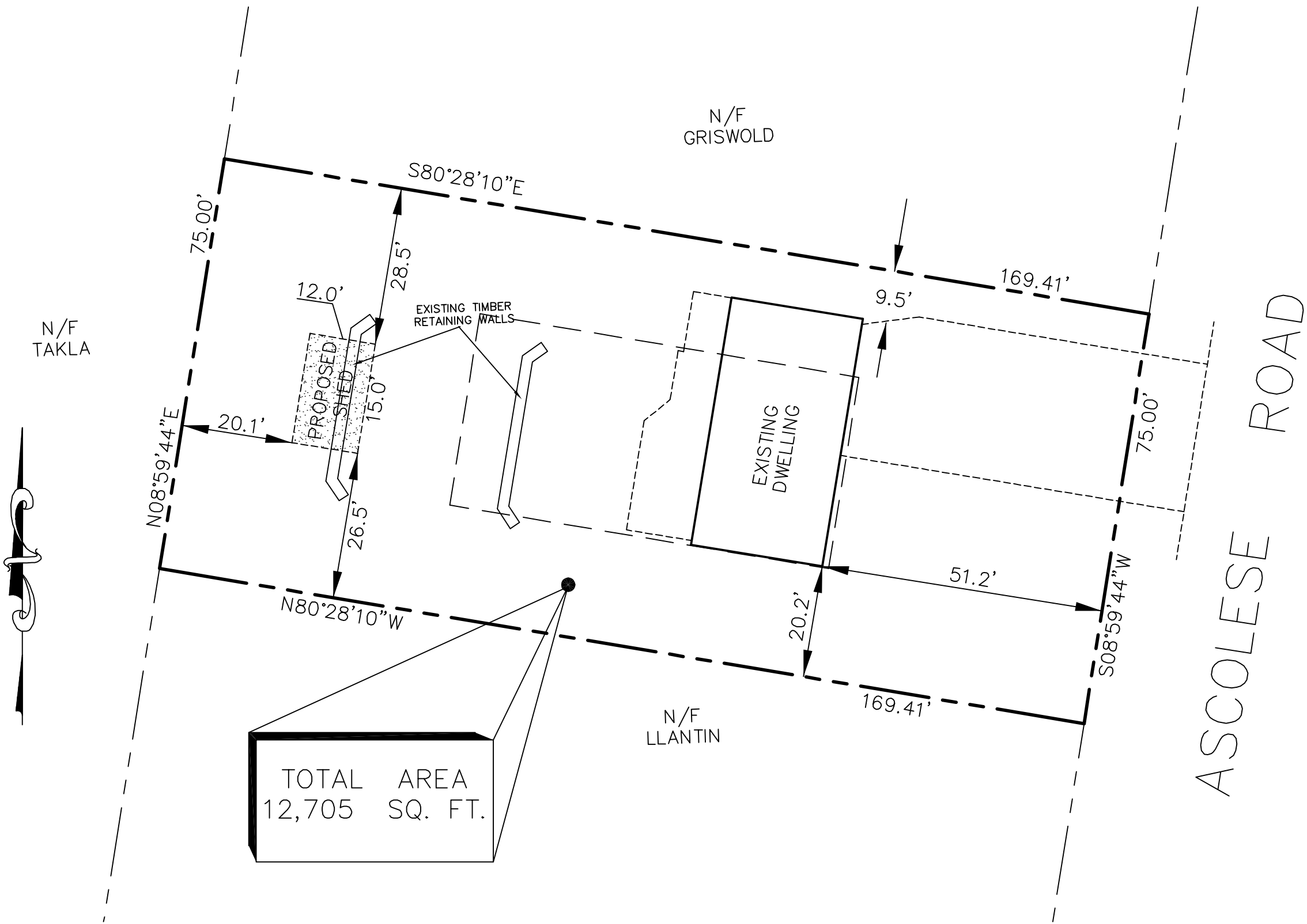


LEGEND

- PROPERTY LINE
- WETLANDS
- SILT FENCE
- x (350.2) PROPOSED ELEVATION
- 342 PROPOSED CONTOUR



LOCATION MAP  
SCALE: 1"=800'



SITE STATISTICS

| BULK STATISTICS            | REQUIRED R-A ZONE | PROPOSED       |
|----------------------------|-------------------|----------------|
| LOT AREA MINIMUM           | 43,650 SQ. FT.    | 12,705 SQ. FT. |
| FRONTAGE MINIMUM           | 150 FT.           | 75 FT.         |
| FRONT LINE SETBACK MINIMUM | 50 FT.            | 51.2 FT.       |
| SIDE LINE SETBACK MINIMUM  | 20 FT.            | 26.5 FT.       |
| REAR LINE SETBACK MINIMUM  | 50 FT.            | 20.1 FT.       |
| BUILDING COVERAGE MAXIMUM  | 25 %              | 13.8%          |
| SITE COVERAGE MAXIMUM      | 60%               | 24.5%          |
| HEIGHT MAXIMUM             | 40 FT.            | 24.6 FT.       |

| No. | Date | REVISION DESCRIPTION |
|-----|------|----------------------|
|     |      |                      |
|     |      |                      |
|     |      |                      |

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|         |        |
|---------|--------|
| Job No. | 4840   |
| Scale   | 1"=30' |

|        |            |
|--------|------------|
| Drn By | JVD        |
| Date   | 12/11/2025 |

|              |                                         |
|--------------|-----------------------------------------|
| Project Name | CHRISTOPHER DECRUZE<br>52 ASCOLESE ROAD |
| TRUMBULL     | CONNECTICUT                             |

|               |               |
|---------------|---------------|
| Drawing Title | PROPOSED SHED |
|---------------|---------------|