

**Town of Trumbull**  
**CONNECTICUT**

**Planning and Zoning  
Department**  
Telephone (203) 452-5044  
Fax (203) 452-5169



**Town Hall**  
5866 Main Street  
Trumbull, Connecticut 06611

**ZONING BOARD OF APPEALS**

TO: MEMBERS OF THE ZONING BOARD OF APPEALS  
RE: REGULAR MEETING – WEDNESDAY, JANUARY 7, 2026

The Zoning Board of Appeals will hold a Regular Meeting on Wednesday, January 7, 2026, at 7:00p.m. in the Town Hall Council Chambers (5866 Main Street).

**AGENDA**  
PUBLIC MEETING  
7:00 P.M.

**Pledge of Allegiance**

**Roll Call**

**Regular Meeting:**

**Acceptance of Minutes**

Acceptance of the December 3, 2025, Zoning Board of Appeals Regular Meeting minutes.

**Applications**

**Application 25-27: 260 Old Town Road, Attorney Robert Bellitto for Ailton Goncalves & Luis Vaz.** The applicants are requesting the following: minimum lot coverage variances of 14,960SF, where 21,780SF is required and 6,820SF is proposed, for lot A; a 15,780SF variance, where 21,780SF is required and 6000 SF is proposed, for lot B; a minimum road frontage variance of 50.8', where 125' is required and 74.20' is proposed, for lot A; minimum road frontage variance of 65', where 125' is required and 60' is proposed, for lot B; a 29' front lot setback variance, where 50' is required and 21' is proposed, for lots A and B; a 4.5' side yard setback variance, where 20' is required and 15.5' is proposed, for lots A and B; a 31' rear lot setback variance, where 50' is required and 19' is proposed, for lots A and B; a 2.5% maximum lot coverage variance, where 25% is required and 27.5% is proposed, for lot B; a maximum floor area ratio variance of .056 from 0.29 to 0.346 for lot A; and a maximum floor area ratio variance of .103 from 0.29 to 0.393 for lot B.

**Application 25-30: 260 Old Town Road, Attorney Robert Bellitto for Ailton Goncalves & Luis Vaz.** The applicants are requesting a 28.1' corner lot setback variance on Old Town Road, where 50' is required and 29.1' is proposed on Lot A, in Residential Zone A under Article III of the Trumbull Zoning Regulations.

**Application 26-01: 18 Fern Circle, Bryce & Karen Bollert for Pollyann K. Owen Est. c/o Timothy K. Owen.** The applicant is requesting a 16,977SF lot size variance, where 43,560SF is required and 26,583SF is proposed, for a lot line revision that will increase the lot size of 32 Fern Circle in Residential Zone AA under Article III of the Trumbull Zoning Regulations.

**Application 26-02: 51 Zephyr Road, Joseph R. Mastroluca.** The applicant is requesting a 17.5' front lot setback variance on Magnolia Rd, where 50' is required and 32.5' is proposed, to construct an addition in Residential Zone A under Article III of the Trumbull Zoning Regulations.

**Application 26-03: 52 Ascolese Road, Claude Duzant for Christopher DeCruze & Emily Rose.** The applicants are requesting a 29.9' variance, where 50' is required and 20.1' is proposed, to construct a workshop in Residential Zone A under Article II, sec. 1.1.2 & Article III of the Trumbull Zoning Regulations.

Consider and act on applications from the Public Hearing.

Dated at Trumbull, CT this 29<sup>th</sup> day of December 2025.

By: Gia Mentillo, Clerk.

**COMMISSION MEMBERS: Please notify Gia Mentillo, Clerk, at 203-452-5044 or [gmentillo@trumbull-ct.gov](mailto:gmentillo@trumbull-ct.gov) if you are unable to attend the meeting.**

Date Received: \_\_\_\_\_

Application #: 25-27**ZONING BOARD OF APPEALS**APPLICATION FOR HEARING:**1. The purpose of this application is for the following:**

- a. Variance of the Trumbull Zoning Regulations
- b. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_
- c. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

**2. Location of Subject Premises:**House and Street: 260 Old Town RoadAssessor's Map No. H12 Parcel No. 27 Lot No. --Trumbull Land Records: Volume(s) 1930 Page(s) 576Zoning District: A**3. Name of Applicant: Ailton Goncalves & Luis Vaz**Street Address: 179 William StreetCity: Bridgeport ST: CT Zip: 06608 Email: [REDACTED]Phone: Day 203-650-3916 Evening 203-650-3916Signed by: Ailton Goncalves

SIGNATURE OF APPLICANT

5018P8FED9354B4... C563181684214E9...

(If agent, state capacity)

**4. Owner of Record: Ailton Goncalves & Luis Vaz**Street Address: 179 William StreetCity: Bridgeport ST: CT Zip: 06608 Email: [REDACTED]Signed by: Ailton Goncalves

SIGNATURE OF OWNER OF RECORD

5018P8FED9354B4...

C563181684214E9...

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

Setbacks (front, side, rear)  
 Floor Area  
 Lot Area  
 Lot Coverage  
 Damage Reconstruction  
 Parking  
 Extension of enlargement of a non-conforming use or building  
 Other (explain) \_\_\_\_\_

---

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) \_\_\_\_\_ PARAGRAPH(S) \_\_\_\_\_  
SUBPARAGRAPH(S) \_\_\_\_\_

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

NO \_\_\_\_\_  
\_\_\_\_\_

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY  
WHEN APPLICABLE: SEE ATTACHED

\_\_\_\_\_  
\_\_\_\_\_

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

SEE ATTACHED  
\_\_\_\_\_

4. Requesting variance of Article III bulk standards as applied to properties in the Residence A Zone.
5. The hardship is based on the unique size and shape of the property, the strict application of the zoning regulations as applied to this property and the legal principle of fundamental fairness which requires this property to be afforded parity with other residential properties and uses in the immediate neighborhood.

Property Location 260 OLD TOWN ROAD  
Vision ID 2889

Map ID H/12 / 00027/ 000/  
Account # 00252400

Bldg # 1

Parcel Name  
Sec # 1 of 1

State Use 101  
Print Date 10/15/2025 1:22:11 P

CURRENT OWNER		TOPO	UTILITIES	STRT/ ROAD	LOCATION	CURRENT ASSESSMENT				6144 TRUMBULL, CT
GONCALVES AILTON						RES LAND	1-1	114,300	80,010	
VAZ LUIS						DWELLING	1-3	43,900	30,730	
179 WILLIAM ST										
BRIDGEPORT CT 06608										
<b>SUPPLEMENTAL DATA</b>										
Alt Prci ID 00252400				Dev Lot: LOT PT 208						
Census Tr 0904				Survey Ma						
Fire Dist: T				Survey Ma						
Border Pro				Section # : A3						
Voting Dist				CB Letter: R						
GIS ID 00252400				Assoc Pid#						
							Total	158,200	110,740	

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	VII	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)							
GONCALVES AILTON		1930	0576	07-17-2024	U	1	210,000	26	Year	Code	Assessed	Year	Code	Assessed V	Year
IVY LEAGUE CONCESSIONS LLC		1898	0297	09-13-2022	U	1	1	03	2024	1-1	80,010	2023	1-1	80,010	2022
MCFADDEN IVY		1749	0851	08-31-2017	Q	1	90,000	U		1-3	30,730		1-3	30,730	
GRAUER BRADFORD C & DERRICK F		1660	0428	03-24-2014	U	1	1	04							
DERFORD ASSOCIATES LLC		1160	0189	11-05-2002	U	1	1	Q							
								Total	110,740	Total	110,740	Total	110,740	Total	110,740

EXEMPTIONS				OTHER ASSESSMENTS							APPRAISED VALUE SUMMARY						
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int	Appraised Bidg. Value (Card)	Appraised Xf (B) Value (Bldg)	Appraised Ob (B) Value (Bldg)	Appraised Land Value (Bldg)	Special Land Value	Total Appraised Parcel Value	Valuation Method		
									43,900	0	0	0	0	114,300	C		
		Total	0.00											158,200			

ASSESSING NEIGHBORHOOD		NOTES														
Nbhd	Nbhd Name	B														
6																

MEASUREMENT OF DECK & REAR MEAS EST										VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result			
									08-09-2024	LO	7	5	11	QC - Check			
									07-19-2005	RM		10		Measu/LtrSnt-Letter Sent n			
									03-16-2005	MJ	1		07	Measur/Inf/Dr-Info taken at			

LAND LINE VALUATION SECTION																	
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value	
1	101	Single Family Re	A			0.290	AC	182,160.00	2.88605	4	0.75	600	1.000	RESTRICTIONS	1.0000	394,285.3	114,300

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)															
Element	Cd	Description	Element	Cd	Description													
Style:	01	Ranch																
Model	01	Residential																
Grade:	03	D-1																
Stories:	1	1 Story																
Occupancy	1		CONDO DATA															
Exterior Wall 1	11	Clapboard	Parcel Id		C		Owne											
Exterior Wall 2						B		S										
Roof Structure:	02	Shed	Adjust Type	Code	Description	Factor%												
Roof Cover	02	Rolled Compos	Condo Flr															
Interior Wall 1	03	Plastered	Condo Unit															
Interior Wall 2	04	Plywood Panel	COST / MARKET VALUATION															
Floor Covering	12	Hardwood	Building Value New		63,684													
Alt. Floor Cover			Year Built		1903													
Heat Fuel	03	Gas	Effective Year Built		1990													
Heat Type:	05	Hot Water	Depreciation Code		A													
AC Type:	01	None	Remodel Rating															
Total Bedrooms	01	1 Bedroom	Year Remodeled															
Total Bthrms:	1	1 Full Bath	Depreciation %		31													
Total Half Baths	0		Functional Obsol															
Total Xtra Fixtrs			External Obsol															
Total Rooms:	3	3 Rooms	Trend Factor		1													
Bath Style:	02	Average	Condition															
Kitchen Style:	02	Average	Condition %															
Total Kitchens	1		Percent Good		69													
Total Elec Meter	1		RCNLD		43,900													
			Dep % Ovr															
			Dep Ovr Comment															
			Misc Imp Ovr															
			Misc Imp Ovr Comment															
			Cost to Cure Ovr															
			Cost to Cure Ovr Comment															
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																		
Code	Description	L/B	Units	Unit Price	Yr Bld	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value								
BUILDING SUB-AREA SUMMARY SECTION																		
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec	Value											
BAS	First Floor	496	496	496	100.06	49,629												
CRL	Crawl Space	0	100	0	0.00	0												
PTC	Concrete Patio	0	108	11	10.19	1,101												
UBM	Unfinished Basement	0	396	79	19.96	7,905												
WDK	Wood Deck	0	132	13	9.85	1,301												

H12-27 04/29/2015



10/28/25

To: Planning + Zoning Board of Appeals

From: Patricia Rose

11 Lansing Ave

Trumbull, CT 06611

I am still and always will be vehemently opposed to the building of two additional homes on the corner of Lansing Ave and Old Town Rd. As stated in my previous letter, this is a dangerous intersection for both traffic and pedestrians. With the addition of two more homes and who knows how many cars, this already narrow street will be even more dangerous.

Delivery trucks, cars, and even school buses have difficulty navigating this narrow street. The addition of more parked cars will only aggravate the situation.

I know I will never again see the beautiful, tree-lined street that was once Lansing Ave., but I do not want to see more parked cars and trucks making it an even more dangerous neighborhood to navigate.

November 5, 2025

Zoning Board of Appeals

Re: 260 Old Town Road

Once again we are put in the position of trying to save our neighborhood, our homes and our quality of life from the indifference of the Town and the greed of a developer.

The Zoning Board of Appeals has consistently and repeatedly sided with developers to our detriment. Developers comes in, do their damage, line their pockets and disappear leaving us to deal with the permanent effects of their greed and your lack of concern for the residents of the area.

Zoning regulations exist to protect and preserve but the ZBoA has never considered our neighborhood to be worthy of preservation or us to be worthy of protection. We are well aware that our proximity to Bridgeport has long made us expendable. We were told that very bluntly by an elected politician.

Streets that were quiet and tree lined are now lined with cars and are treeless thanks to developers and the UI who last year clear cut the neighborhood.

However, this time there is one major difference – safety. Visibility at the corner of Lansing and Old Town Road is already a problem. Old Town is a hill with a curve. When exiting Lansing onto Old Town cars coming up Old Town are not visible until they are only a few car lengths away from the intersection. Parked cars further limit that visibility and vehicles turning from Old Town onto Lansing are then forced into on-coming traffic. When cars are parked near or at the corners drivers on Old Town and Lansing cannot see each other. I've had numerous close calls and have often had to go past my own street and use another street to get to my home. Making it worse, Bridgeporters often park on Lansing and the other streets on the Trumbull side of Old Town.

The lot in question is too small for even one house. Residents have been denied permission to subdivide their properties into lots that were much bigger than this parcel and that posed no safety problems. Why is this project even being considered? No mention is made of garages or of

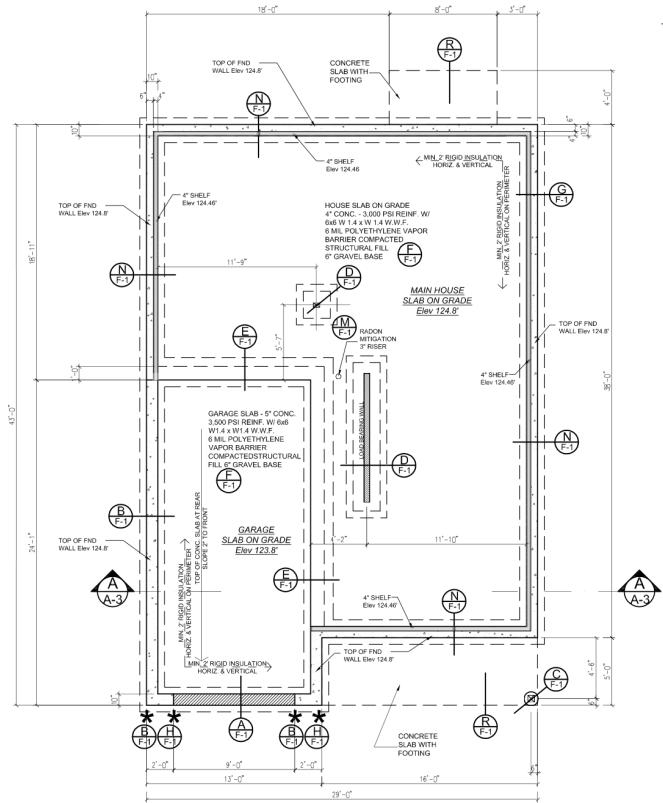
off street parking spaces. The drivers of both homes will park on Lansing and the danger will be constant and permanent.

Have any of you gone to see the lot? Have you driven through the neighborhood in the evening or on weekends to see the number of cars parked in the street instead of in driveways? Please, for the first time do what is best for the people who live there and not what is best for a developer. If Vaz takes a financial loss that is his problem. His finances should not be our burden. He and others have already made a profit at our expense. Can you for the first time say "hands off" and leave us alone?

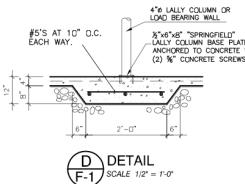
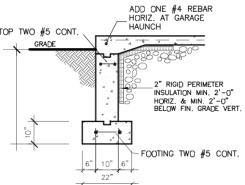


Carol A. Rose

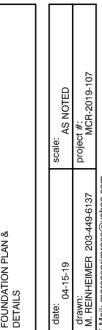
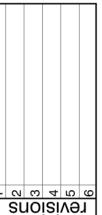
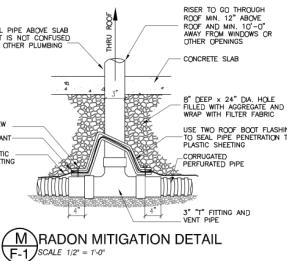
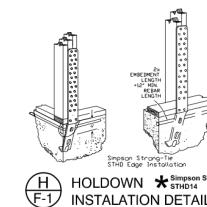
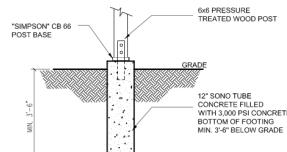
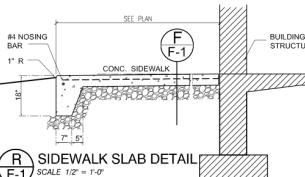
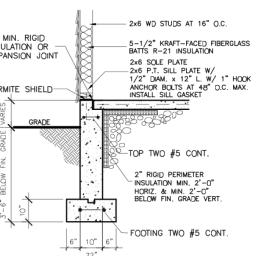
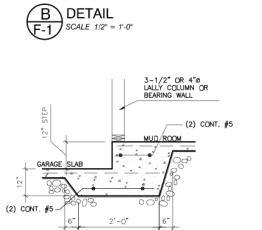
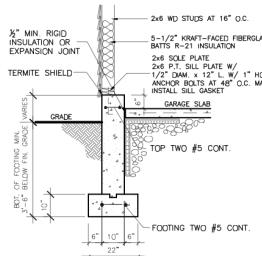
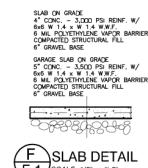
11 Lansing Avenue, Trumbull



**\* Simpson Strong-Tie STHD14**  
Min. 3500 lb. embedded  
tie-down each end of panel

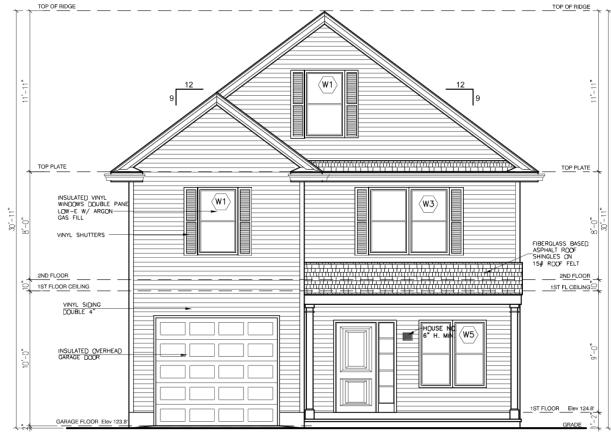


**E BEARING POST**  
F-1 SCALE  $1/2'' = 1'-0''$



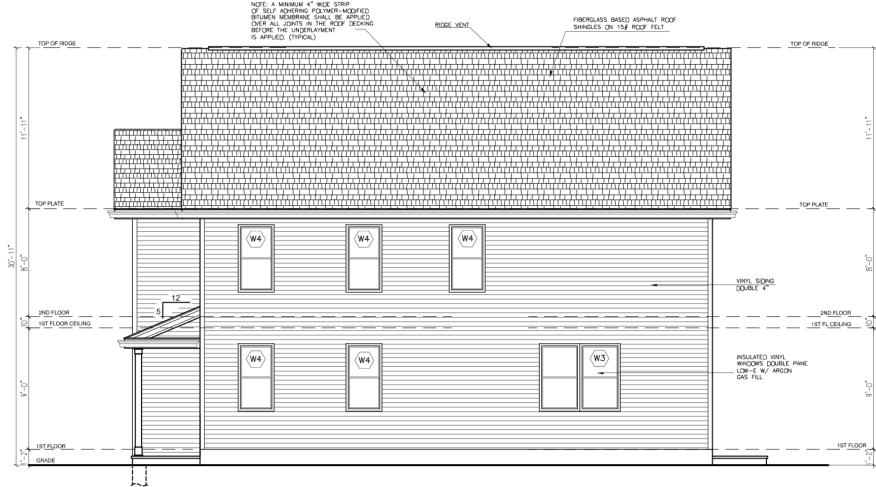
**F-1**





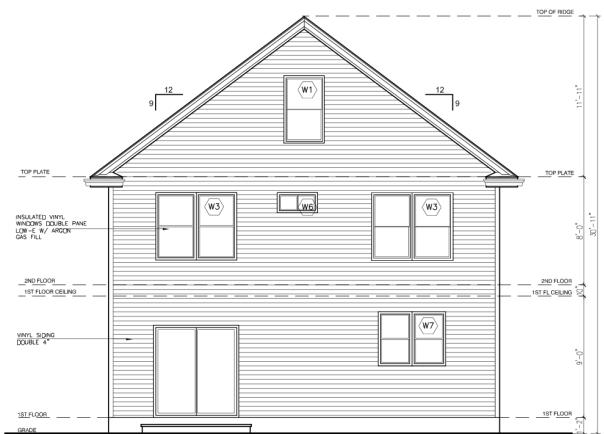
## FRONT ELEVATION

SCALE  $\frac{1}{4}'' = 1'-0''$



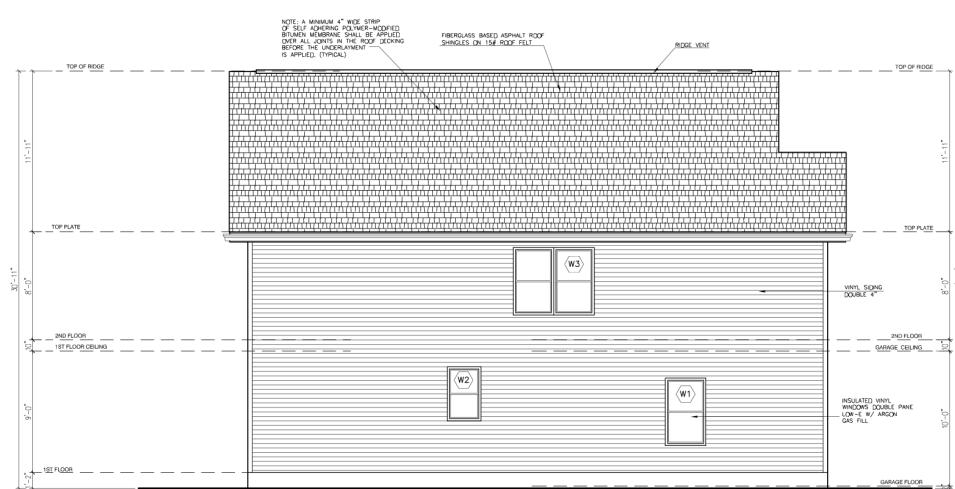
**LEFT SIDE ELEVATION**

SCALE  $\frac{1}{4}$ " = 1'-0"



REAR ELEVATION

SCALE  $\frac{1}{4}$ " = 1'-0"



**RIGHT SIDE ELEVATION**

RIGHT SIDE

## ELEVATIONS

DATE: 04-15-19  
DRAWN BY: M. REINHEIMER  
MAIL: marcospo

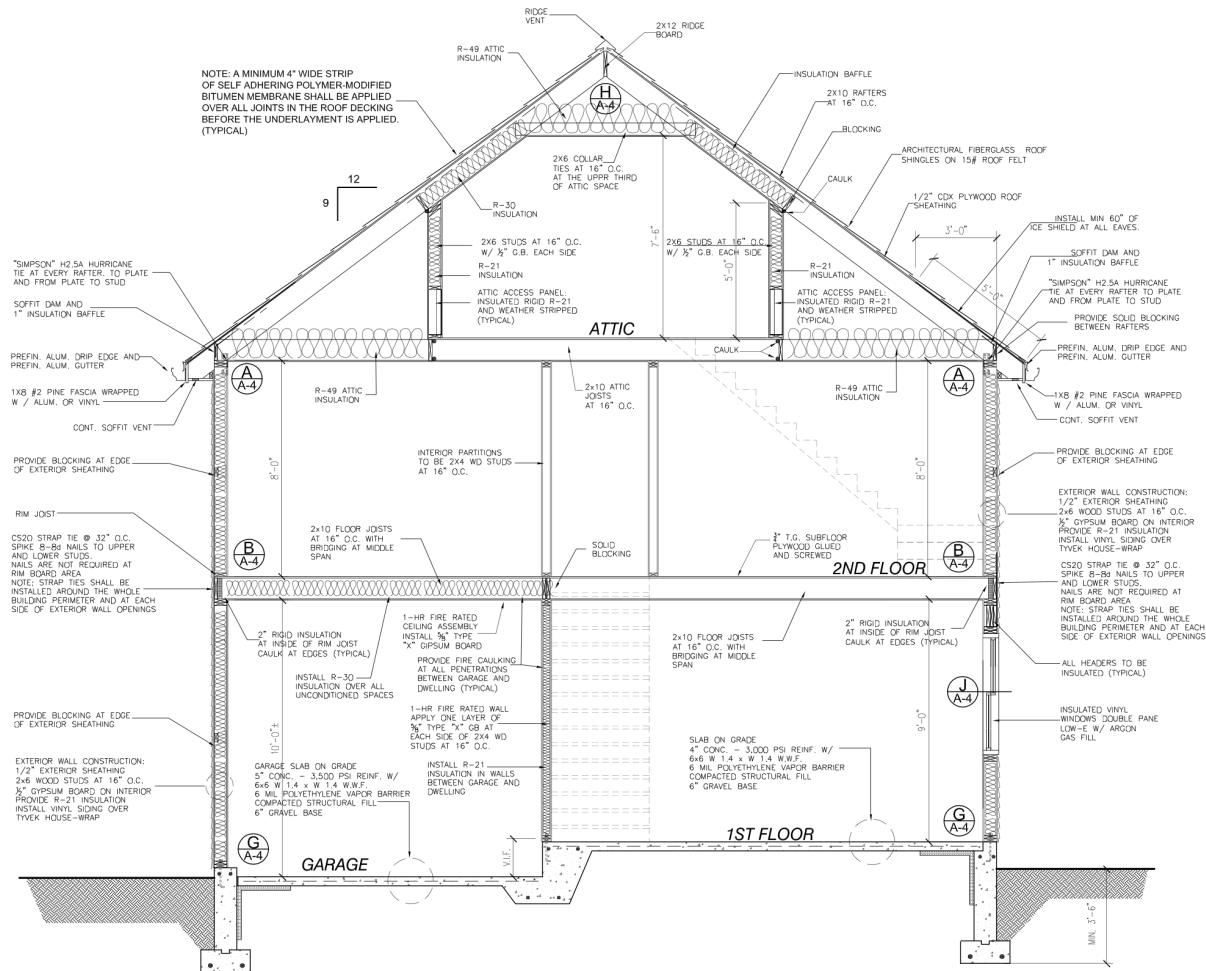
A-2

date: 04-15-19  
drawn:  
M. REINHEIMER 203-449-6137  
eMail: marcosprimrose@yahoo.com

date:	04-15-19	scale:	AS NOTED
drawn:	M. REINHEMER 203-449-6137	project #:	MCR-2019-07
Email: marcospimrose@yahoo.com			

REVISIÖN

**NEW SINGLE FAMILY HOME PLANS**  
PREPARED FOR PROPERTY LOCATED AT  
260 OLD TOWN RD, BRIDGEPORT CT



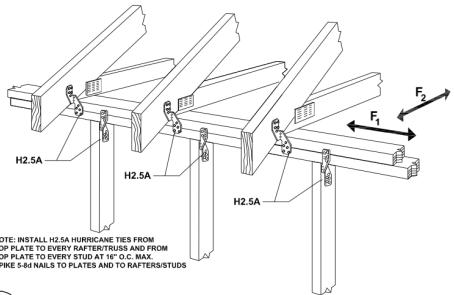
**A** CROSS SECTION  
A-3 SCALE  $\frac{1}{2}$ " = 1'-0"

## CROSS S

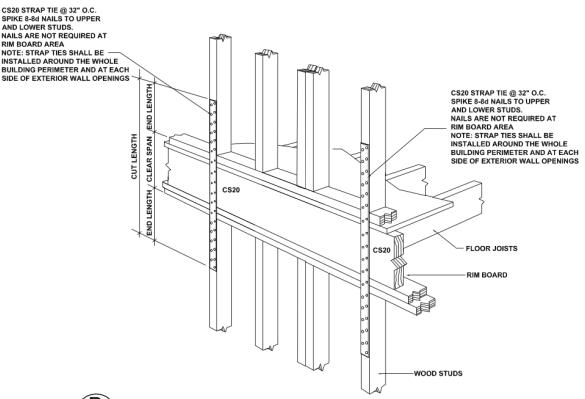
A-3

CROSS SECTION  
date: 04-15-19  
drawn:  
M. M. REINHEIMER 2  
e-Mail: marcosprimitivo

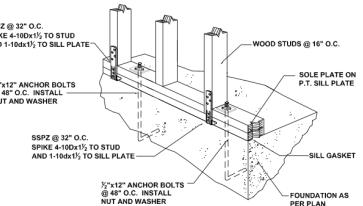
date: 04-15-19	scale: AS NOTED
drawn:	project #:
M. REINHIMER	203-449-6137
Mail: marcoprimrose@yahoo.com	MCR-2019-107



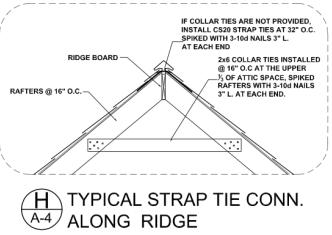
**A-4** ROOF TO WALL ASSEMBLY  
SCALE = NTS



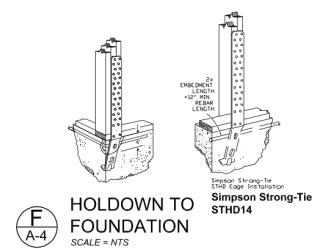
**B-4** WALL TO WALL ASSEMBLY  
SCALE = NTS



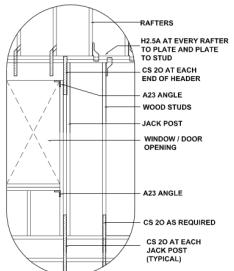
**G-4** WALL TO SLAB ON GRADE  
SCALE = NTS



**H-4** TYPICAL STRAP TIE CONN.  
ALONG RIDGE  
SCALE 1/2" = 1'-0"



**F-4** HOLDOWN TO  
FOUNDATION  
SCALE = NTS



**J-4** EXTERIOR OPENING  
FRAME CONN. DETAIL  
SCALE = NTS

## WOOD FRAME CONNECTOR DESIGN FOR MAX. 130 MPH WINDS:

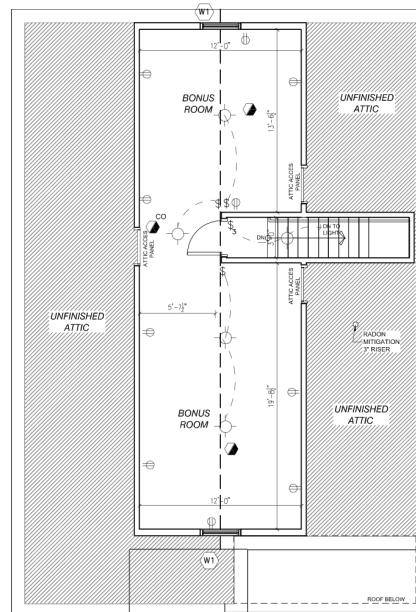
1. ALL CONNECTORS TO BE "SIMPSON" STRONG TIE

2. ALL DESIGNS ARE IN ACCORDANCE WITH THE LOAD REQUIREMENTS FOR WOOD CONSTRUCTION OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE WFCM 2001 EDITION AND SPECIFIED AS PER "SIMPSON" 2017-2018 CATALOG AND TECHNICAL BULLETIN.

3. ALL UPLIFT AND SHARE LOADS ON THIS DESIGN ARE TO ALLOW FOR A MAXIMUM MEMBER SPACING OF 24" O.C. AND A ROOF SPAN OF MAX. 36FT AT ROOF PITCH FROM 4:12 TO 12:12, AND WALL HEIGHT OF MAX. 10FT PER FLOOR, AT MAX. 130 MPH WINDS, EXPOSURE "B"



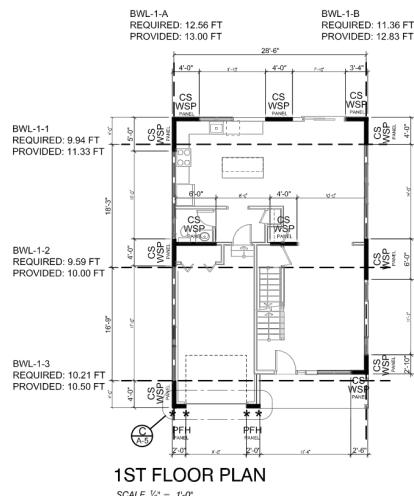
**NEW SINGLE FAMILY HOME PLANS**  
PREPARED FOR PROPERTY LOCATED AT  
260 OLD TOWN RD, BRIDGEPORT CT



**ATTIC FLOOR PLAN**  
SCALE 1/2" = 1'-0"

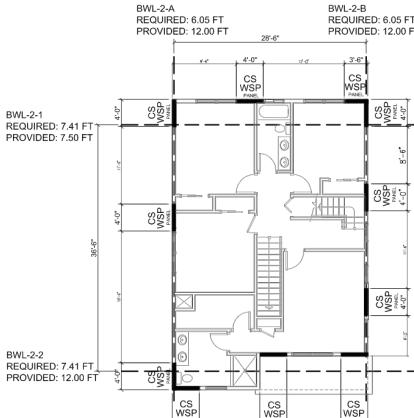
WOOD FRAME CONNECTOR DETAILS	scale: AS NOTED
date: 04-15-19 drawn: M. REINHEIMER 202-445-6137 E-mail: mreichermrco@ yahoo.com	project #: MCR-19-107

**A-4**



1ST FLOOR PLAN

SCALE  $\frac{1}{8}$  = 1'-0"



2ND FLOOR PLAN

SCALE  $\frac{1}{8}$  = 1'-0"

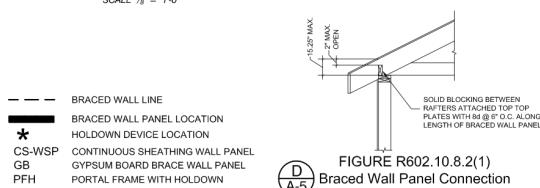


FIGURE R602.10.8.2(1)  
Braced Wall Panel Connection  
to Perpendicular Rafters

D  
A-5

**WALL BRACING CONSTRUCTION METHODS:**  
CS-WSP (CONTINUOUS SHEATHING WALL PANEL)  
MINIMUM SHEATHING THICKNESS = 3/8" (AT ONE SIDE)  
CONNECTION CRITERIA = 6@ 11.17" NAILS AT 6" O.C. (NAILS OR SCREWS, OR 16GA X 1" STAPLES AT 3" SPACING (PANEL EDGES) AND/ OR INTERMEDIATE SUPPORTS)

**GB (GYPSUM BOARD)**  
MINIMUM THICKNESS = 1/2" PANEL LENGTH MIN. 16' IF INSTALLED ON ONE SIDE OR 48' IF BOTH SIDES)  
CONNECTION CRITERIA = 6@ 11.17" NAILS OR SCREWS AT 7" SPACING AT PANEL EDGES INCLUDING TOP & BOTTOM PLATES; FOR ALL BRACED WALL PANEL LOCATIONS FOR EXTERIOR SHEATHING NAIL OR SCREW SIZE, SEE TABLE R602.1(1); FOR INTERIOR GYPSUM BOARD NAIL OR SCREW SIZE, SEE TABLE R602.3-5

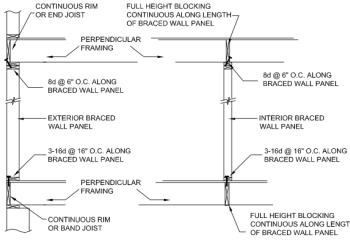


FIGURE R602.10.8 (1)  
Braced Wall Panel Connection  
When Perpendicular to Floor/Ceiling Framing

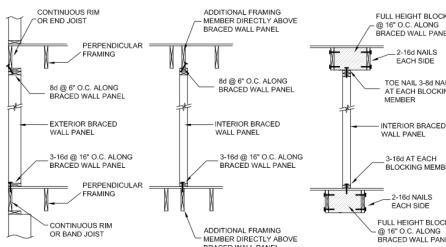
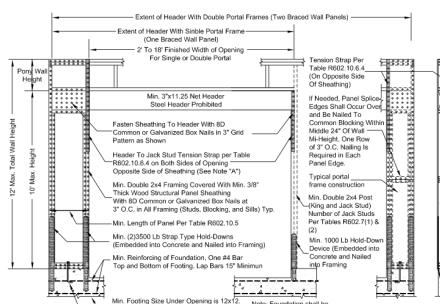


FIGURE R602.10.8 (2)  
Braced Wall Panel Connection  
When Parallel to Floor/Ceiling Framing



FRONT ELEVATION  
METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS - 2015 IRC SECTION R602.10.6.2  
PORTAL FRAMING WITH HOLD-DOWNS DETAIL

NTS  
Tension Strap "A": Openings up to 9ft in Width use ONE Simpson MSTA18 Strap Tie with (10) 10d Nails on each side of opening. Openings from 9 to 18ft in Width use TWO Simpson MSTA30 with (4) 10d Nails on each side of opening. Header to Jack Stud Strap shall be installed at the opposite side of Sheathing

Wind Speed MPH	Braced Wall Line #	Braced Wall Line Spacing	Method	Minimum Length Rec'd. Table R602.10.3(1)	Adjustment Factors Table R602.10.3(2)							
					Exposure Category	Eave Height	Wall Height	Number of BWLs	8000 lb. Load			
1st Floor BWL-1-1	18.25 ft	CS-WSP	(B) 1	1.00 ft	(B) 0.95	(3)	N	1.00	Y	1.00	9.8 ft	11.33 ft
1st Floor BWL-1-2	17.80 ft	CS-WSP	(B) 1	1.09 ft	(B) 0.95	(3)	N	1.00	Y	1.00	9.89 ft	10.00 ft
1st Floor BWL-1-3	17.50 ft	PFH	(B) 1	1.00 ft	(B) 1.00	(2)	N	1.00	Y	1.00	10.21 ft	10.50 ft
1st Floor BWL-1-4	28.90 ft	CS-WSP	(B) 1	1.09 ft	(B) 1.05	(2)	N	1.00	Y	1.00	12.56 ft	13.00 ft
1st Floor BWL-1-5	28.90 ft	CS-WSP	(B) 1	1.09 ft	(B) 0.95	(2)	N	1.00	Y	1.00	11.36 ft	12.93 ft
2nd Floor BWL-2-1	36.90 ft	CS-WSP	(B) 1	1.00 ft	(B) 1.00	(2)	N	1.00	Y	1.00	7.41 ft	7.50 ft
2nd Floor BWL-2-2	36.90 ft	CS-WSP	(B) 1	1.00 ft	(B) 0.90	(2)	N	1.00	Y	1.00	7.41 ft	12.00 ft
2nd Floor BWL-2-3	28.90 ft	CS-WSP	(B) 1	1.00 ft	(B) 0.90	(2)	N	1.00	Y	1.00	6.05 ft	12.00 ft
2nd Floor BWL-2-4	28.90 ft	CS-WSP	(B) 1	1.00 ft	(B) 0.90	(2)	N	1.00	Y	1.00	6.05 ft	12.00 ft

NOTES:

1. THIS WALL BRACING EVALUATION IS BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE IN COMPLIANCE WITH THE WALL-BRACING REQUIREMENTS OF SECTIONS R602.10, R602.11 AND R602.12 OF THE 2015IRC.

2. ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES IN SEISMIC DESIGN CATEGORIES A AND B AND ONE- AND TWO-FAMILY DWELLINGS IN SEISMIC DESIGN CATEGORY C ARE EXEMPT FROM THE SEISMIC REQUIREMENTS OF THEIRC. THE LENGTH OF WALL BRACING IS DETERMINED BY THE 2015IRC SECTION R602.10.3(1) AND THE 2015IRC SECTION R602.10.3(2) BASED ON THE APPLICABLE DESIGN CONDITIONS (WIND SPEED USED BASED ON 130 MPH).

3. MIXING OF WALL BRACING METHODS SHALL BE PERMITTED WHEN IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R602.10.4.1 AS APPLICABLE.

4. BRACED-WALL PANELS SHALL BEGIN WITHIN 10 FEET FROM EACH END OF A BRACED-WALL LINE, AND THE DISTANCE BETWEEN THE EDGES OF ADJACENT WALL PANELS ALONG A BRACED-WALL LINE SHALL NOT BE GREATER THAN 20 FEET.

5. BRACED-WALL-LINE SPACING SHALL NOT EXCEED 60 FEET ON CENTER.

6. INTERIOR BRACED-WALL LINE SPACING IS THE GREATER OF THE DISTANCE BETWEEN TWO ADJACENT BRACED-WALL LINES IN ACCORDANCE WITH FIGURE R602.10.1.1 OF THE 2015IRC.

7. BRACED-WALL PANELS SHALL BE CONNECTED TO FRAME AS PER FIGURES R602.10.8(1) AND R602.10.8(2)(C) OF THE 2015IRC.

TABLE R602.11 RAFTER OR TRUSS UPLIFT CONNECTION FORCES FROM WIND (Pounds per Connection) <sup>b</sup> h, i, e, f, g					
RAFTER OR TRUSS SPACING	Roof Span (feet)	EXPOSURE "B"			
		110	115	120	130
18' O.C.					
	Roof Pitch	Roof Pitch	Roof Pitch	Roof Pitch	Roof Pitch
	<5:12	<5:12	<5:12	<5:12	<5:12
12	64	57	78	70	93
18	78	68	98	88	118
24	94	82	118	105	144
28	105	92	132	117	161
32	114	100	145	129	176
36	125	109	160	141	194
42	141	122	180	160	221
48	157	130	201	178	246

a. For 4 ft. x 10 ft. x 20 ft. - 1 ft. x 10 ft. x 20 ft. - 1 in. high x 4.4 ft. wide x 1 in. deep x 10.4 in. - 1 panel per floor load = 14.5 lb.

b. The uplift connection forces are based on a maximum 33 foot mean roof height and wind Exposure Category B. For Exposure D the uplift connection force shall be multiplied by 0.75.

c. The uplift connection forces include an allowance for dead and ceiling assembly dead load of 1.0 psf.

d. The tabulated uplift connection forces shall be multiplied by 0.75 for connections not located within 8 feet of building corners.

e. For wall-to-wall and wall-to-ground connections, the tabulated uplift connection forces shall be multiplied by 0.70. This reduction shall not be combined with any other reduction in tabulated forces.

f. For wall-to-wall and wall-to-ground connections, the tabulated uplift connection forces shall be multiplied by 0.70 for each full wall above.

g. The tabulated forces for 12-inch on-center spacing shall be permitted to be reduced by 50% for each full wall above.

h. The uplift connection forces based on 12' on-center spacing shall be permitted to be used to determine the split load in pounds per linear foot.

i. MAX. ROOF SPAN = 32'-0" WITH ROOF PITCH > 5:12.

j. A. LOAD AT RAFTER TO TOP PLATE = 1000 lb.

k. A.1. CONNECTOR = "SIMPOX" H25A FROM Rafter TO PLATE AND STUD AT MAX 16" O.C. (AS AN ALTERNATE - WHERE RAFTERS ALIGN WITH STUD BELOW CAN USE "SIMPOX" H24).

l. LOAD BETWEEN 1ST AND 2ND FLOOR (OR 1ST FLOOR TO FOUNDATION AT ONE STORY) = 100 (ONE FLOOR) x 1000 LB = 100,000 LB.

m. B.1. CONNECTOR = "SIMPOX" H25B @ 32" O.C. FROM RIM BOARD TO PLATE

n. C. LOAD BETWEEN 1ST FLOOR TO FOUNDATION (AT TWO STORY) = 220 PLF (120 TWO FLOORS) = TOTAL LOAD = 196 PLF.

o. C.1. CONNECTORS = "SIMPOX" C520 INSTALLED AT 48" O.C. WITH 12-8d NAILS (8 AT EACH END) NAILED FROM STUD TO RIM BOARD AND INSTALL "SIMPOX" SSP @32" O.C. FROM RIM BOARD TO PLATE

p. C.1. SLAB ON GRADE = "SIMPOX" SSP @32" O.C. FROM RIM BOARD TO PLATE

q. C.1. PLATE TO FOUNDATION - INSTALL 1" x 12" ANCHOR BOLTS @ 48" O.C. MIN. 7" EMBEDDED TO CONCRETE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM 12" EMBEDMENT. THE ANCHOR BOLTS SHALL NOT BE PLACED MORE THAN 12 INCHES OR LESS THAN 4 INCHES FROM EACH END OF THE PLATE SECTION.

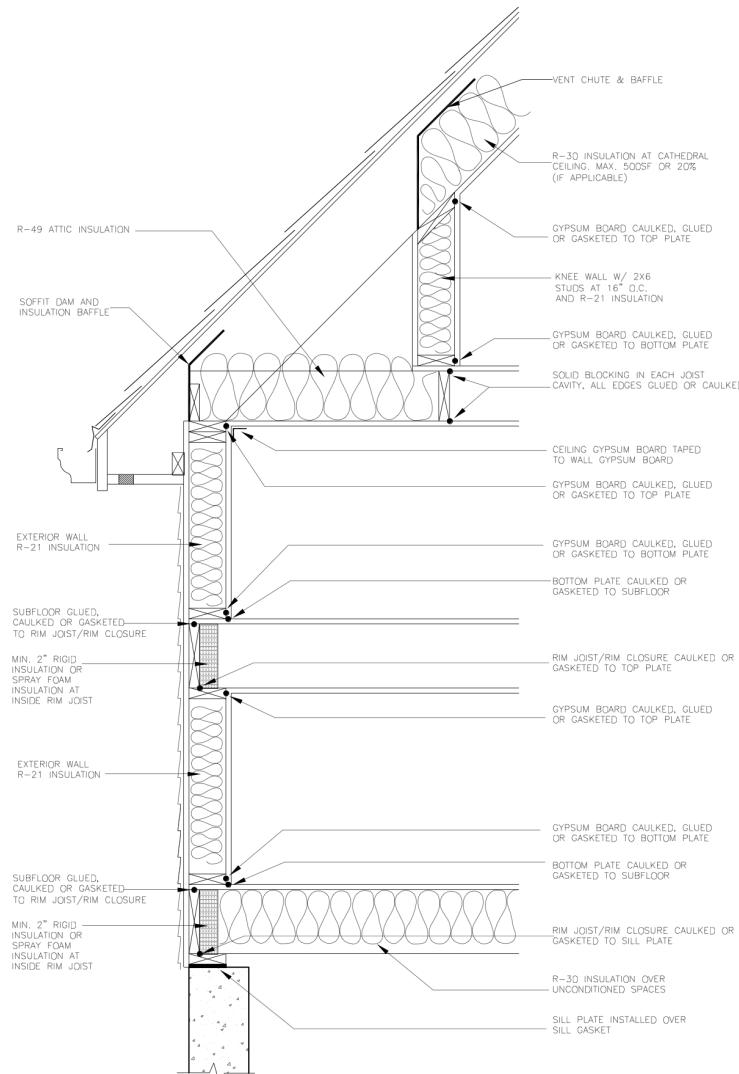
r. C.1. MIN. 1/4 INCH COLLAR TIES OR 20 GAUGE RIDGE STRAPS TO RESIST UPLIFT SHALL CONNECT THE ROOF RAFTERS IN THE UPPER THIRD OF ATTIC SPACE NOT MORE THAN 48" O.C.

REVISI0NS	
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5	

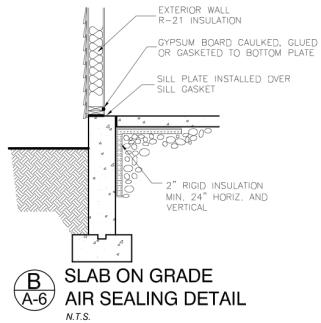
NEW SINGLE FAMILY HOME PLANS  
PREPARED FOR PROPERTY LOCATED AT  
260 OLD TOWN RD, BRIDGEPORT CT

WALL BRACING COMPLIANCE PLAN	
date: 04-15-19	scale: AS NOTED
drawn: MARENHEIMER 202-444-6137	project #: MCR-2019-07

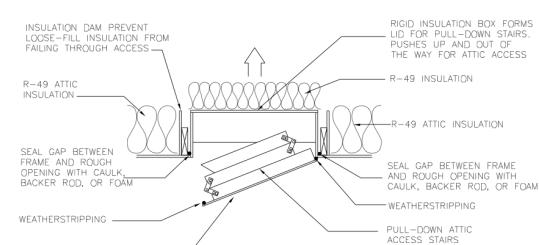
A-5



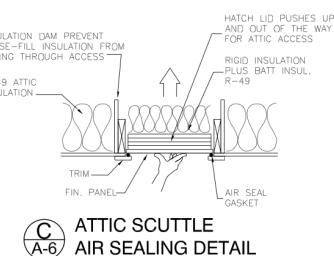
**A** THERMAL ENVELOPE  
A-6 AIR BARRIER COMPLIANCE DETAIL  
N.T.S.



**B** A-6 SLAB ON GRADE AIR SEALING DETAIL  
N.T.S.



**B** A-6 ATTIC PULL-DOWN STAIRS  
AIR SEALING DETAIL  
N.T.S.



**C** A-6 ATTIC SCUTTLE  
AIR SEALING DETAIL  
(ALTERNATE TO ATTIC PULL-DOWN STAIRS)  
N.T.S.

#### AIR BARRIER AND INSULATION NOTES

NOTE: BUILDING THERMAL ENVELOPE TO COMPLY WITH SECTION "N1102" OF THE 2015 INTERNATIONAL RESIDENTIAL CODE

- 1 - INSULATION MINIMUM REQUIREMENTS:  
- WOOD FRAME EXTERIOR WALLS = R-20 INSULATION  
- CEILING/ATTIC = R-49 INSULATION  
- CLOTHES CATHEDRAL CEILINGS = R-30 INSULATION  
- FLOOR OVER UNCONDITIONED SPACES = R-30 INSULATION  
- SLAB ON GRADE = R-10 MIN. 2FT IN DEPTH.

- 2 - AIR BARRIER AND THERMAL BARRIER -  
A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN BUILDING ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR PERMEABLE INSULATION SHALL NOT BE USED AS SEALING MATERIAL.

- 3 - CEILING / ATTIC -  
THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALONG THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED AND INSULATED.

- 4 - EXTERIOR WALLS -  
CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE EXTERIOR AND SILL PLATE SHALL BE SEALLED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.

- 5 - SKYLIGHTS AND EXTERIOR DOORS -  
THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.

- 6 - RIM JOISTS -  
RIM JOISTS SHALL BE INSULATED AND SEALED AND INCLUDE THE AIR BARRIER.

- 7 - FLOORS OVER UNCONDITIONED SPACES -  
INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDES OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.

- 8 - SHAFTS, PENETRATIONS -  
DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.

- 9 - GARAGE SEPARATION -  
AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.

- 10 - RECESSED LIGHTING -  
RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, "TIC" RATED, AND SEALED TO THE DRYWALL.

- 11 - PLUMBING AND WIRING -  
BATT INSULATION SHALL CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN UNINSULATED WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.

- 12 - SHOWER/TUB ON EXTERIOR WALL -  
EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWER AND TUBS. INSTALL DRAFT STOP SHEATHING BEHIND SHOWER AND TUBS ON EXTERIOR WALLS.

- 13 - ELECTRICAL/PHONE BOX ON EXTERIOR WALLS -  
THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMM. BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.

- 14 - HVAC REGISTER BOOTS -  
HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL.

- 15 - FIREPLACE - (IF APPLICABLE)  
AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. FIREPLACE SHALL HAVE GASKETED DOORS.

NEW SINGLE FAMILY HOME PLANS  
PREPARED FOR PROPERTY LOCATED AT  
260 OLD TOWN RD, BRIDGEPORT CT

Thermal Envelope Air Barrier Compliance Plan	scale: AS NOTED
date: 04-15-19 drawn: M. REINHEIMER 202-445-6137 E-mail: mrcospromiro@yahoo.com	project #: MCR-19-07

**A-6**

ROOF CONSTRUCTION NOTES:

- #1 - ALL ROOF PLYWOOD SHEATHING PROVIDE PLYWOOD SHEATHING CLIPS - "SIMPSON" PSC
- #2 - INSTALL SEISMIC AND HURRICANE ANCHORS ON EVERY RAFTER OR EVERY ROOF WOOD TRUSS TO BEARING WALL OR ROOF BEAM
- #3 - ACCESSIBLE ATTIC ACCESS - A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22 INCHES BY 30 INCHES SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES. HATCH TO BE FULLY WEATHER-STRIPPED AND INSULATED ABOVE ACCESS PANEL OR PULLDOWN STAIRS
- #4 - PROVIDE WINTERGUARD ( ICE & WATER PROTECTION ) AT ALL EAVES, VALLEYS. ALL ROOF FLASHING FOR ASPHALT SHINGLES SHALL BE OF NON CORROSIVE MATERIAL.
- #5 - THE STRUCTURAL WOOD JOISTS, RAFTERS, AND STUDS, SHOWN ON THESE DRAWINGS WILL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER WITH MINIMUM ALLOWABLE UNIT STRESSES OF FB= 1,350 PSI , Fv= 95 PSI, AND E= 1,700,000 PSI.

GENERAL NOTES:

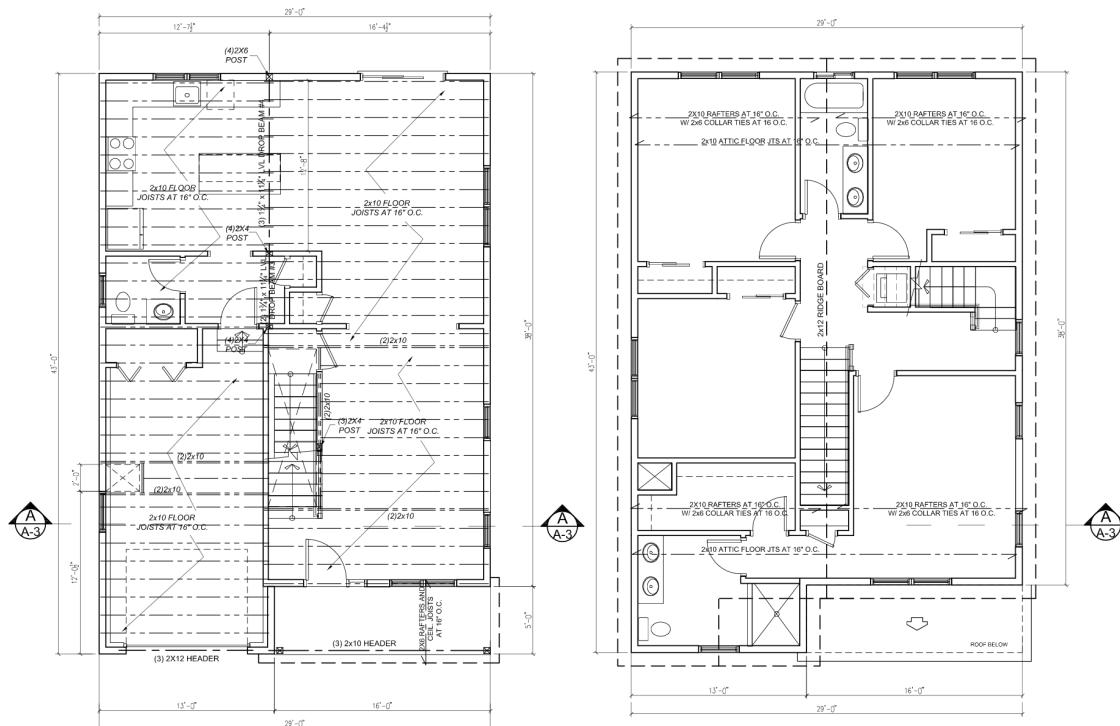
1. PROVIDE STANDARD METAL HANGERS FOR ALL FLUSH CONNECTIONS
2. INSTALL DOUBLE JOISTS UNDER BATH TUB LOCATIONS
3. INSTALL RIM JOIST AROUND HOUSE PERIMETER
4. PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION.
5. ALL HEADERS TO BE INSTALLED WITH KING & JACK STUDS AT EACH END
6. ALL HEADERS AT EXTERIOR WALLS SHALL BE INSULATED.

BRIDGING NOTES

- A - SPANS UP TO 14'-0" USE ONE ROW AT CENTER OF SPAN
- B - SPANS FROM 14'-0" TO 21'-0" USE TWO ROWS AT 1/3 POINTS OF SPAN
- C - SPANS FROM 21'-0" TO 32'-0" USE THREE ROWS AT 1/4 POINTS OF SPAN
- D - PROVIDE SOLID BRIDGING UNDER ALL BEARING PARTITIONS PERPENDICULAR TO JOIST

HEADER NOTES

- PROVIDE 3-2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED ON PLAN
- PROVIDE DOUBLE JOIST UNDER BATHTUB
- PROVIDE DOUBLE JOIST AROUND STAIR OPENING
- PROVIDE STANDARD METAL JOIST HANGERS FOR ALL FLUSH FRAMED CONNECTIONS
- ALL HEADERS TO BE INSTALLED WITH KING AND JACK STUDS AT EACH END



2ND FLOOR FRAMING PLAN

SCALE  $\frac{1}{4}$ " = 1'-0"

ROOF FRAMING PLAN

SCALE  $\frac{1}{4}$ " = 1'-0"

FRAMING PLANS

date: 04-15-19  
drawn:  
M. REINHEIMER 202-445-6137  
E-Mail: mreinheimer@mspsprinbrook@yahoo.com

scale: AS NOTED  
project #: MCR-19-107

A-7

#### ROOF CONSTRUCTION NOTES:

- #1 - ALL ROOF PLYWOOD SHEATHING PROVIDE PLYWOOD SHEATHING CLIPS - "SIMPSON" PSC
- #2 - INSTALL SEISMIC AND HURRICANE ANCHORS ON EVERY RAFTER OR EVERY ROOF WOOD TRUSS TO BEARING WALL OR ROOF BEAM
- #3 - ACCESSIBLE ATTIC ACCESS - A READILY ACCESSIBLE ATTIC ACCESS-FRAMED OPENING NOT LESS THAN 22 INCHES BY 30 INCHES SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES. HATCH TO BE FULLY WEATHER-STRIPPED AND INSULATED ABOVE ACCESS PANEL OR PULLDOWN STAIRS
- #4 - PROVIDE WINTERGUARD (ICE & WATER PROTECTION) AT ALL EAVES, VALLEYS. ALL ROOF FLASHING FOR ASPHALT SHINGLES SHALL BE OF NON CORROSIVE MATERIAL
- #5 - THE STRUCTURAL WOOD JOISTS, RAFTERS, AND STUDS, SHOWN ON THESE DRAWINGS WILL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER WITH MINIMUM ALLOWABLE UNIT STRESSES OF FB= 1,350 PSI, FV= 95 PSI, AND E= 1,700,000 PSI.

#### GENERAL NOTES:

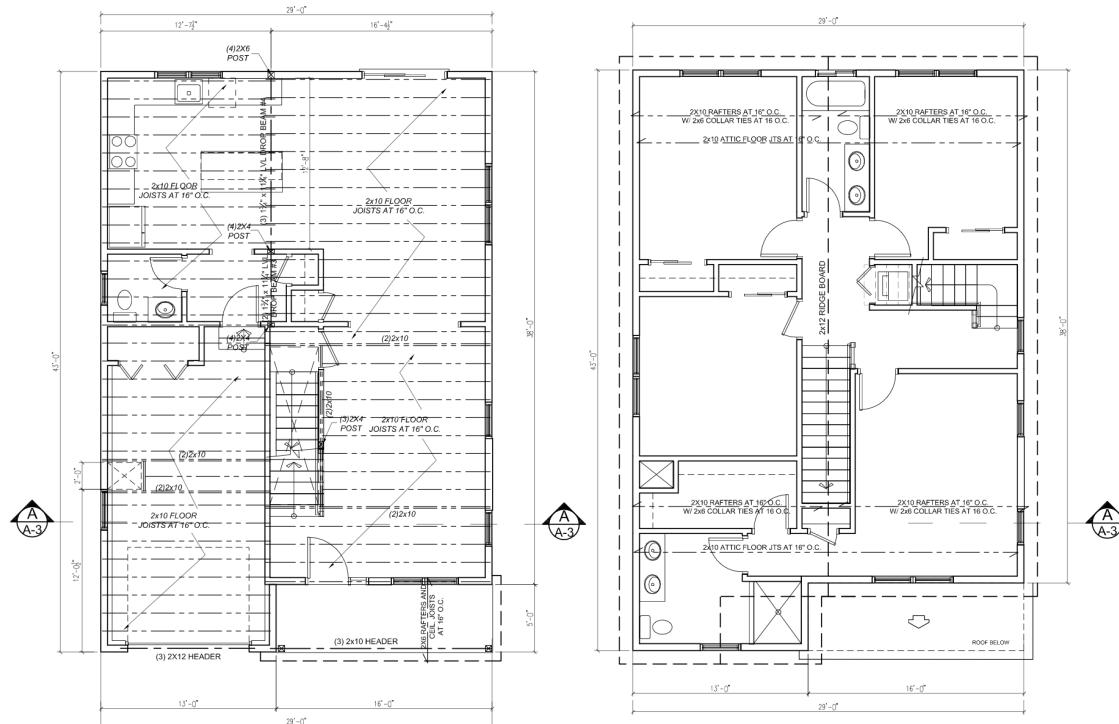
1. PROVIDE STANDARD METAL HANGERS FOR ALL FLUSH CONNECTIONS
2. INSTALL DOUBLE JOISTS UNDER BATH TUB LOCATIONS
3. INSTALL RIM JOIST AROUND HOUSE PERIMETER
4. PRE-ENGINEERED LUMBER COMPANY SHALL PROVIDE SHOP DRAWINGS WITH ALL LOAD CALCULATIONS FOR PERMIT PRIOR TO INSTALLATION.
5. ALL HEADERS TO BE INSTALLED WITH KING & JACK STUDS AT EACH END
6. ALL HEADERS AT EXTERIOR WALLS SHALL BE INSULATED.

#### BRIDGING NOTES

- A - SPANS UP TO 14'-0" USE ONE ROW AT CENTER OF SPAN
- B - SPANS FROM 14'-0" TO 21'-0" USE TWO ROWS AT 1/3 POINTS OF SPAN
- C - SPANS FROM 21'-0" TO 32'-0" USE THREE ROWS AT 1/4 POINTS OF SPAN
- D - PROVIDE SOLID BRIDGING UNDER ALL BEARING PARTITIONS PERPENDICULAR TO JOIST

#### HEADER NOTES

- PROVIDE 3-2X12 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED ON PLAN
- PROVIDE DOUBLE JOIST UNDER BATHTUB
- PROVIDE DOUBLE JOIST AROUND STAIR OPENING
- PROVIDE STANDARD METAL JOIST HANGERS FOR ALL FLUSH FRAMED CONNECTIONS
- ALL HEADERS TO BE INSTALLED WITH KING AND JACK STUDS AT EACH END

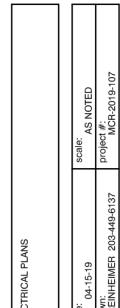
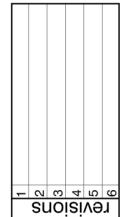
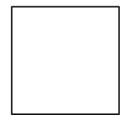


2ND FLOOR FRAMING PLAN

SCALE  $\frac{1}{4}$ " = 1'-0"

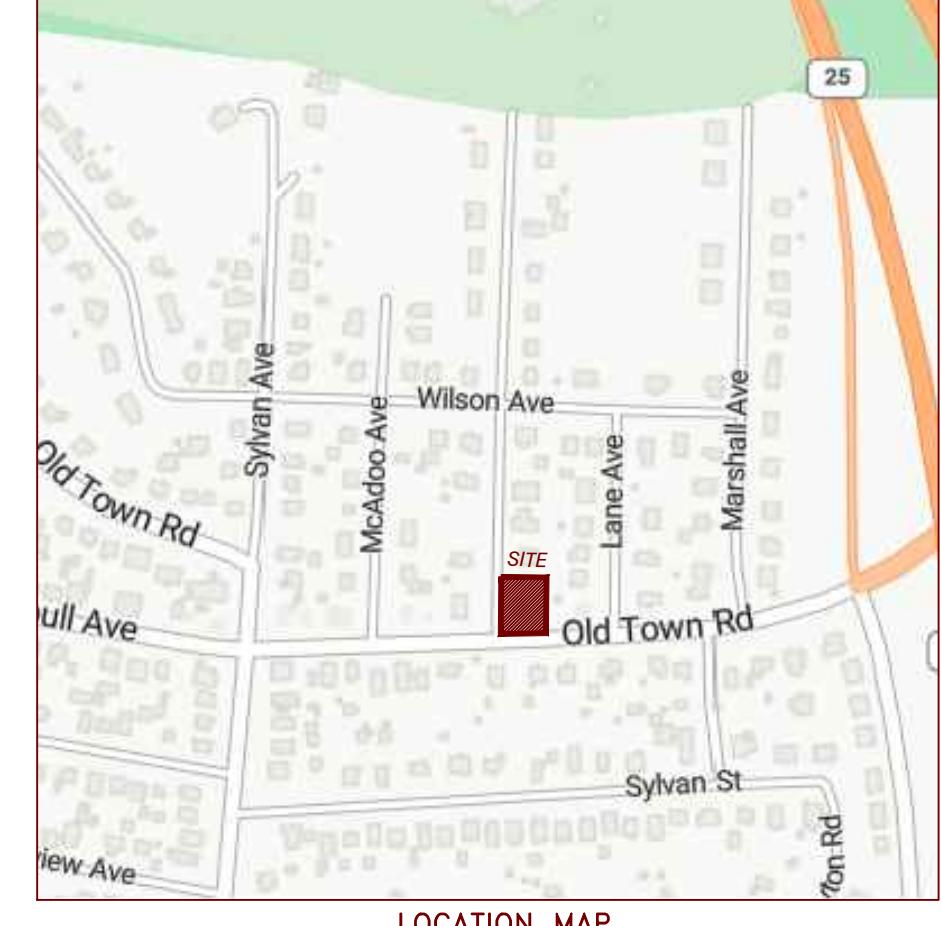
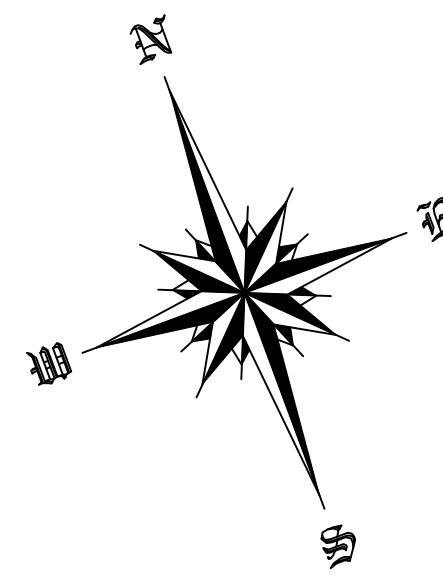
ROOF FRAMING PLAN

SCALE  $\frac{1}{4}$ " = 1'-0"



STANDARD	MAXIMUM/ALLOWED		EXISTING CONDITIONS		LOT A		LOT B	
Minimum Lot Area (Sq.Ft.)	21,780		12,820± SF		6,820± SF		6,000± SF	
Minimum Lot Frontage (Ft.)	125.0'		234.92'		74.20'		60.00'	
Minimum Floor Area (Sq.Ft.)	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor
1 Story	1200	---	500± SF	N/A	N/A	N/A	N/A	N/A
1 1/2 Story	900	500	N/A	N/A	N/A	N/A	N/A	N/A
2 Story	900	800	N/A	N/A	1180	1180	1180	1180
Maximum Height for a Building or Structure	35.0'		15.4'		30±		30±	
Minimum Front Yard (Ft.)	50.0'		19.5'		21.0'		21.0'	
Minimum Side Yard (Ft.)	20.0'		60.1'		15.5'		15.5'	
Minimum Rear Yard (Ft.)	50.0'		63.9'		36.0'		36.0'	
Maximum Lot Coverage	25.0%		4.9%		24.1%		27.5%	
Maximum Floor Area Ratio (F.A.R.)	0.29		0.039		0.346		0.393	

BUILDING ZONE: A



LOCATION MAP

## GENERAL NOTES:

1. This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.

2. This Survey conforms to Class A-2.

3. The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.

4. Boundary determination is based upon a Dependent Survey (see MAP REFERENCES and Record Deeds.)

5. North Arrow is based on CT State Plane NAD83.

6. This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.

7. This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.

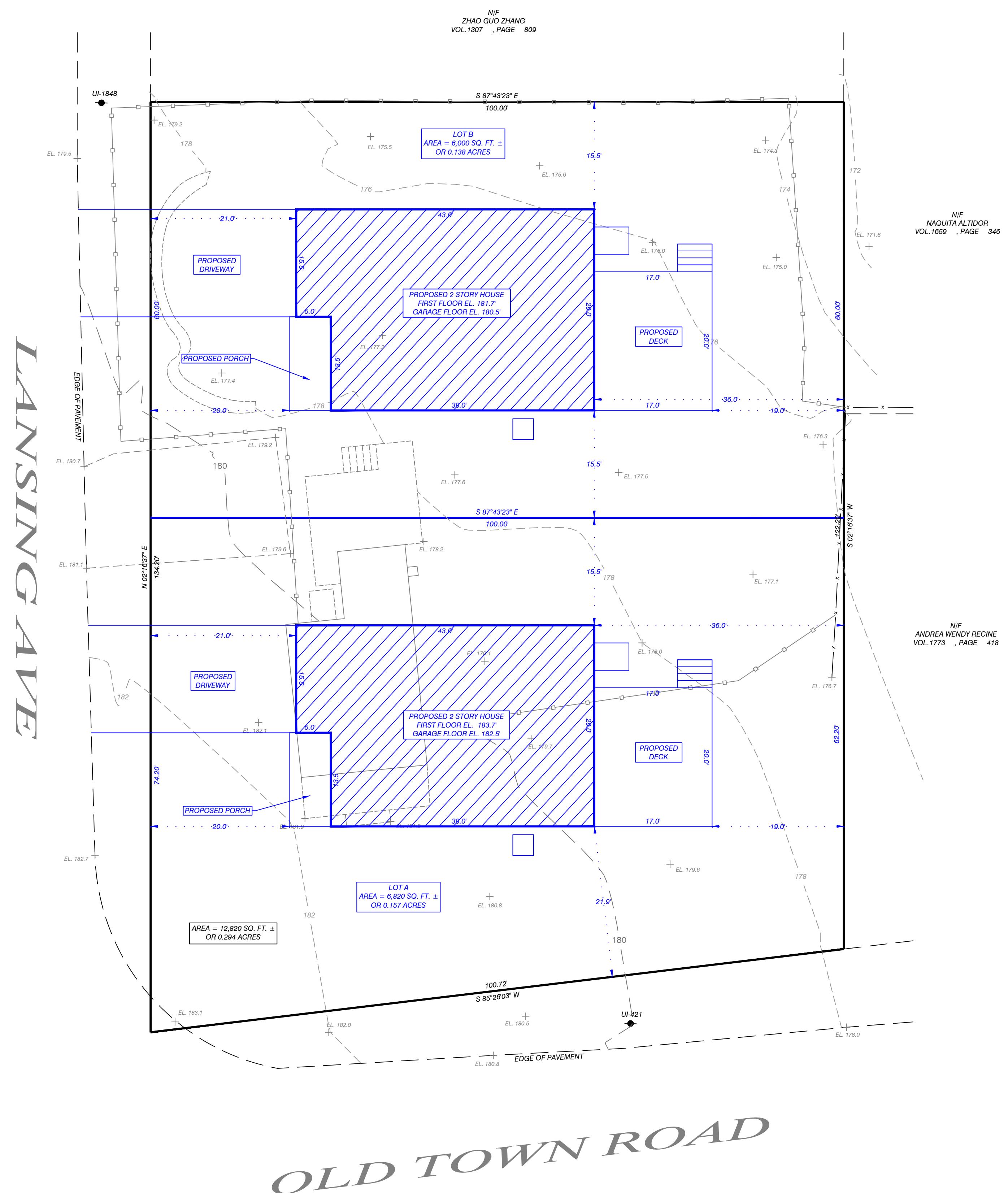
8. Property Lines Established According to Record Deeds as exist

9. Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.

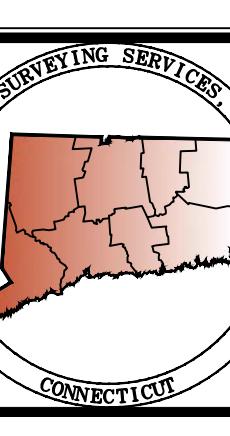
10. Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.

## MAP REFERENCES:

1. RECORD MAP #27



OLD TOWN ROAD



LAND SURVEYING  
SERVICES, LLC  
1275 POST ROAD, SUITE A-20  
FAIRFIELD, CONNECTICUT 06424  
TEL. (203) 522-4177  
FAX. (203) 615-0123  
EMAIL: info@l2survey.com

RES FOR SMT JL PL MFL Dwg: 2002119

TITLE BLOCK  
ASSESSORS MAP # H12 , PARCEL # 271000  
APPLICANT: SAME AS OWNER  
CONE: A  
DESCRIPTIVE TITLE: CLASS A SURVEY  
CLAS: A SURVEY  
STATE OF CONNECTICUT  
NEAL K. JAIN  
L.S. # 18139  
REVISIONS

NEAL K. JAIN L.S. # 18139

LOT DIVISION MAP  
PREPARED FOR  
ALTON GONCALVES  
260 OLD TOWN ROAD, TRUMBULL, CONNECTICUT  
10 0 20 40  
SCALE: 1" = 20'  
DATE: MAR. 20, 2025

Date Received: \_\_\_\_\_

Application #: 25-30

## ZONING BOARD OF APPEALS

### APPLICATION FOR HEARING:

**1. The purpose of this application is for the following:**

- a. Variance of the Trumbull Zoning Regulations  \_\_\_\_\_
- b. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_
- c. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

**2. Location of Subject Premises:**

House and Street: 260 Old Town Road

Assessor's Map No. H12 Parcel No. 27 Lot No. --

Trumbull Land Records: Volume(s) 1930 Page(s) 576

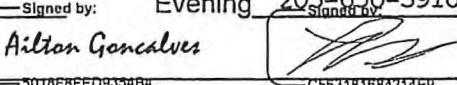
Zoning District: A

**3. Name of Applicant: Ailton Goncalves & Luis Vaz**

Street Address: 179 William Street

City: Bridgeport ST: CT Zip: 06608 Email: 

Phone: Day 203-650-3916 signed by: Evening 203-650-3916 signed by:

SIGNATURE OF APPLICANT 

5010F8FED9334B4... C563181684214E9...

(if agent, state capacity)

**4. Owner of Record: Ailton Goncalves & Luis Vaz**

Street Address: 179 William Street

City: Bridgeport ST: CT Zip: 06608 Email: 

SIGNATURE OF OWNER OF RECORD 

5010F8FED9334B4... C563181684214E9...

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. **This application relates to:**

Setbacks (front, side, rear)  
 Floor Area  
 Lot Area  
 Lot Coverage  
 Damage Reconstruction  
 Parking  
 Extension of enlargement of a non-conforming use or building  
 Other (explain) \_\_\_\_\_

---

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) \_\_\_\_\_ PARAGRAPH(S) \_\_\_\_\_  
SUBPARAGRAPH(S) \_\_\_\_\_

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

Yes. Variance application heard by ZBA on 11/5/2025.  
ZBA voted to table decision until 12/3/2025 meeting.

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NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHEN APPLICABLE: See attached.

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5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

See attached.

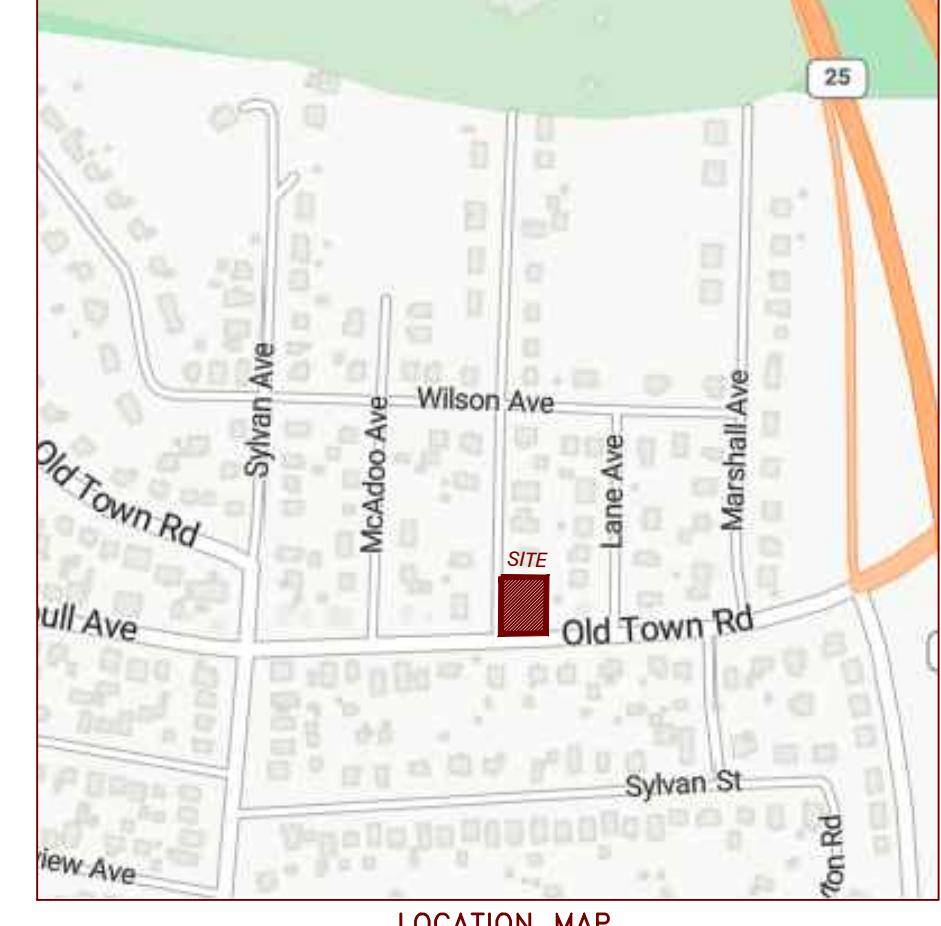
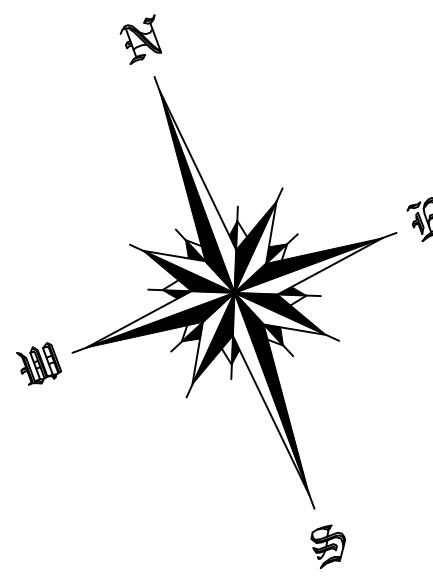
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4. Requesting variance of Article III bulk standards as applied to properties in the Residence A Zone, specifically to vary the Article III Bulk Standards as applied to properties in the Residence A Zone, specifically to vary Minimum Front Yard setbacks on a corner lot, from 50' to 21' (-29') on Lansing Street and from 50' to 21.9' (-28.1') on Old Town Road for Lot A to allow the subdivision of one lot into two lots and the construction of two single family houses thereon.

5. The hardship is based on the unique size of the property, the strict application of the zoning regulations as applied to this property and the legal principle of fundamental fairness which requires this property to be afforded parity with other residential properties and uses in the immediate neighborhood. The lot as it exists is an outlier in that it is substantially larger than the majority of the lots in the neighborhood and, therefore, in its current size, is not in conformity with the comprehensive plan. The reduced proposed Lots A and B, conversely, conform to the majority of the neighboring lots, do not adversely impact the neighboring lots in any way, and thus are in full compliance with the comprehensive plan.

STANDARD	MAXIMUM/ALLOWED		EXISTING CONDITIONS		LOT A		LOT B	
Minimum Lot Area (Sq.Ft.)	21,780		12,820± SF		6,820± SF		6,000± SF	
Minimum Lot Frontage (Ft.)	125.0'		234.92'		74.20'		60.00'	
Minimum Floor Area (Sq.Ft.)	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor
1 Story	1200	---	500± SF	N/A	N/A	N/A	N/A	N/A
1 1/2 Story	900	500	N/A	N/A	N/A	N/A	N/A	N/A
2 Story	900	800	N/A	N/A	1180	1180	1180	1180
Maximum Height for a Building or Structure	35.0'		15.4'		30±		30±	
Minimum Front Yard (Ft.)	50.0'		19.5'		21.0'		21.0'	
Minimum Side Yard (Ft.)	20.0'		60.1'		15.5'		15.5'	
Minimum Rear Yard (Ft.)	50.0'		63.9'		36.0'		36.0'	
Maximum Lot Coverage	25.0%		4.9%		24.1%		27.5%	
Maximum Floor Area Ratio (F.A.R.)	0.29		0.039		0.346		0.393	

BUILDING ZONE: A



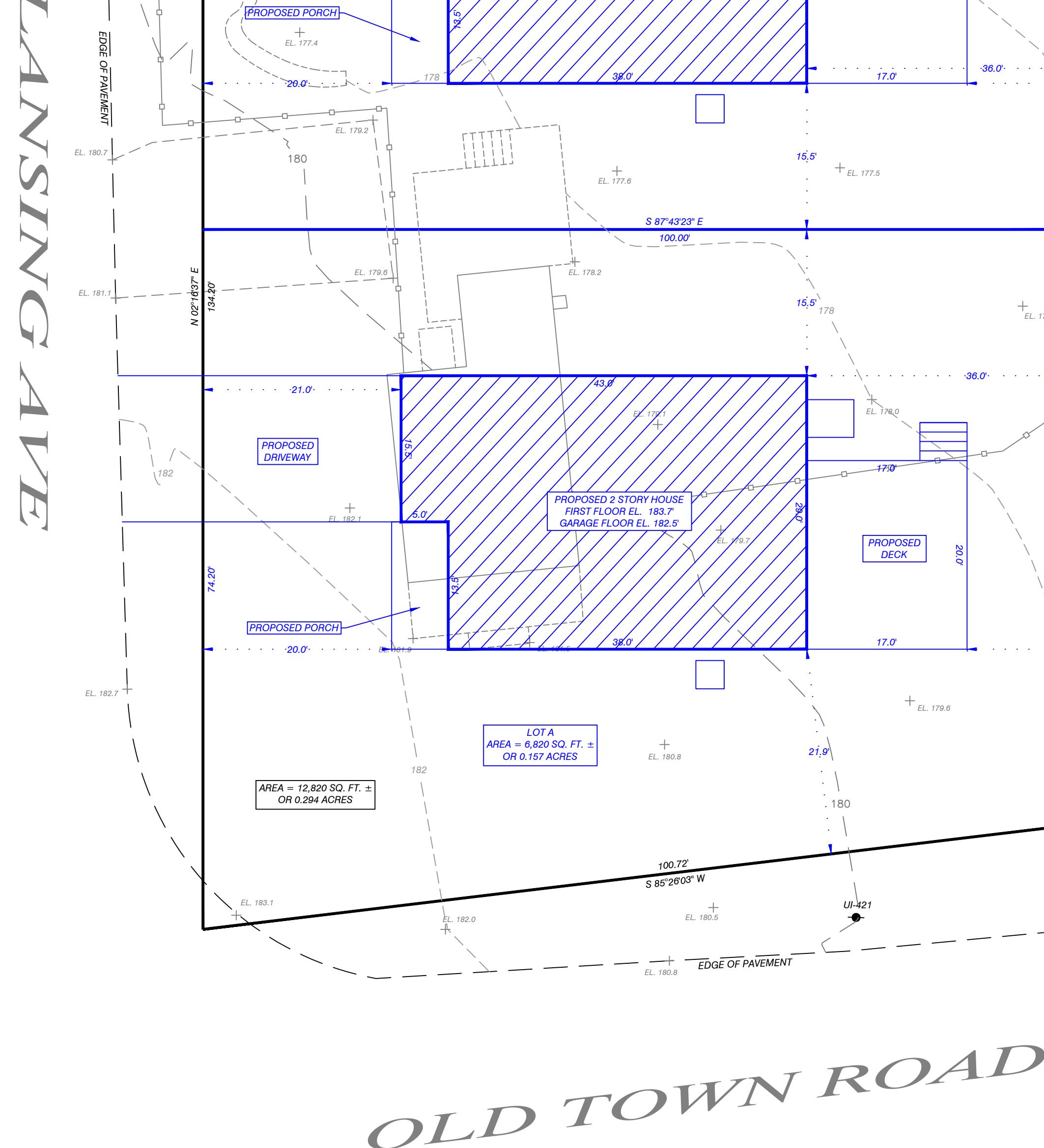
LOCATION MAP

## GENERAL NOTES:

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Survey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on CT State Plane NAD83.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.

## MAP REFERENCES:

- RECORD MAP #27



N/F  
ZHAO GUO ZHANG  
VOL.1307 , PAGE 809

N/F  
NADUTA ALTIDOR  
VOL.1659 , PAGE 346

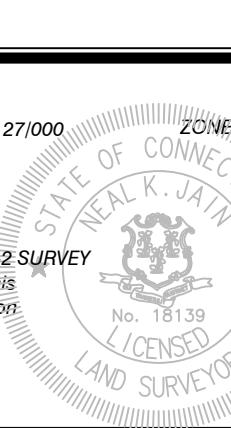
N/F  
ANDREA WENDY REGINE  
VOL.1773 , PAGE 418

LAND SURVEYING  
SERVICES, LLC  
1275 POST ROAD, SUITE A-20  
FAIRFIELD, CONNECTICUT 06424  
TEL. (203) 522-4177  
FAX. (203) 615-0123  
EMAIL: info@12survey.com



RES FOK SMT JL PL MFL Dwg: 2002119

TITLE BLOCK  
ASSESSORS MAP # H12 , PARCEL # 271000  
APPLICANT: SAME AS OWNER  
CONE: A  
DESCRIPTIVE TITLE: CLASS A SURVEY  
CLAS: A SURVEY  
STATE OF CONNECTICUT  
NEAL K. JAIN  
L.S. # 18139  
REVISIONS



LOT DIVISION MAP  
PREPARED FOR  
ALTON GONCALVES  
260 OLD TOWN ROAD, TRUMBULL, CONNECTICUT  
10 0 20 40  
SCALE: 1"= 20'  
DATE: MAR. 20, 2025

Date Received: 12/4/25

Application #: 26-01

## ZONING BOARD OF APPEALS

### APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- a. Variance of the Trumbull Zoning Regulations
- b. Appeal from Order of the Zoning Enforcement Officer
- c. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License.

2. Location of Subject Premises:

House and Street: 18 FERN CIRLE And 32 Fern Circle

Assessor's Map No. 09 Parcel No. 150 Lot No.

Trumbull Land Records: Volume(s) 1951 Page(s) 867

Zoning District:

3. Name of Applicant: 125 Fernwood Rd

Street Address: Owen Pollyann K Est c/o Owen Timothy K.

City: Trumbull ST: CT Zip: 06611 Email:

Phone: Day 203-218-1317 Evening 203-452-7465

SIGNATURE OF APPLICANT Timothy K Owen Executor  
(If agent, state capacity)

4. Owner of Record: Owen Pollyann K Est c/o Owen Timothy K.

Street Address: 125 Fernwood Rd

City: Trumbull ST: CT Zip: 06611 Email:

SIGNATURE OF OWNER OF RECORD Timothy K Owen Executor

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

Setbacks (front, side, rear)  
 Floor Area  
 Lot Area  
 Lot Coverage  
 Damage Reconstruction  
 Parking  
 Extension of enlargement of a non-conforming use or building  
 Other (explain) \_\_\_\_\_

---

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) — PARAGRAPH(S) —  
SUBPARAGRAPH(S) —

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

NO

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---

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY

WHEN APPLICABLE: the lot line revision will modify  
32 Fern Circle - lot size from 0.558 acres to 0.75 acres.  
Additionally, 18 Fern Circle will modify  
from 0.81 acres to 0.61 acres.

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

The Revision will allow a greater distance  
between the 32 Fern Circle house and property  
line as well as straighten out the line  
between the two properties. Neither property  
creates a smaller lot size than already  
exists and will keep a similar relationship  
with surrounding properties.

Property Location 18 FERN CIRCLE  
Vision ID 8406

Map ID I/09 / 00150/ 000/  
Bldg # 1

Parcel Name  
Sec # 1 of 1  
Card # 1 of 1

State Use 101  
Print Date 10/8/2025 2:22:16 PM

CURRENT OWNER			TOPO	UTILITIES	STRT/ROAD	LOCATION	CURRENT ASSESSMENT				6144 TRUMBULL, CT
OWEN POLLYANN K EST C/O OWEN TIMOTHY K 125 FERNWOOD RD TRUMBULL CT 06611							RES LAND	1-1	234,200	163,940	
<b>SUPPLEMENTAL DATA</b>											
Alt Prci ID 00981000 Census Tr 0905 Fire Dist: N: Border Pro Voting Dist			Dev Lot: LOT 41 Survey Ma BNDRY LINE AG Survey Ma Section #: A3 CB Letter:				DWELLING	1-3	239,800	167,860	
GIS ID 00981000			Assoc Pid#								
							Total		474,000	331,800	

RECORD OF OWNERSHIP			BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)						
OWEN POLLYANN K EST OWEN HENRY E S & POLLY ANN			1951 0867 0264 0135	08-21-2025 12-13-1972	U U	I I	0 0	04	Year	Code	Assessed	Year	Code	Assessed	
									2024	1-1 1-3	163,940 167,860	2023	1-1 1-3	163,940 167,860	
									Total		331,800	Total	331,800	Total	331,800

#### EXEMPTIONS

Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int
		Total	0.00					

#### OTHER ASSESSMENTS

This signature acknowledges a visit by a Data Collector or Assessor

#### APPRAISED VALUE SUMMARY

Appraised Bldg. Value (Card)	225,700
Appraised Xf (B) Value (Bldg)	13,600
Appraised Ob (B) Value (Bldg)	500
Appraised Land Value (Bldg)	234,200
Special Land Value	0
Total Appraised Parcel Value	474,000
Valuation Method	C
Total Appraised Parcel Value	474,000

#### ASSESSING NEIGHBORHOOD

#### BUILDING PERMIT RECORD

Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result
5451 E	11-19-2004	AD	Addition	39,000	04-15-2005	100		KITCH ADD & REMOD	08-05-2021	MVS	1		65	Datamailer No Change
									06-19-2015	PG	6	1	61	Data Mailer Return
									04-15-2005	HH	1	1	00	Measur+Listed
									04-06-2005	HH	1		01	Measured

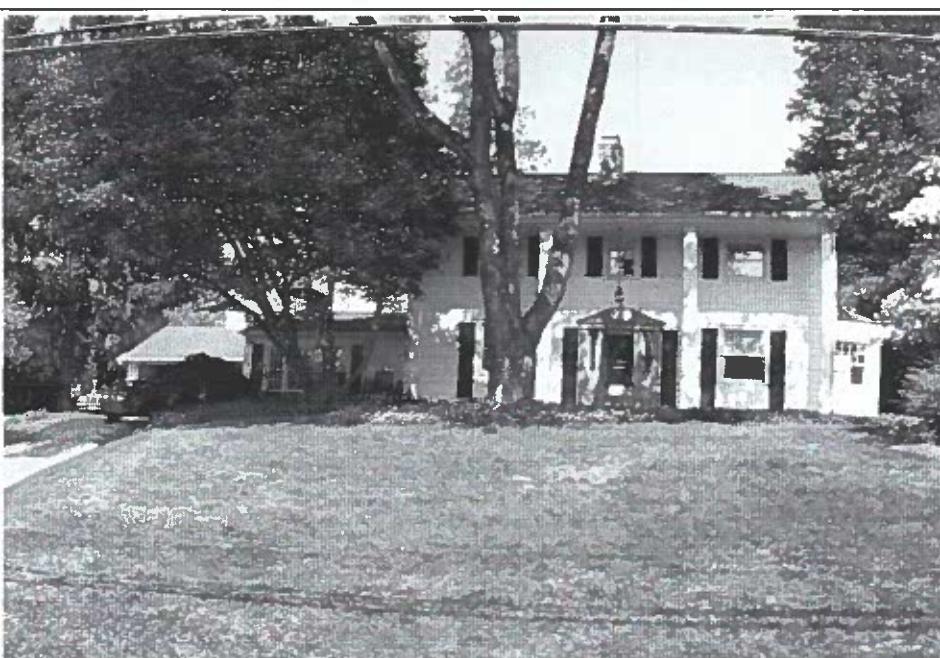
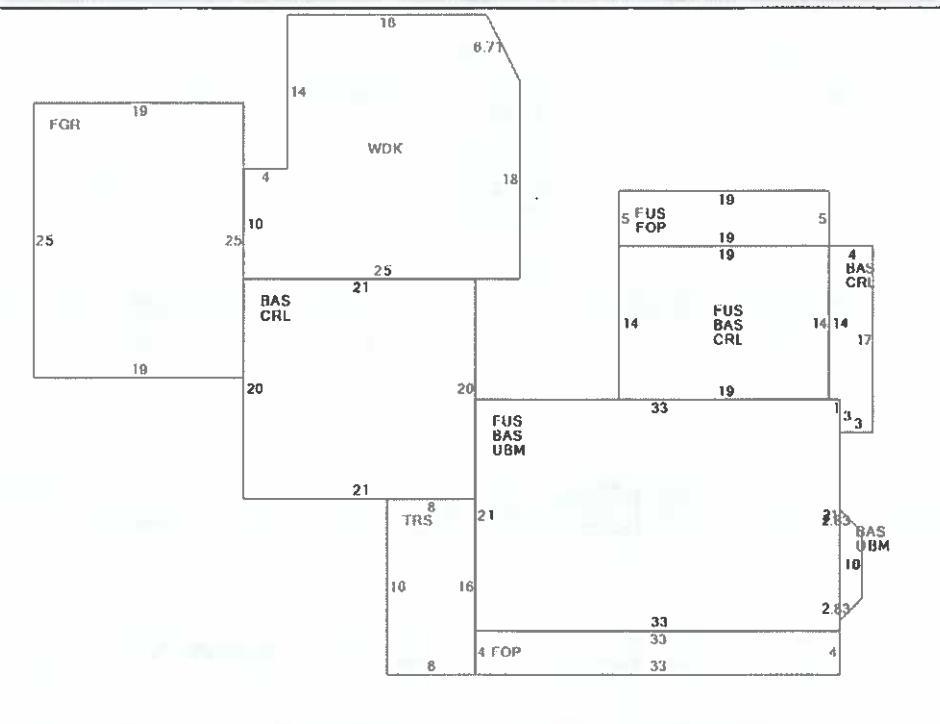
#### LAND LINE VALUATION SECTION

B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj.	Notes	Location Adjustmen	Adj Unit P	Land Value	
1	101	Single Family Re	AA			0.840	AC	202,400.00	1.14078	5	1.05	515	1.150		1.0000	278,806	234,200
		Total Card Land Units	0.84	AC												Total Land Value	234,200

## CONSTRUCTION DETAIL

**CONSTRUCTION DETAIL (CONTINUED)**

Element	Cd	Description	Element	Cd	Description	
Style:	03	Colonial				
Model	01	Residential				
Grade:	13	B-1				
Stories:	2	2 Stories				
Occupancy	1		<b>CONDO DATA</b>			
Exterior Wall 1	25	Vinyl Siding	Parcel Id	C	Owner	
Exterior Wall 2				B	S	
Roof Structure:	03	Gable	Adjust Type	Code	Description	
Roof Cover	03	Asph/F Gls	Condo Flr		Factor%	
Interior Wall 1	05	Drywall	Condo Unit			
Interior Wall 2	03	Plastered	<b>COST / MARKET VALUATION</b>			
Floor Covering	12	Hardwood	Building Value New		327,149	
Alt. Floor Cover	18	Slate	Year Built		1936	
Heat Fuel	02	Oil	Effective Year Built		1990	
Heat Type:	05	Hot Water	Depreciation Code	A		
AC Type:	01	None	Remodel Rating	M		
Total Bedrooms	03	3 Bedrooms	Year Remodeled		2005	
Total Bthrms:	2	2 Full Baths	Depreciation %		31	
Total Half Baths	1	1 Half Bath	Functional Obsol			
Total Xtra Fixtrs			External Obsol			
Total Rooms:	7	7 Rooms	Trend Factor		1	
Bath Style:	02	Average	Condition			
Kitchen Style:	03	Modern	Condition %			
Total Kitchens	1		Percent Good		69	
Total Elec Meter	1		RCNL		225,700	
			Dep % Ovr			
			Dep Ovr Comment			
			Misc Imp Ovr			
			Misc Imp Ovr Comment			
			Cost to Cure Ovr			
			Cost to Cure Ovr Comment			



109-150 05/10/2015

## BUILDING SUB-AREA SUMMARY SECTION

BUILDING GROSS AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,460	1,460	1,460	105.52	154,053
CRL	Crawl Space	0	751	0	0.00	0
FGR	Attached Garage	0	475	190	42.21	20,048
FOP	Open Porch	0	227	45	20.92	4,748
FUS	Finished Upper Story	1,054	1,054	1,054	105.52	111,214
TRS	Stone Terrace	0	128	19	15.66	2,005
UBM	Unfinished Basement	0	709	142	21.13	14,983
WDK	Wood Deck	0	535	54	10.65	5,698
Ttl Gross Liv / Lease Area		2,514	5,339	2,964		312,749

Property Location 32 FERN CIRCLE  
Vision ID 997

Account # 00670100

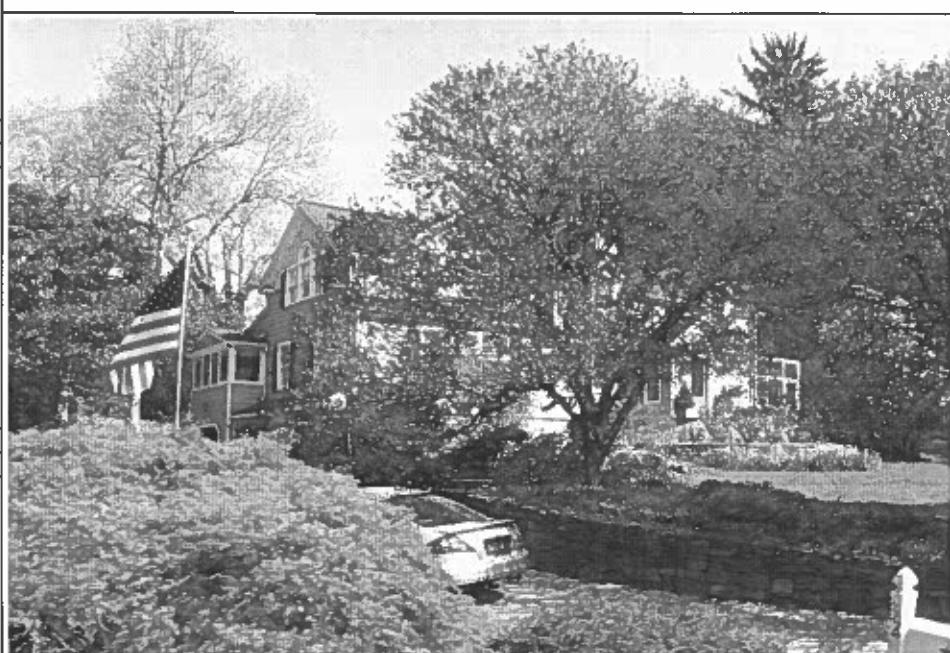
Map ID I/09 / 00145/ 000/  
Bldg # 1

Parcel Name  
Sec # 1 of 1  
Card # 1 of 1

State Use 101  
Print Date 10/8/2025 2:22:41 PM

CURRENT OWNER				TOPO		UTILITIES		STRT / ROAD		LOCATION		CURRENT ASSESSMENT				VISION							
BOLLERT BRYCE F & KAREN A												Description		Code	Appraised		Assessed						
														RES LAND DWELLING			1-1 1-3	257,500 308,900	180,250 216,230				
32 FERN CIRCLE				SUPPLEMENTAL DATA																			
				Alt Prci ID 00670100 Census Tr 0905 Fire Dist: N: Border Pro Voting Dist				Dev Lot: LOT 43 Survey Ma BNDRY LINE AG Survey Ma Section #: A3 CB Letter:															
TRUMBULL CT 06611				GIS ID 00670100				Assoc Pid#				Total		566,400		396,480							
												Total		396,480		Total		396,480					
RECORD OF OWNERSHIP				BK-VOL/PAGE		SALE DATE		Q/U	V/I	SALE PRICE		VC	PREVIOUS ASSESSMENTS (HISTORY)										
BOLLERT BRYCE F & KAREN A				0668	0056	08-29-1988			I	202,000			Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed		
				2024	1-1 1-3	180,250 216,230	2023	1-1 1-3	180,250 216,230	2022	1-1 1-3		180,250 216,230										
					Total	396,480		Total	396,480		Total		396,480										
EXEMPTIONS				OTHER ASSESSMENTS								This signature acknowledges a visit by a Data Collector or Assessor											
Year	Code	Description		Amount		Code	Description		Number	Amount										Comm Int			
		Total		0.00																			
ASSESSING NEIGHBORHOOD																APPRaised VALUE SUMMARY							
Nbhd		Nbhd Name		B		Tracing		Batch		Appraised Bldg. Value (Card)				281,600									
5										Appraised Xf (B) Value (Bldg)				27,300									
NOTES																Appraised Ob (B) Value (Bldg)				0			
FULL RD																Appraised Land Value (Bldg)				257,500			
IVG																Special Land Value				0			
																Total Appraised Parcel Value				566,400			
																Valuation Method				C			
																Total Appraised Parcel Value				566,400			
BUILDING PERMIT RECORD																VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description		Amount	Insp Date	% Comp	Date Comp	Comments				Date	Id	Type	Is	Cd	Purpose/Result					
SOLE-24-46	05-13-2024	SP	Roofing		44,490	06-21-2013	100	05-13-2024	27 SOLAR PANELS				07-30-2021	MVS	1		65	Datamailer No Change					
SOLB-24-46	05-13-2024	SP			44,490		100	05-13-2024	SOLAR INSTALLATION 27 PA				08-06-2015	PG	6	1	61	Data Mailer Return					
MI61110056	06-03-2011	RF			7,950		100	06-21-2013	STRIP AND REROOF				06-21-2013	PG	2	5	50	Permit Check					
											04-30-2005	HH	1		00	Measur+Listed							
											04-14-2005	HH	1		02	2nd Attempt @ Int Insp							
											04-06-2005	HH	1		01	Measured							
LAND LINE VALUATION SECTION																							
B	Use Code	Description		Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes			Location Adjustmen		Adj Unit P	Land Value			
1	101	Single Family Re		AA			0.600	AC	202,400.00	1.53623	5	1.20	515	1.150	LOCATION				1.0000	429,088	257,500		
Total Card Land Units								0.60	AC	Parcel Total Land Area				0.60	Total Land Value								257,500

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)							
Element	Cd	Description	Element	Cd	Description					
Style: 03	Colonial									
Model: 01	Residential									
Grade: 14	B									
Stories: 2	2 Stories									
Occupancy 1	Vinyl Siding		CONDO DATA							
Exterior Wall 1 25			Parcel Id	C	Owner					
Exterior Wall 2				B	S					
Roof Structure: 03	Gable		Adjust Type	Code	Description					
Roof Cover 03	Asph/F Gls		Condo Flr		Factor%					
Interior Wall 1 05	Drywall		Condo Unit							
Interior Wall 2			COST / MARKET VALUATION							
Floor Covering 12	Hardwood		Building Value New	360,971						
Alt. Floor Cover 14	Carpet		Year Built	1941						
Heat Fuel 02	Oil		Effective Year Built	1999						
Heat Type: 05	Hot Water		Depreciation Code	VG						
AC Type: 01	None		Remodel Rating	C2						
Total Bedrooms 04	4 Bedrooms		Year Remodeled	2013						
Total Bthrms: 2	2 Full Baths		Depreciation %	22						
Total Half Baths 1	1 Half Bath		Functional Obsol							
Total Xtra Fixtrs			External Obsol							
Total Rooms: 8	8 Rooms		Trend Factor							
Bath Style: 02	Average		Condition							
Kitchen Style: 02	Average		Condition %							
Total Kitchens 1			Percent Good	78						
Total Elec Meter 1			RCNL	281,600						
			Dep % Ovr							
			Dep Ovr Comment							
			Misc Imp Ovr							
			Misc Imp Ovr Comment							
			Cost to Cure Ovr							
			Cost to Cure Ovr Comment							
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL	Fireplace	B	1	5000.00	1999		78	00	1.00	3,900
BGR	Gar Bsmnt	B	3	10000.00	1999		78		0.00	23,400
BUILDING SUB-AREA SUMMARY SECTION										
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value				
BAS	First Floor	1,444	1,444	1,444	107.01	154,526				
CAN	Canopy	0	96	19	21.18	2,033				
FEP	Enclosed Porch	0	508	330	69.52	35,314				
FOP	Open Porch	0	16	3	20.06	321				
FUS	Finished Upper Story	1,122	1,122	1,122	107.01	120,068				
PRS	Piers	0	200	0	0.00	0				
PTS	Stone Patio	0	110	11	10.70	1,177				
SLB	Slab	0	32	0	0.00	0				
UBM	Unfinished Basement	0	1,472	294	21.37	31,462				
WDK	Wood Deck	0	100	10	10.70	1,070				
Ttl Gross Liv / Lease Area			2,566	5,100	3,233	345,971				



109-145 05/10/2015

**Lot Line Revision Map**  
 Prepared For  
**Bryce F. Bollert**  
 AND  
**Karen A. Bollert**  
 32 Fern Circle  
 Trumbull, Connecticut  
 November, 2025 Scale 1" = 30'

To my knowledge and belief, this map  
 is substantially correct as noted hereon

T. Michael Alex Licensed Land Surveyor #15462 Washington, Connecticut

0 30 60 90 120

**Thrushwood Lake**

**MC-DAT**

**Fern Circle**

N/F  
 Ryan Patrick Collins, Trustee  
 Volume 1913 Page 973

S60°45'33"E  
 150.44'

32 Fern Circle  
 Assessors Map/ Block / Lot  
 09 / 145 / 00  
 Bryce F. Bollert & Karen A. Bollert  
 Volume 668 Page 56  
 Trumbull Land Records

Existing Area  
 24,307 Square Feet  
 0.558 ± Acres  
 Proposed Area  
 32,872 Square Feet  
 0.75 ± Acres

S77°03'17"W

59.39'

46.33'

210.83'

158.93'

S03°28'27"E

50.34'

42.02'

S85°37'34"W

155.80'

N08°20'37"W

42.02'

Iron Pin  
 To Be Set

18 Fern Circle  
 Assessors Map/ Block / Lot

09 / 150 / 00  
 The Estate Of Pollyann K. Owen  
 Volume 1951 Page 567  
 Trumbull Land Records  
 Existing Area  
 35,148 Square Feet  
 0.81 ± Acres  
 Proposed Area  
 26,583 Square Feet  
 0.61 ± Acres

N/F  
 John L. Thompson  
 Jean E. Thompson  
 Volume 1255 Page 450

N/F  
 Nichols Improvement Association, Inc.  
 Volume 102 Page 322

Parcel "A" Land Of 18 Fern Circle  
 8,565 Square Feet, 0.20 ± Acres  
 To Be Merged With 32 Fern Circle

Refer To Maps By;  
 John Marano  
 J.D. Kasper Associates  
 Russel M. Logie

**LEGEND**  
 STONE WALL  
 WIRE FENCE  
 NO PHYSICAL BOUNDARY  
 UTILITY POLE

This map and survey was prepared to the standards of a  
 class A-2 survey as defined in the regulations of Connecticut  
 State Agencies Sec. 20-300b-1 Thru 20-300b-20.  
 The type of survey performed is a Dependent Resurvey.

Approved By The Trumbull Zoning Board Of Appeals  
 By: \_\_\_\_\_ Date \_\_\_\_\_

Date Received: \_\_\_\_\_

Application #: 26-02

## ZONING BOARD OF APPEALS

### APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- a. Variance of the Trumbull Zoning Regulations
- b. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_
- c. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

2. Location of Subject Premises:

House and Street: 51 Zephyr Rd

Assessor's Map No. E-09 Parcel No. 624900 Lot No. 8

Trumbull Land Records: Volume(s) 1815 Page(s) 0703

Zoning District: A

3. Name of Applicant: Joseph R. Mastroluca

Street Address: 51 Zephyr Rd

City: Trumbull ST: CT Zip: 06611

Phone: Day 203-581-3838 Evening 203-581-3838

SIGNATURE OF APPLICANT

*Joseph R. Mastroluca*  
(If agent, state capacity)

4. Owner of Record: Joseph R. Mastroluca

Street Address: 51 Zephyr Rd

City: Trumbull ST: CT Zip: 06611

SIGNATURE OF OWNER OF RECORD

*Joseph R. Mastroluca*

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

Setbacks (front, side, rear)  
 Floor Area  
 Lot Area  
 Lot Coverage  
 Damage Reconstruction  
 Parking  
 Extension of enlargement of a non-conforming use or building  
 Other (explain) \_\_\_\_\_

---

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) 2 PARAGRAPH(S) 2.3  
SUBPARAGRAPH(S) \_\_\_\_\_

3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

YES; June 5<sup>th</sup> 2024 Hearing Date. Application for Accessory building with zoning variances.

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHEN

APPLICABLE: 32.5' from 50' required at Magnolia Front Yard  
\_\_\_\_\_  
\_\_\_\_\_

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

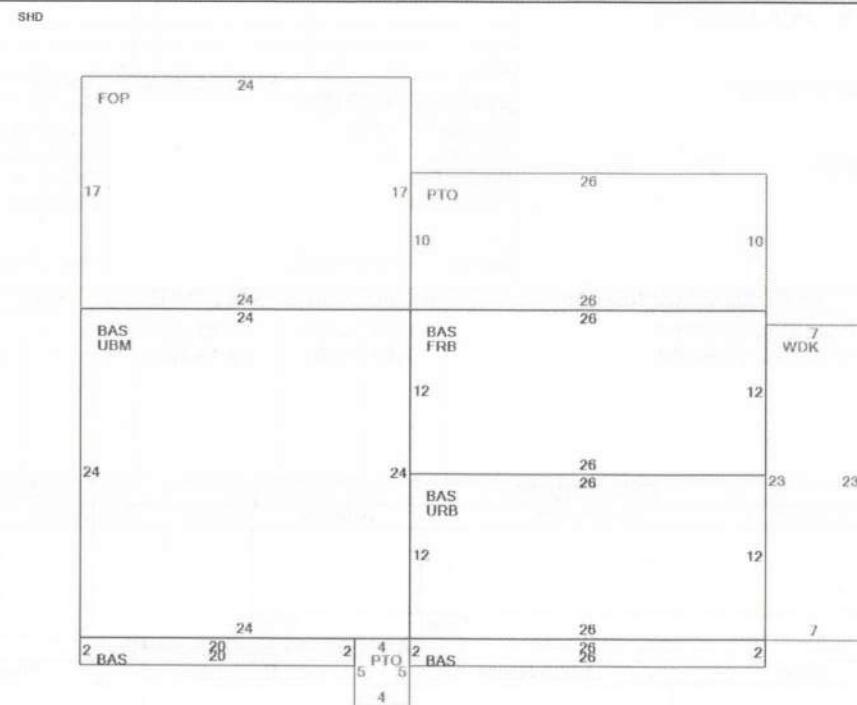
Existing Non-Conforming setback on Magnolia front yard restricts expansion opportunity. proposal is to maintain existing setbacks.

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)			
Element	Cd	Description	Element	Cd	Description	
Style:	02	Split-Level				
Model	01	Residential				
Grade:	09	C				
Stories:	1	1 Story				
Occupancy	1		CONDO DATA			
Exterior Wall 1	25	Vinyl Siding	Parcel Id		C	Owner
Exterior Wall 2					B	S
Roof Structure:	03	Gable	Adjust Type	Code	Description	Factor%
Roof Cover	03	Asph/F Gls	Condo Flr			
Interior Wall 1	05	Drywall	Condo Unit			
Interior Wall 2	04	Plywood Panel	COST / MARKET VALUATION			
Floor Covering	12	Hardwood	Building Value New		176,776	
Alt. Floor Cover	14	Carpet				
Heat Fuel	03	Gas				
Heat Type:	05	Hot Water	Year Built		1966	
AC Type:	03	Central	Effective Year Built			
Total Bedrooms	03	3 Bedrooms	Depreciation Code		G	
Total Bthrms:	2	2 Full Baths	Remodel Rating			
Total Half Baths	0		Year Remodeled			
Total Xtra Fixtrs			Depreciation %		23	
Total Rooms:	5	5 Rooms	Functional Obsol			
Bath Style:	02	Average	External Obsol			
Kitchen Style:	02	Average	Trend Factor		1	
Total Kitchens	1		Condition			
Total Elec Meter	1		Condition %			
			Percent Good		77	
			RCNL		136,100	
			Dep % Ovr			
			Dep Ovr Comment			
			Misc Imp Ovr			
			Misc Imp Ovr Comment			
			Cost to Cure Ovr			
			Cost to Cure Ovr Comment			

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL	Fireplace	B	1	5000.00	1998		77	00	1.00	3,900
BGR	Gar Bsmt	B	1	10000.00	1998		77		0.00	7,700
SHD1	Shed Fr	L	140	10.00	1980	A	50	3	1.00	700

## **BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,292	1,292	1,292	97.45	125,907
FOP	Open Porch	0	408	82	19.59	7,991
FRB	Finished Raised Bsmt	0	312	187	58.41	18,223
PTO	Patio	0	280	28	9.75	2,729
UBM	Unfinished Basement	0	576	115	19.46	11,207
URB	Unfin Raised Bsmt	0	312	94	29.36	9,160
WDK	Wood Deck	0	161	16	9.68	1,559
Ttl Gross Liv / Lease Area		1,292	3,341			176,776



E06-8 05/03/2015

Property Location 51 ZEPHYR ROAD Vision ID 8879				Map ID E/06 / 00008/ 000/ Account # 00624900				Parcel Name Sec # 1 of 1 Card # 1 of 1				State Use 101 Print Date 4/30/2024 10:59:01 A													
CURRENT OWNER MASTROLUCA JOSEPH R				TOPO		UTILITIES		STRT/ROAD		LOCATION		CURRENT ASSESSMENT				6144 TRUMBULL, CT  <b>VISION</b>									
51 ZEPHYR ROAD TRUMBULL CT 06611												Description		Code	Appraised		Assessed								
										RES LAND		1-1	221,800	155,260											
										DWELLING		1-3	148,400	103,880											
				SUPPLEMENTAL DATA																					
				Alt Prcl ID 00624900 Census Tr 0902 Fire Dist: L: Border Pro Voting Dist				Dev Lot: LOT 50 Survey Ma Survey Ma Section #: B1 CB Letter:																	
				GIS ID 00624900				Assoc Pid#								Total		370,200	259,140						
RECORD OF OWNERSHIP				BK-VOL/PAGE		SALE DATE		Q/U	V/I	SALE PRICE		VC	PREVIOUS ASSESSMENTS (HISTORY)												
MASTROLUCA JOSEPH R PIETRANTONIO HERMINE				1815	0703	06-22-2020	U	I	425,000		25	Year	Code	Assessed	Year	Code	Assessed V	Year	Code	Assessed					
				0187	0552	08-16-1966	U	I	0			2023	1-1	155,260	2022	1-1	155,260	2021	1-1	155,260					
												Total		259,140	Total	259,140	Total	259,140							
EXEMPTIONS				OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor																	
Year	Code	Description		Amount		Code	Description		Number	Amount		Comm Int													
Total		0.00																							
ASSESSING NEIGHBORHOOD																	APPRaised VALUE SUMMARY								
Nbhd	Nbhd Name			B		Tracing			Batch		Appraised Bldg. Value (Card) 136,100														
1											Appraised Xf (B) Value (Bldg) 11,600														
NOTES																	Appraised Ob (B) Value (Bldg) 700								
																	Appraised Land Value (Bldg) 221,800								
																	Special Land Value 0								
																	Total Appraised Parcel Value 370,200								
																	Valuation Method C								
																	Total Appraised Parcel Value 370,200								
BUILDING PERMIT RECORD																	VISIT / CHANGE HISTORY								
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments		Date	Id	Type	Is	Cd	Purpose/Result										
										08-13-2021	MVS	1		65	Datamailer No Change										
										04-29-2005	MJ	7		11	QC - Check										
										03-24-2005	JE	1	1	00	Measur+Listed										
LAND LINE VALUATION SECTION																									
B	Use Code	Description	Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes			Location Adjustmen		Adj Unit P	Land Value						
1	101	Single Family Re	A		0.500	AC	202,400.00	1.82608	5	1.00	110	1.200						1.0000		221,800					
Total Card Land Units					0.50	AC	Parcel Total Land Area					0.50					Total Land Value		221,800						

Date: 1/3/2026

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

- A) I have reviewed the proposed zoning variance plans provided by my neighbors Joseph & Kyle Mastroluca.
- B) I have no complaints, issues or problems with the zoning variances they are proposing on their property located at 51 Zephyr Rd Trumbull CT 06611.
- C) I fully support Joseph & Kyle Mastroluca and believe this project is beneficial for our neighborhood.

Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

Regards,

Signature

Michael Dunsband

Name (Print)

Michael Dunsband

Address

54 Zephyr Rd

Phone Number

(914) 450-9631

Email Address



\*Please feel free to call or email with any questions.

Joe Mastroluca: [joseph.mastroluca@gmail.com](mailto:joseph.mastroluca@gmail.com) / 203-581-3838

\*\*Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

Date: 12/26/25

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

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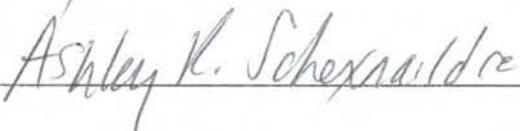
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Regards,

Signature



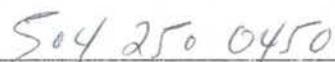
Name (Print)



Address



Phone Number



Email Address



\*Please feel free to call or email with any questions.

Joe Mastroluca: [joseph.mastroluca@gmail.com](mailto:joseph.mastroluca@gmail.com) / 203-581-3838

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Date: 12-20-2025

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

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Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

BEST WISHES!!!

Regards,

Signature 

Name (Print) ELI HASANRAMAJ

Address 81 MAGNOLIA ROAD TRUMBULL, CT 06611

Phone Number (203) 998-8455

Email Address 

\*Please feel free to call or email with any questions.

Joe Mastroluca: [joseph.mastroluca@gmail.com](mailto:joseph.mastroluca@gmail.com) / 203-581-3838

\*\*Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

Date: 12/19/25

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

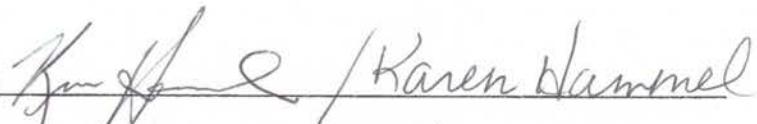
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Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

Regards,

Signature



Name (Print)

Kevin Hammel / Karen Hammel

Address

42 Zephyr Rd. Trumbull, CT 06611

Phone Number

203-261-6487

Email Address



\*Please feel free to call or email with any questions.

Joe Mastroluca: [joseph.mastroluca@gmail.com](mailto:joseph.mastroluca@gmail.com) / 203-581-3838

\*\*Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

Date: 12/18/25

To: Zoning Board of Trumbull CT

RE: Zoning Variances for 51 Zephyr Rd Trumbull CT 06611 for Joseph & Kyle Mastroluca

Dear Trumbull Zoning Board,

Please let my below signature indicate that:

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Regards,

Signature



Name (Print)

Brian Holinka

Address

48 Zephyr. Rd

Phone Number

203 258 8801

Email Address



\*Please feel free to call or email with any questions.

Joe Mastroluca: [joseph.mastroluca@gmail.com](mailto:joseph.mastroluca@gmail.com) / 203-581-3838

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Date: 12/18/25

To: Zoning Board of Trumbull CT

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Should you have any questions for us regarding this letter, please feel free to reach out as my contact information is listed below.

Regards,

Signature \_\_\_\_\_

Name (Print) Ahmed Assaidi

Address 85 Magnolia Rd Trumbull, CT 06611

Phone Number (347) 280 - 5756

Email Address \_\_\_\_\_

\*Please feel free to call or email with any questions.

Joe Mastroluca: [joseph.mastroluca@gmail.com](mailto:joseph.mastroluca@gmail.com) / 203-581-3838

\*\*Please kindly return a signed copy (ink) of this letter to our mailbox. We appreciate your support!

**MASTROLUCA RESIDENCE**  
51 ZEPHYR ROAD  
TRUMBULL, CT 06611  
for Mr. Joseph & Mrs. Kyle Mastroluca

REVISION/SUBMISSION NOTES	
1 ZBA FILING	12/12/25

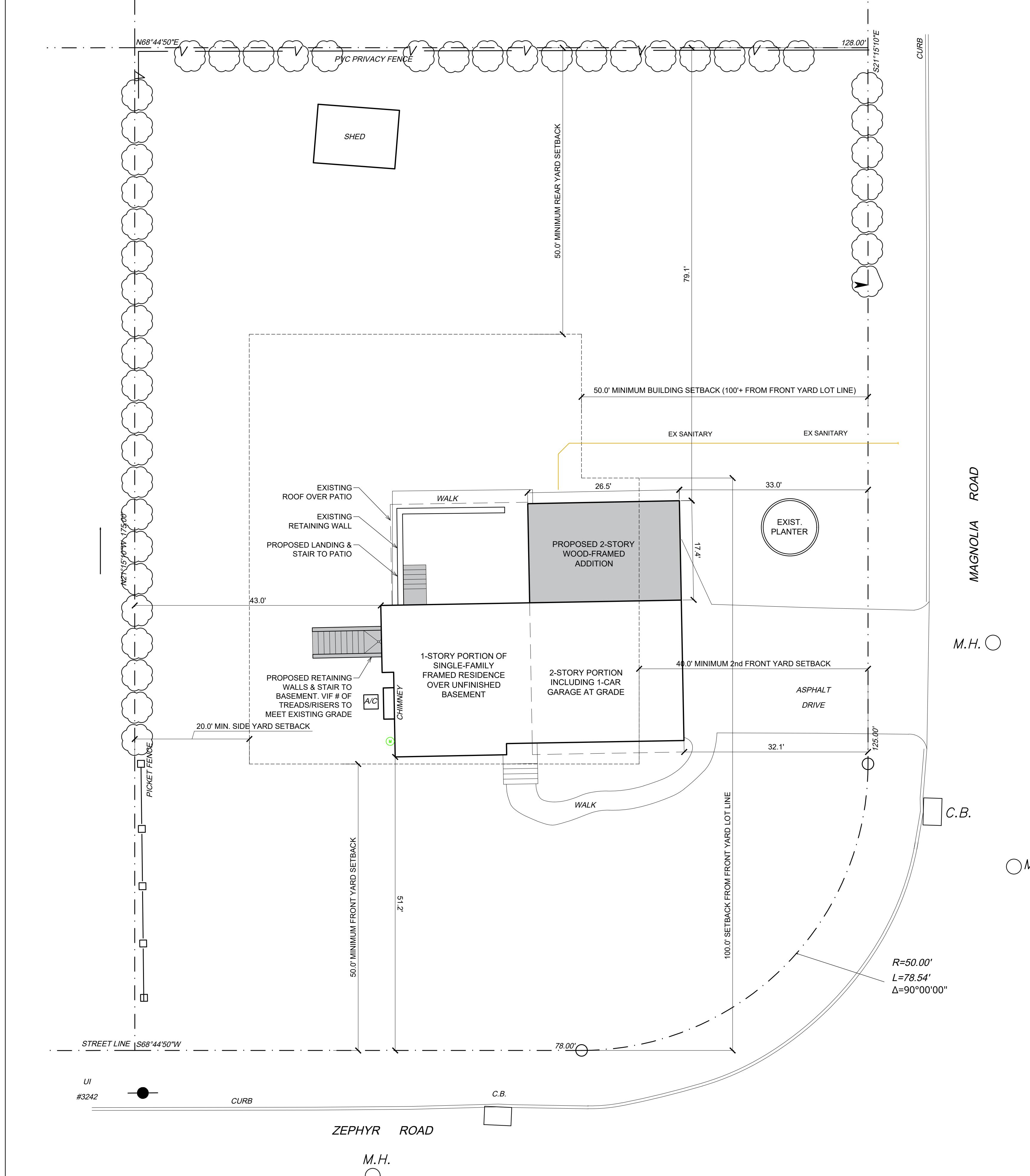
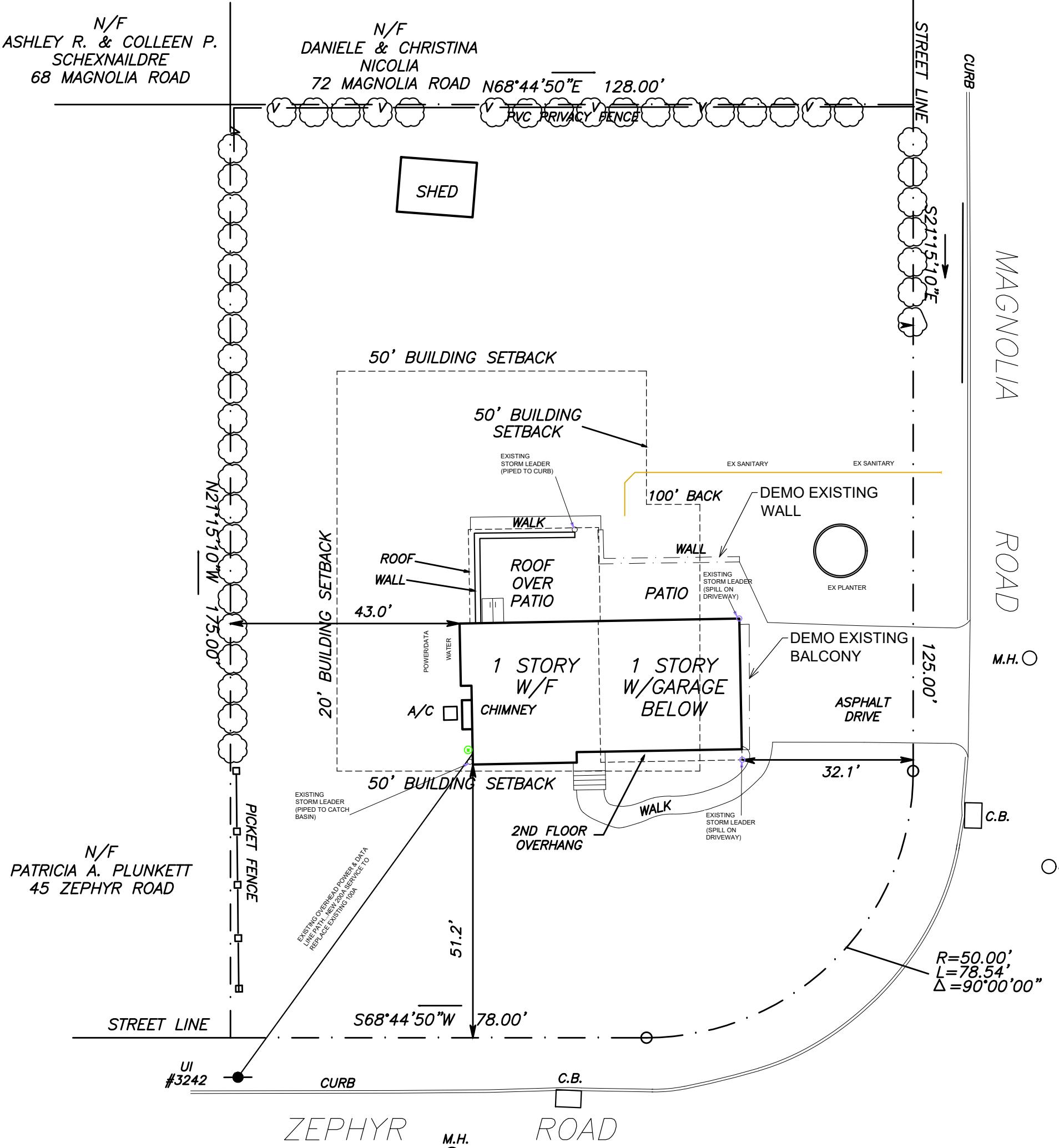
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drawing title:  
**EXISTING & PROPOSED SITE PLANS**

drawing number:

**SP-1**



# MASTROLUCA RESIDENCE

51 ZEPHYR ROAD  
TRUMBULL, CT 06611

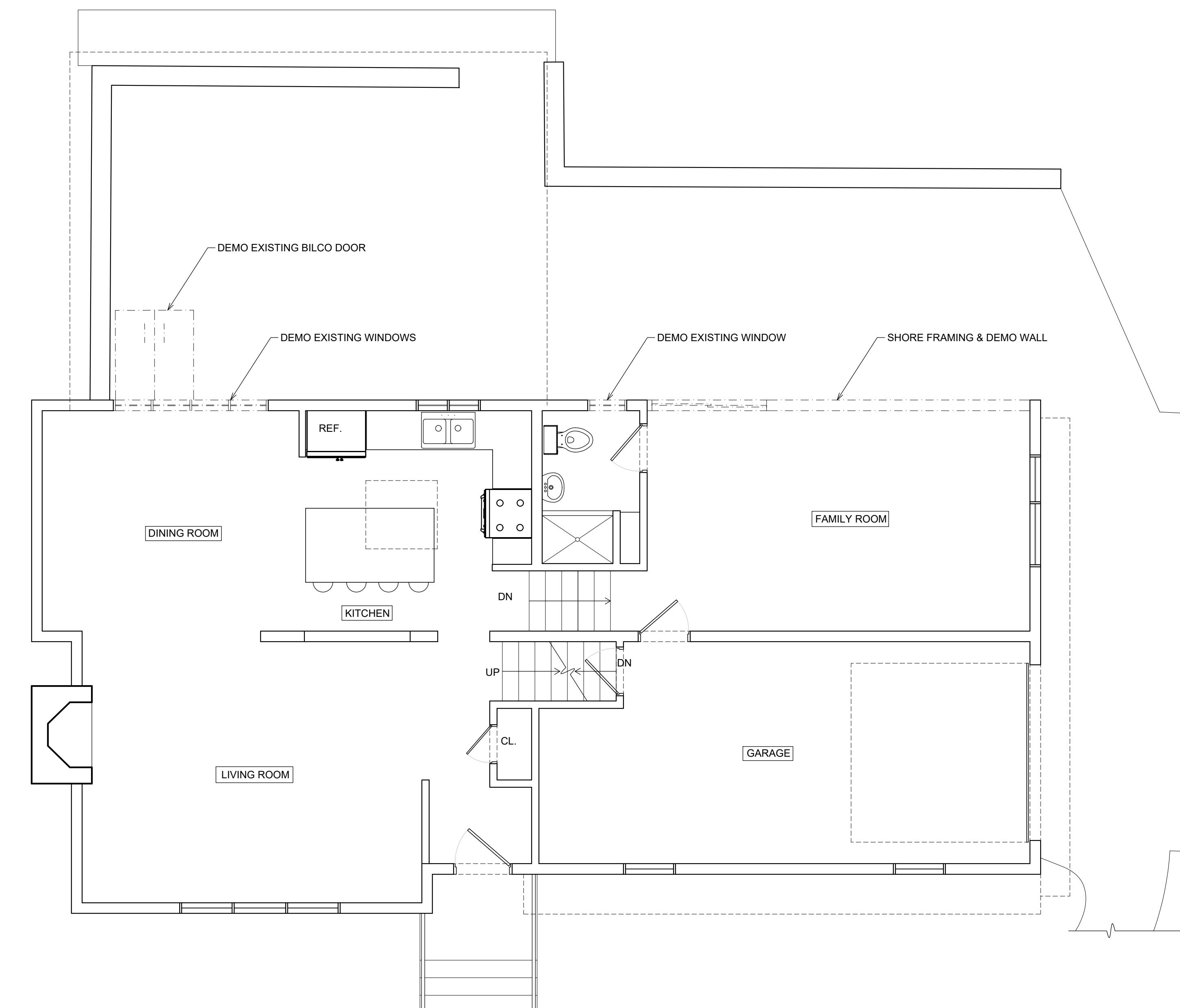
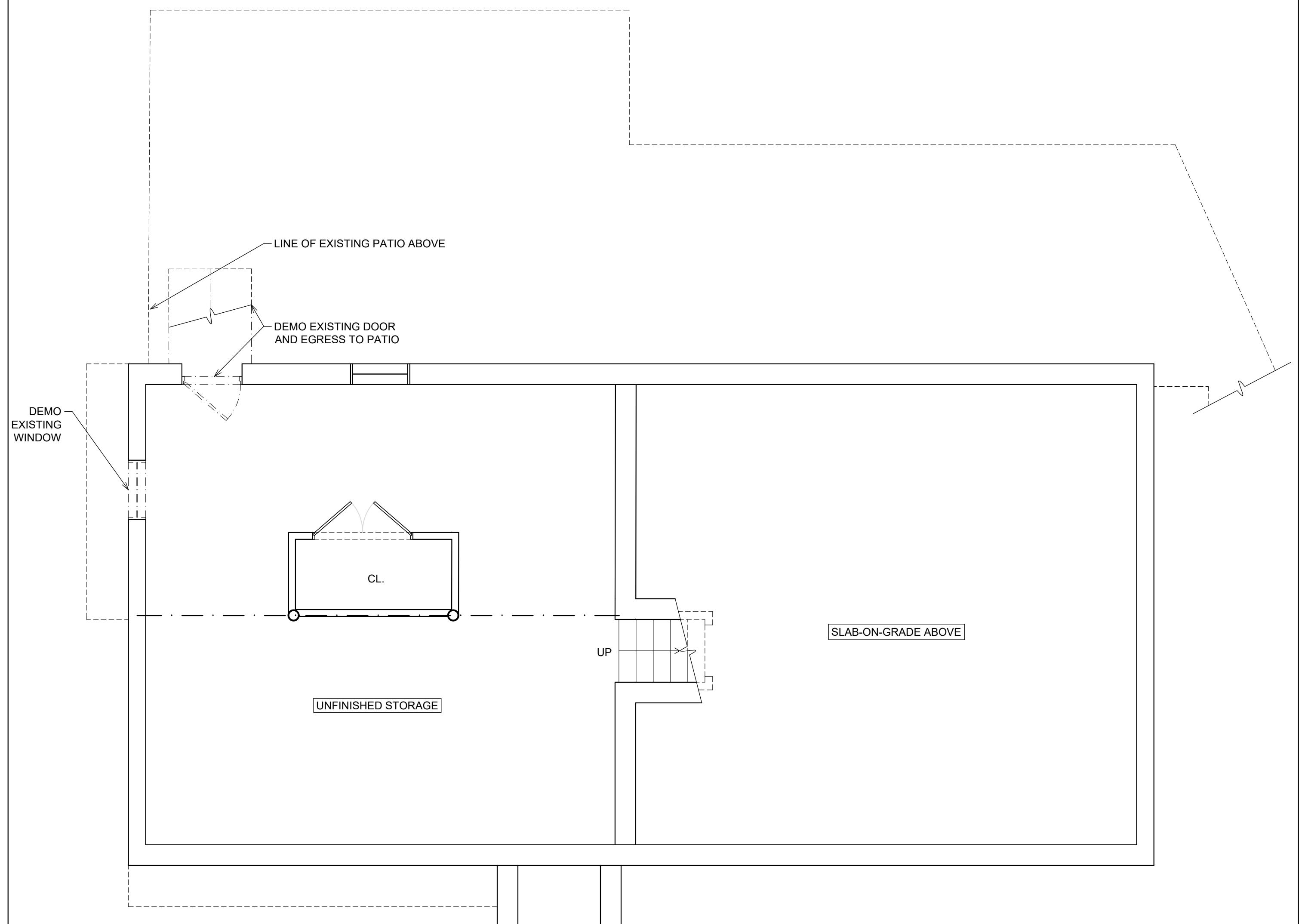
for Mr. Joseph & Mrs. Kyle Mastroluca

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The seal is circular with a double-lined outer border. The top half of the border contains the words "STATE OF CONNECTICUT" and the bottom half contains "LICENSED ARCHITECT". Inside the border, at the top, is "KIMBERLY T MARTELLI" and at the bottom is "NO. 0013180". In the center is a crest featuring a shield with a building, a plow, and a sheaf of wheat, supported by two pillars, with an eagle perched above it. A green ribbon or sash is draped across the bottom of the seal.

# EXISTING/DEMO FLOOR PLANS

rawing number:



# MASTROLUCA RESIDENCE

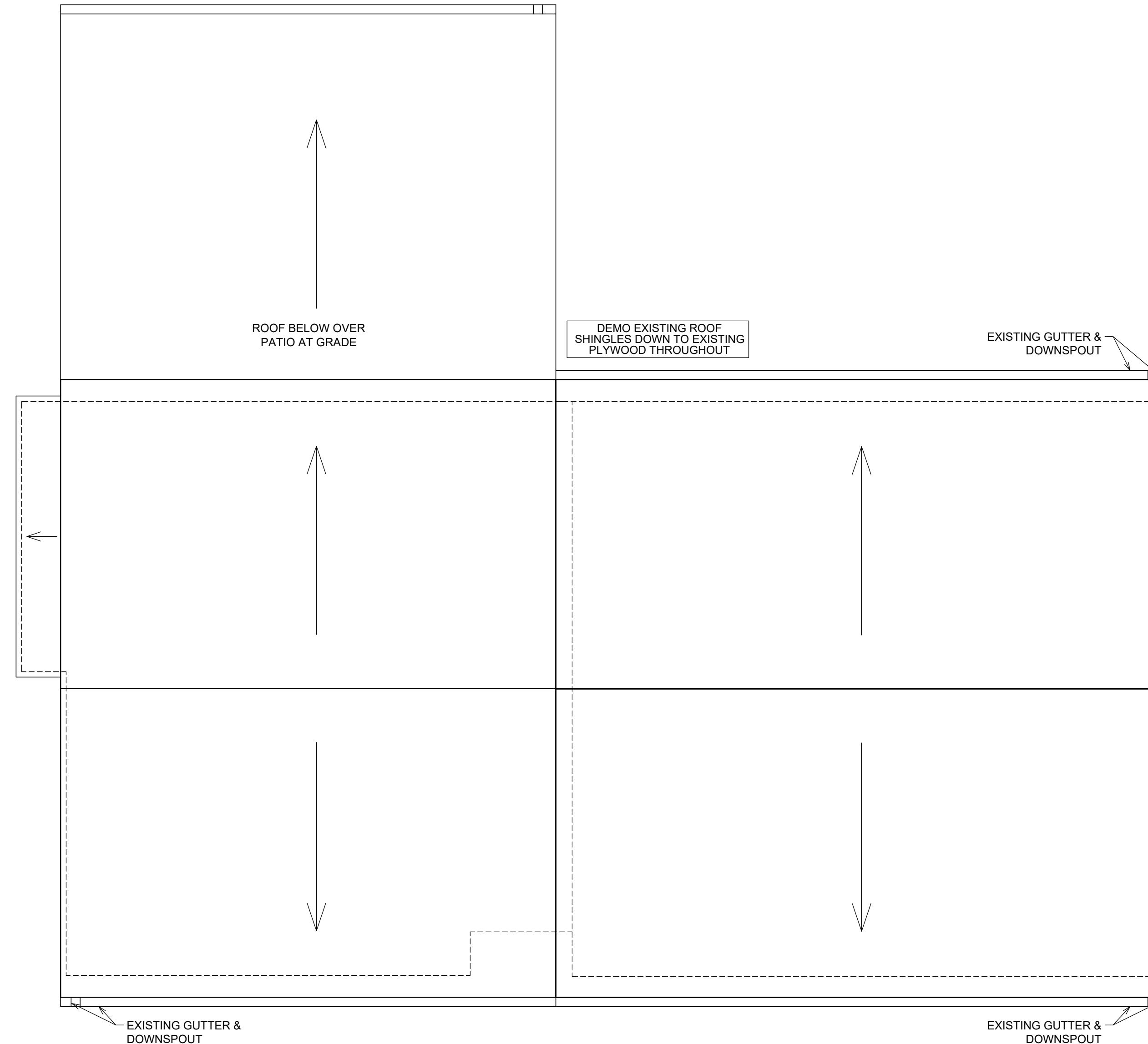
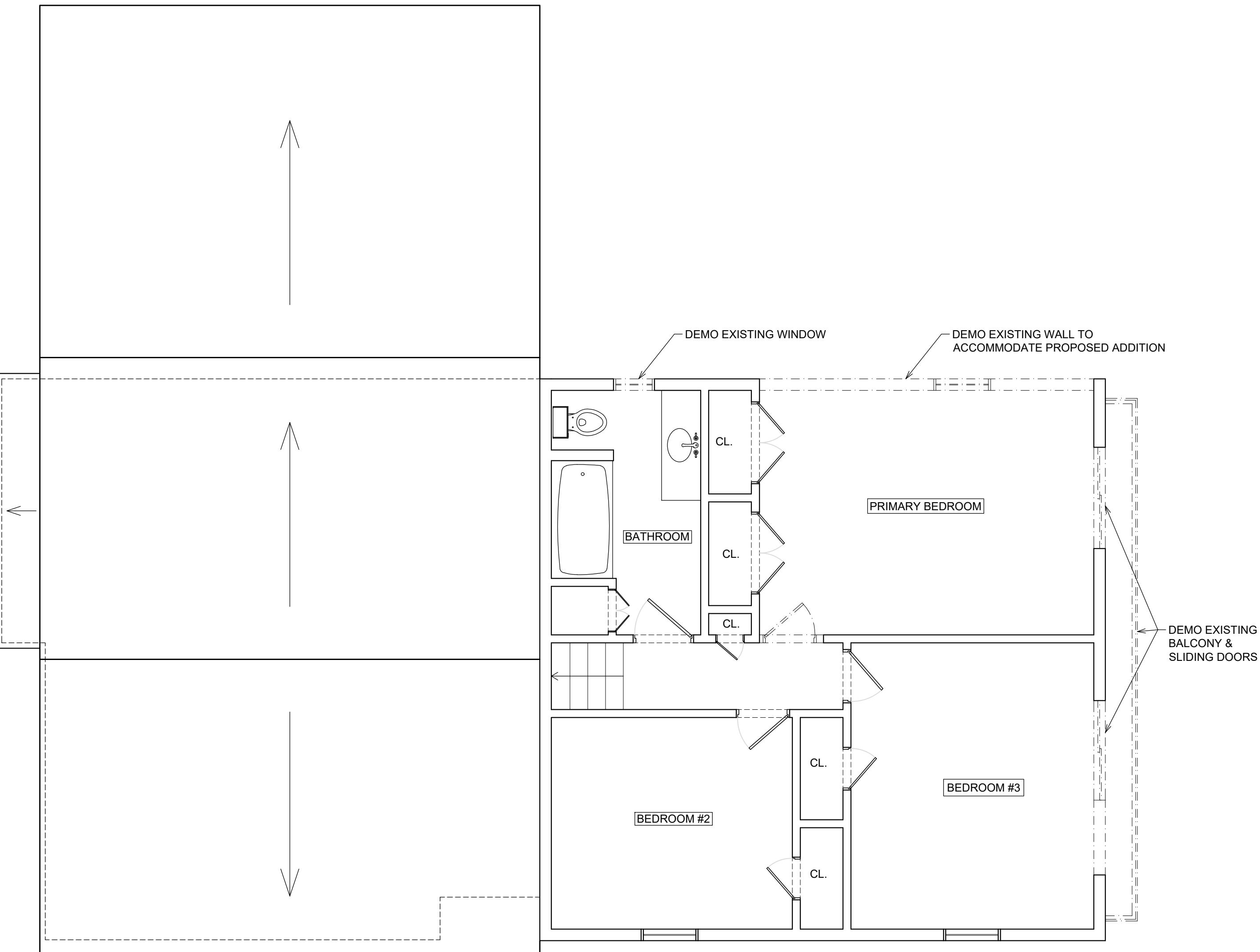
51 ZEPHYR ROAD  
TRUMBULL, CT 06611

for Mr. Joseph & Mrs. Kyle Mastroluca

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# EXISTING/DEMO SECOND FLOOR & ROOF PLANS

rawing number:



**MASTROLUCA RESIDENCE**  
51 ZEPHYR ROAD  
TRUMBULL, CT 06611  
for Mr. Joseph & Mrs. Kyle Mastroluca



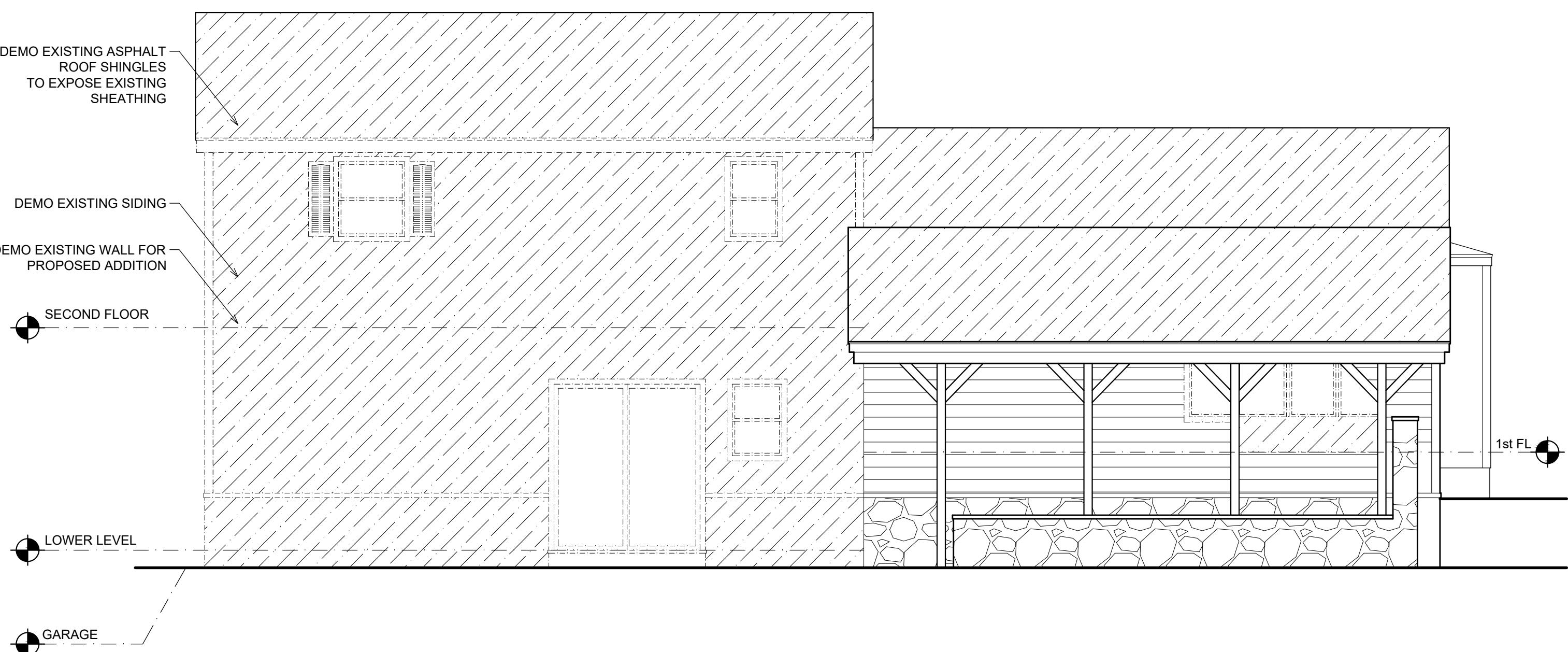
1 EXISTING/DEMO SOUTHWEST (FRONT) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



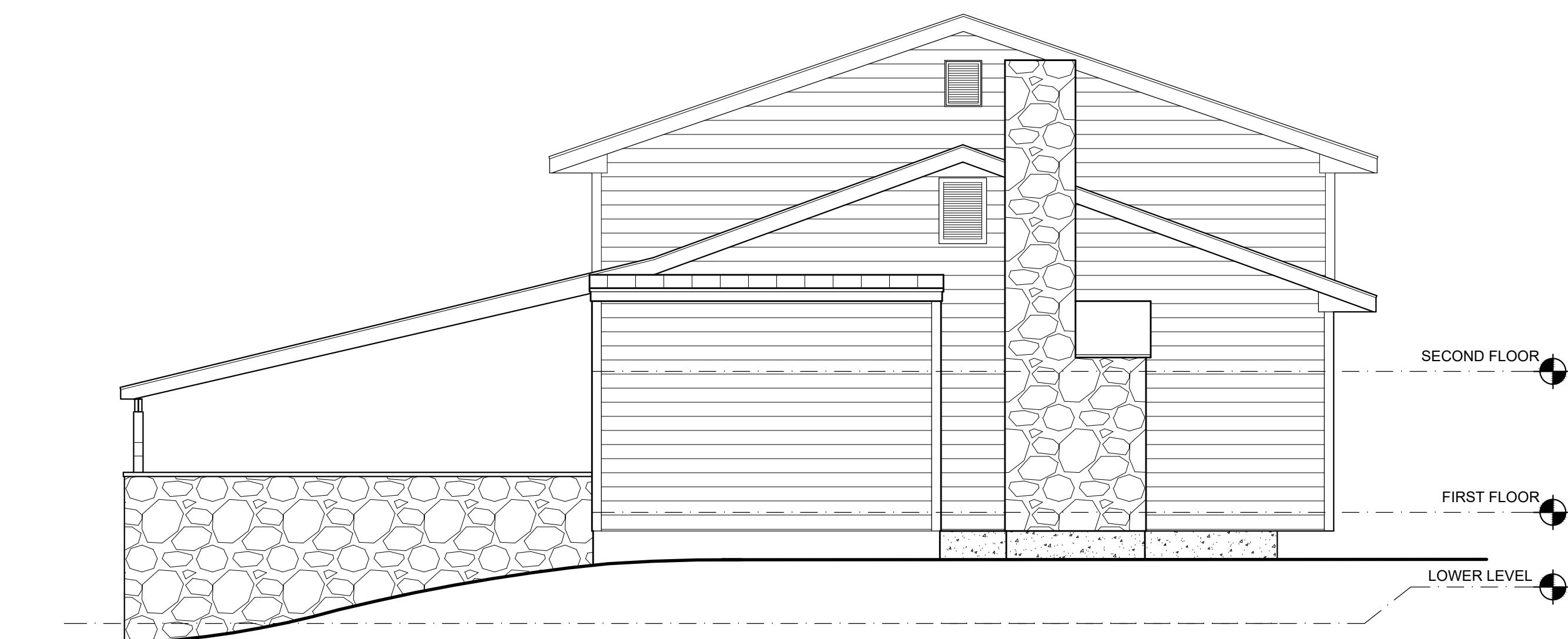
2 EXISTING/DEMO SOUTHEAST (SECOND FRONT) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



3 EXISTING/DEMO NORTHEAST (SIDE) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



4 EXISTING/DEMO NORTHWEST (REAR) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

REVISION/SUBMISSION NOTES	
1 ZBA FILING	12/12/25

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project:  
0636.00  
date:  
12/12/25  
scale:  
AS NOTED

drawing title:

EXISTING/DEMO  
EXTERIOR  
ELEVATIONS

drawing number:

**EC-3**



# MASTROLUCA RESIDENCE

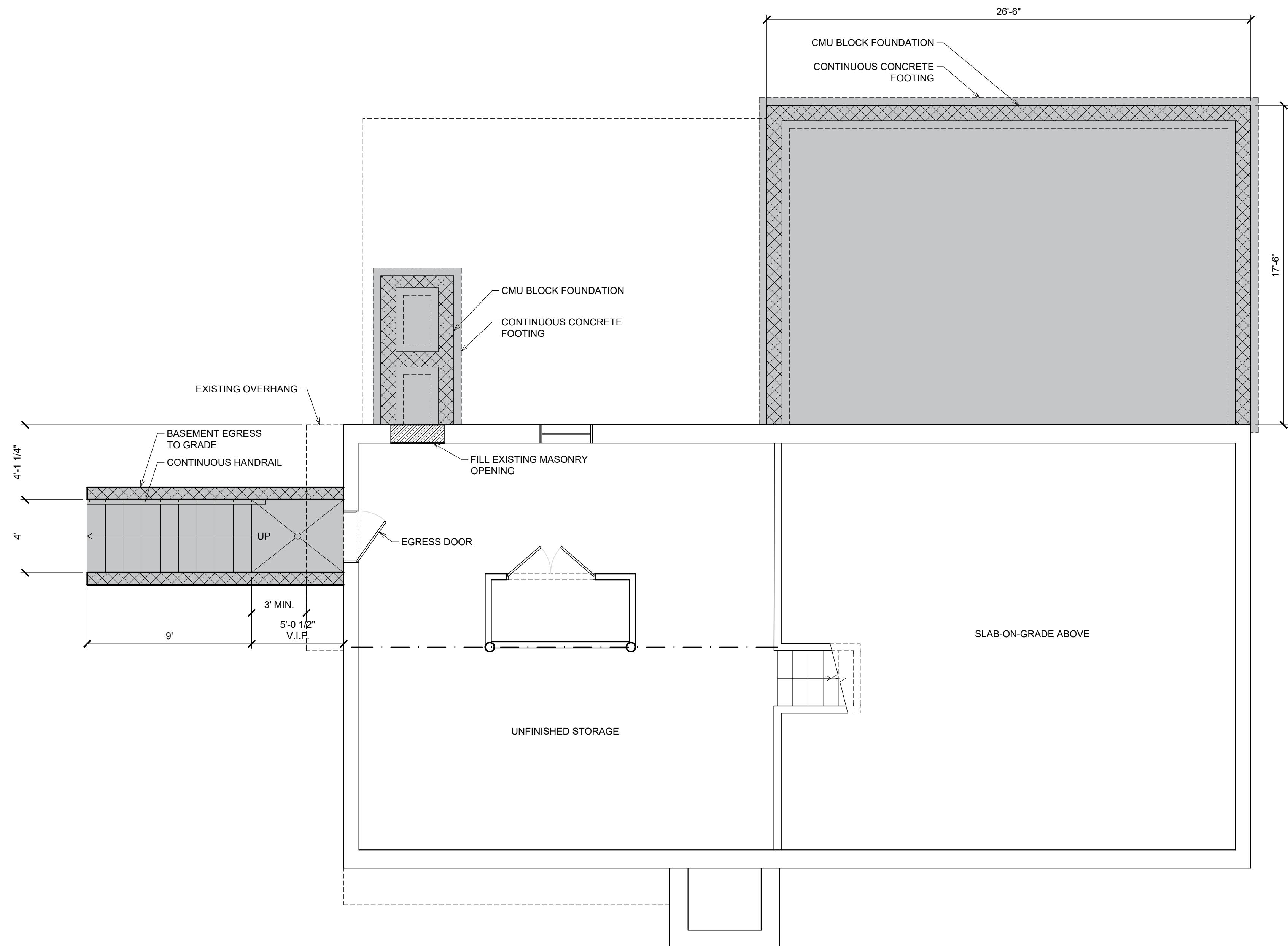
51 ZEPHYR ROAD  
TRUMBULL, CT 06611

for Mr. Joseph & Mrs. Kyle Mastroluca

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# PROPOSED BASEMENT FLOOR PLAN

drawing number:



MASTROLUCA RESIDENCE  
51 ZEPHYR ROAD  
TRUMBULL, CT 06611

3125 FINN ROAD  
TRUMBULL, CT 06611

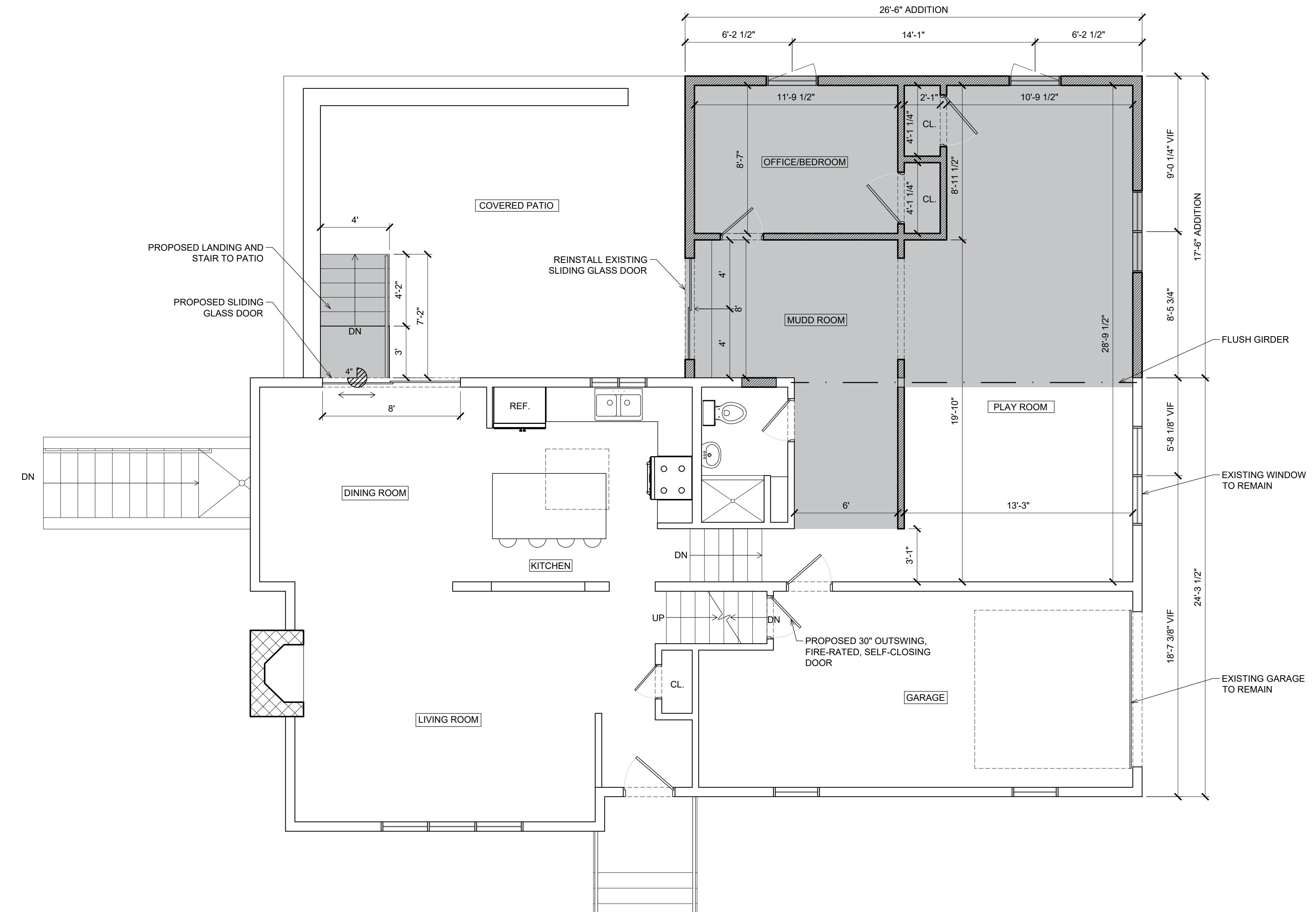
for Mr. Joseph & Mrs. Kyle Mastroluca

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rawing title:

# PROPOSED LOWER LEVEL & FIRST FLOOR PLAN

rawing number:



# MASTROLUCA RESIDENCE

51 ZEPHYR ROAD  
TRUMBULL, CT 06611

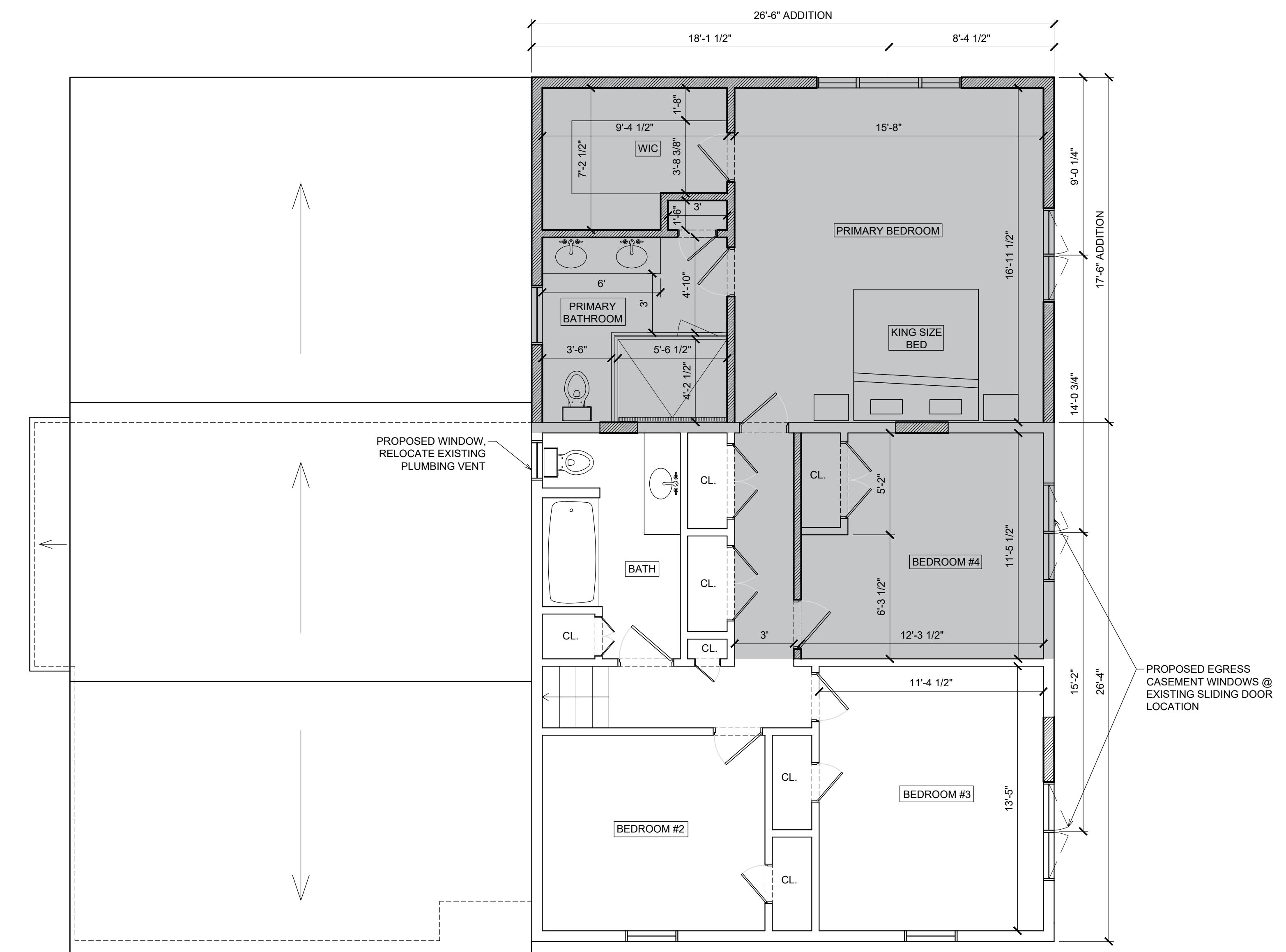
for Mr. Joseph & Mrs. Kyle Mastroluca

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drawing title:

# PROPOSED SECOND FLOOR PLAN

rawing number:



# MASTROLUCA RESIDENCE

51 ZEPHYR ROAD  
TRUMBULL, CT 06611

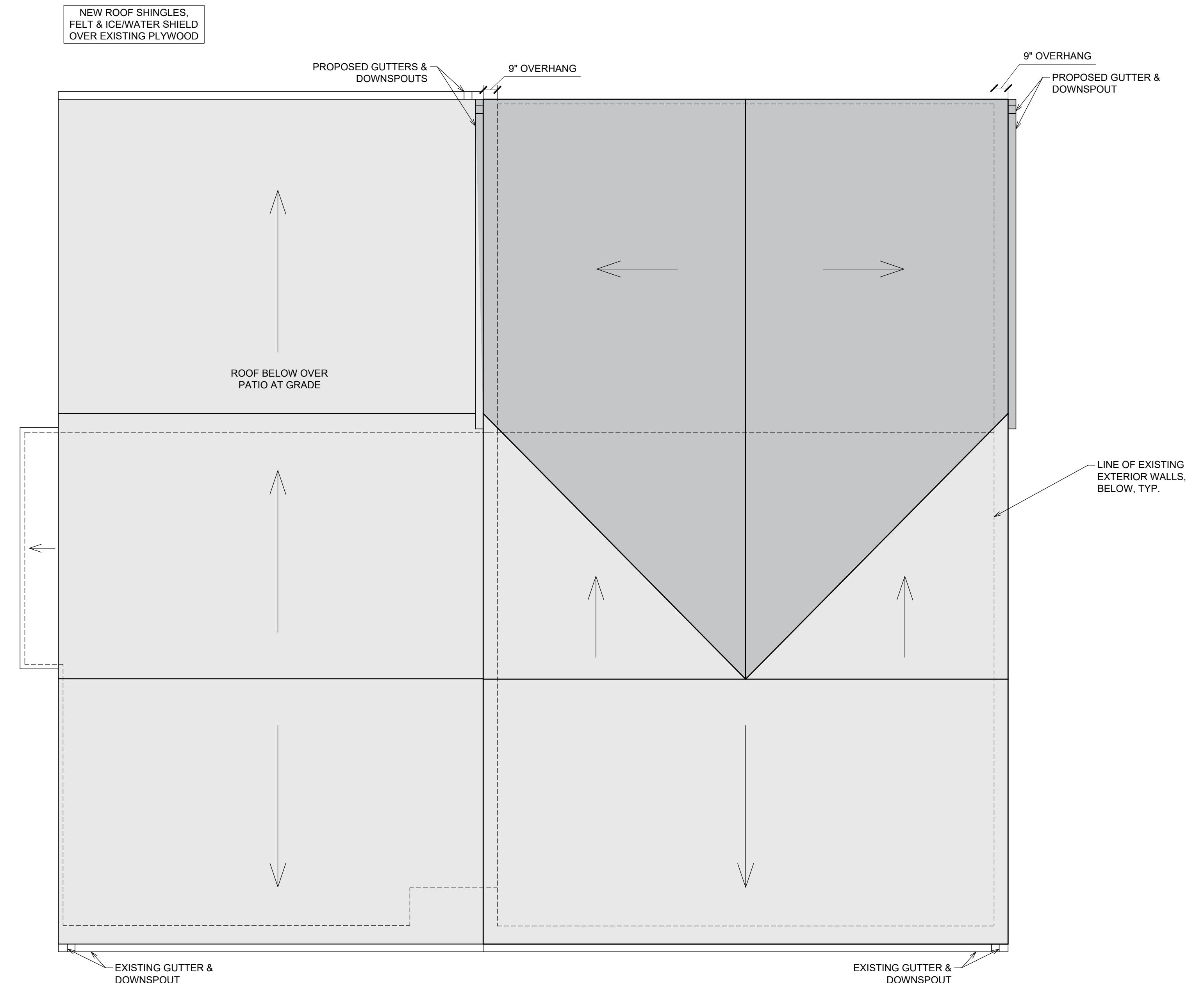
for Mr. Joseph & Mrs. Kyle Mastroluca

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Y KIND, NOR DISTRIBUTED IN ANY WAY  
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IGNATURE HAVE BEEN AFFIXED  
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A circular seal for a licensed architect in Connecticut. The outer ring contains the text 'STATE OF CONNECTICUT' at the top and 'LICENCED ARCHITECT' at the bottom. The center features a shield with a building, a plow, and a sheaf of wheat, surrounded by the text 'KIMBERLY T MARTELLI' and 'NO. 0013180'. A large green 'X' is drawn across the center of the seal, and the number '0013180' is written vertically next to it.

# PROPOSED ROOF PLAN

rawing number:



**MASTROLUCA RESIDENCE**  
51 ZEPHYR ROAD  
TRUMBULL, CT 06611  
for Mr. Joseph & Mrs. Kyle Mastroluca



1 | PROPOSED SOUTHWEST (FRONT) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

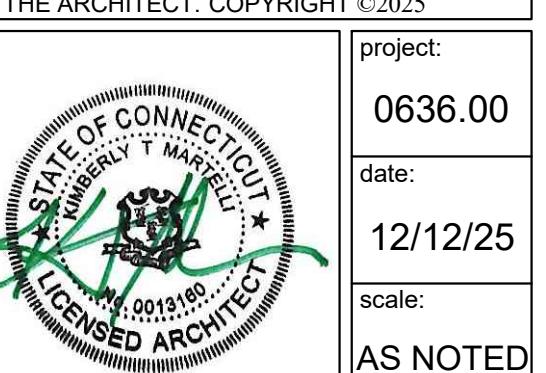


2 | PROPOSED SOUTHEAST (SECOND FRONT) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

REVISION/SUBMISSION NOTES		
1   ZBA FILING	12/12/25	

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project: 0636.00  
date: 12/12/25  
scale: AS NOTED

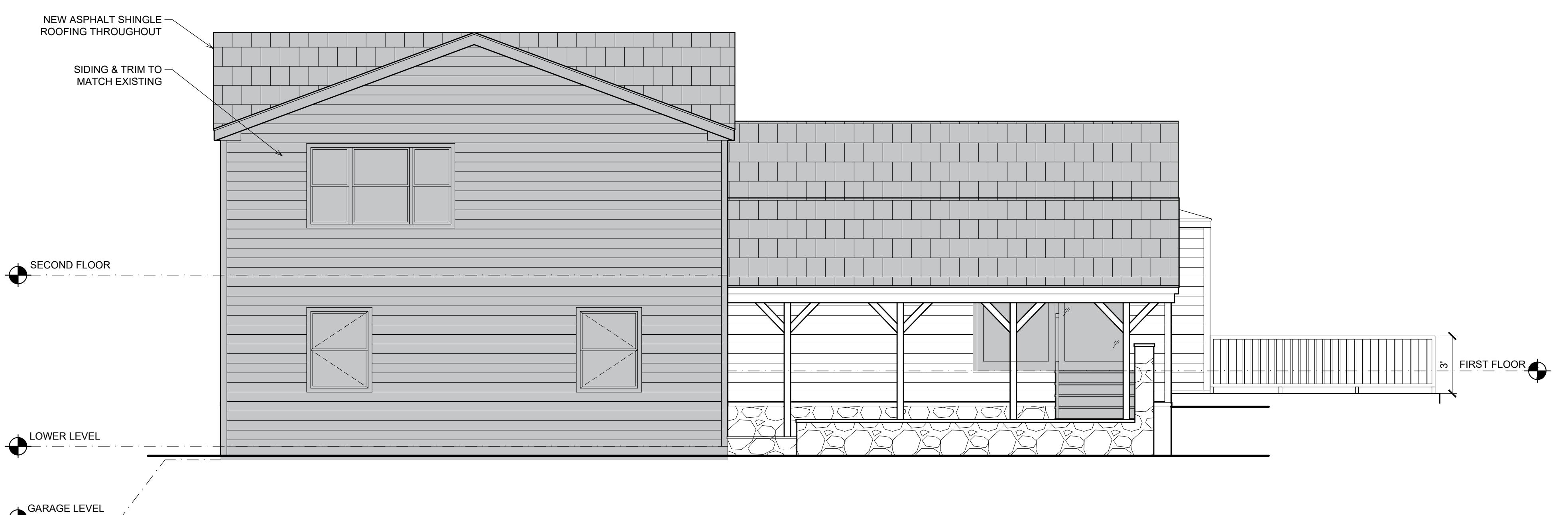
drawing title: PROPOSED EXTERIOR ELEVATIONS

drawing number: A-5

# MASTROLUCA RESIDENCE

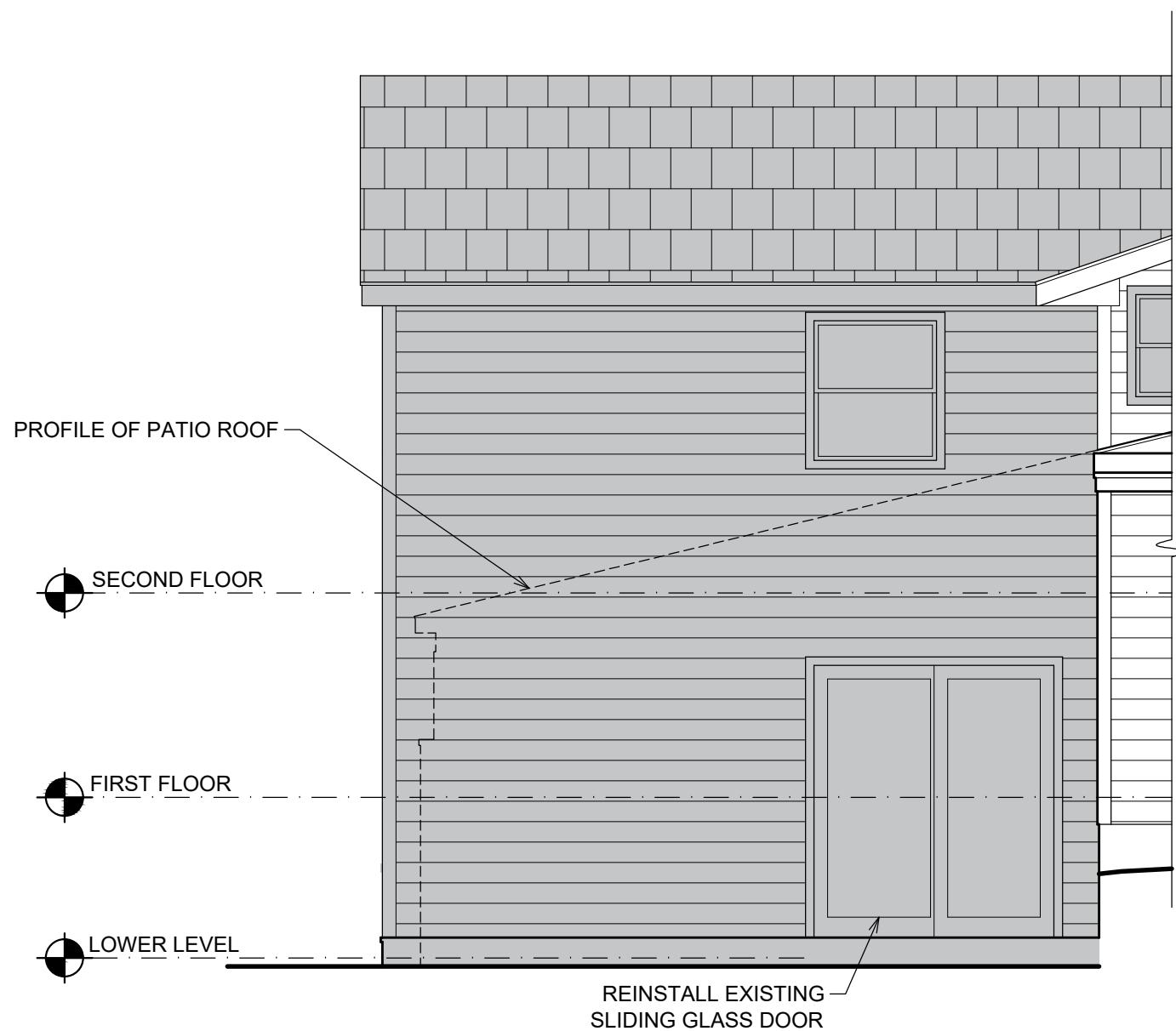
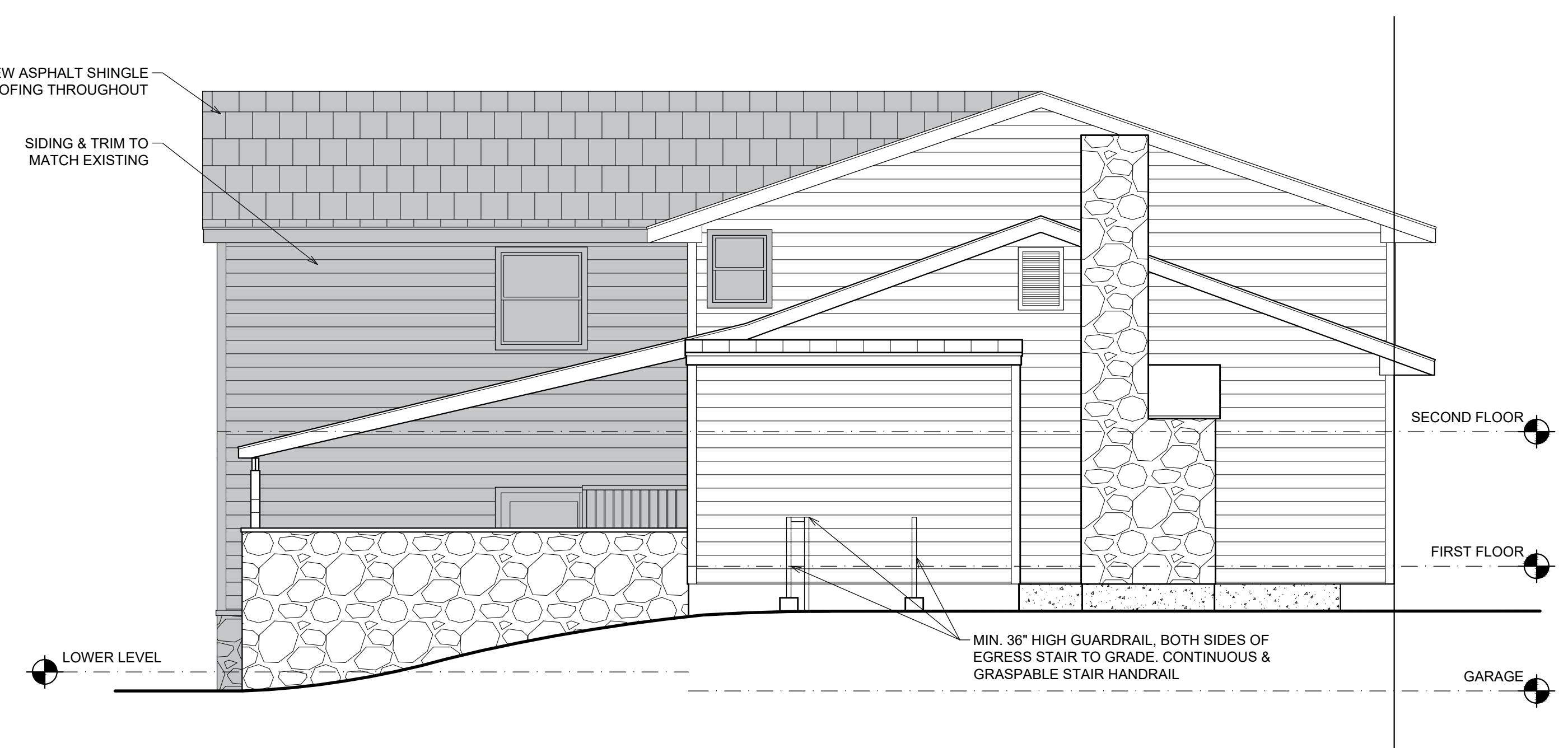
51 ZEPHYR ROAD  
TRUMBULL, CT 06611

for Mr. Joseph & Mrs. Kyle Mastroluca



## 1 | PROPOSED NORTHEAST (REAR) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



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An oval-shaped stamp with a decorative border. The top half of the border contains the text "STATE OF CONNECTICUT" and the bottom half contains "LICENSED ARCHITECT". In the center, it features a crest with a shield, a sword, and a laurel wreath, surrounded by the text "KIMBERLY T. MARTELLI". Below the crest is the number "No. 0013180". The bottom right corner of the stamp contains the text "AS NOTED".

# PROPOSED EXTERIOR ELEVATIONS

drawing number:

### RESIDENCE A ZONING CHART

REGULATION	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	0.5 ACRE (21,780 S.F.)	0.5019 AC (21,863 S.F.)	0.5019 AC (21,863 S.F.)
MIN. ROAD FRONTAGE	125 FEET	281.54'	281.54'
MAX. BUILDING HEIGHT	40'	21.5±	21.5±
MIN. FRNT YARD ZEPHYR	50 FEET	51.2 FEET	51.2 FEET
MIN. FRNT YARD MAGNOLIA	50 FT/40 FT 100 FT BACK	32.1 FEET	32.5 FEET NEW ADDITION
MIN SIDE YARD	20 FEET	43.0 FEET	43.0 FEET
MIN REAR YARD	50 FEET	97 FEET±	78 FEET NEW ADDITION
MIN. FLOOR AREA	FIRST FLOOR 1 STORY = 1,200 S.F. 1.5 STORY = 900 S.F. 2 STORY = 900 S.F. SECOND FLOOR 1.5 STORY = 500 S.F. 2 STORY = 800 S.F.	FIRST FLOOR LIVING AREA= 989 S.F.	FIRST FLOOR LIVING AREA= 1452 S.F.
MAXIMUM FLOOR AREA RATIO	.29 PRINCIPAL BUILDING .1 ACCESSORY BUILDING	.07 PRINCIPAL BUILDING .007 ACCESSORY BUILDING	.12 PRINCIPAL BUILDING .007 ACCESSORY BUILDINGS
BUILDING COVERAGE	25% MAXIMUM	6.8%	9.0%

N/F  
ASHLEY R. & COLLEEN P.  
SCHEXNAIDRE  
68 MAGNOLIA ROAD

N/F  
DANIELE & CHRISTINA  
NICOLIA  
72 MAGNOLIA ROAD

N68°44'50"E 128.00'

N/F  
PATRICIA A. PLUNKETT  
45 ZEPHYR ROAD

STREET LINE

UI #3242

ZEPHYR ROAD

#### MAP REFERENCE:

"Highlawn Park", Subdivision in Trumbull, Conn., scale:  
1"= 100' dated Mar. 21, 1964 by Frank C. Penney,  
Trumbull Town Clerk Map No. 1232.

#### NOTES:

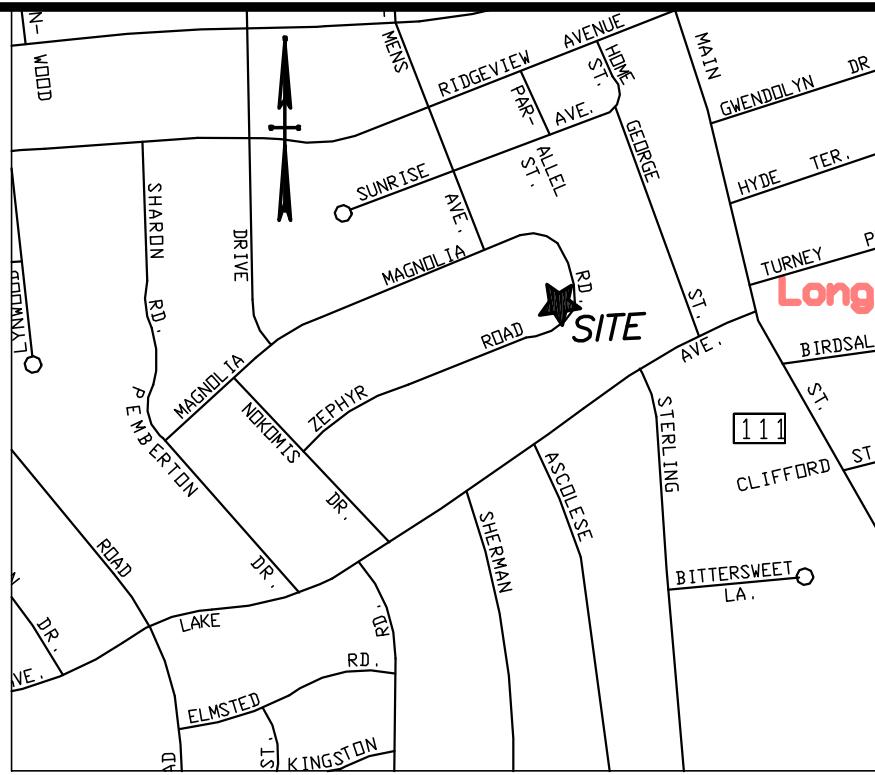
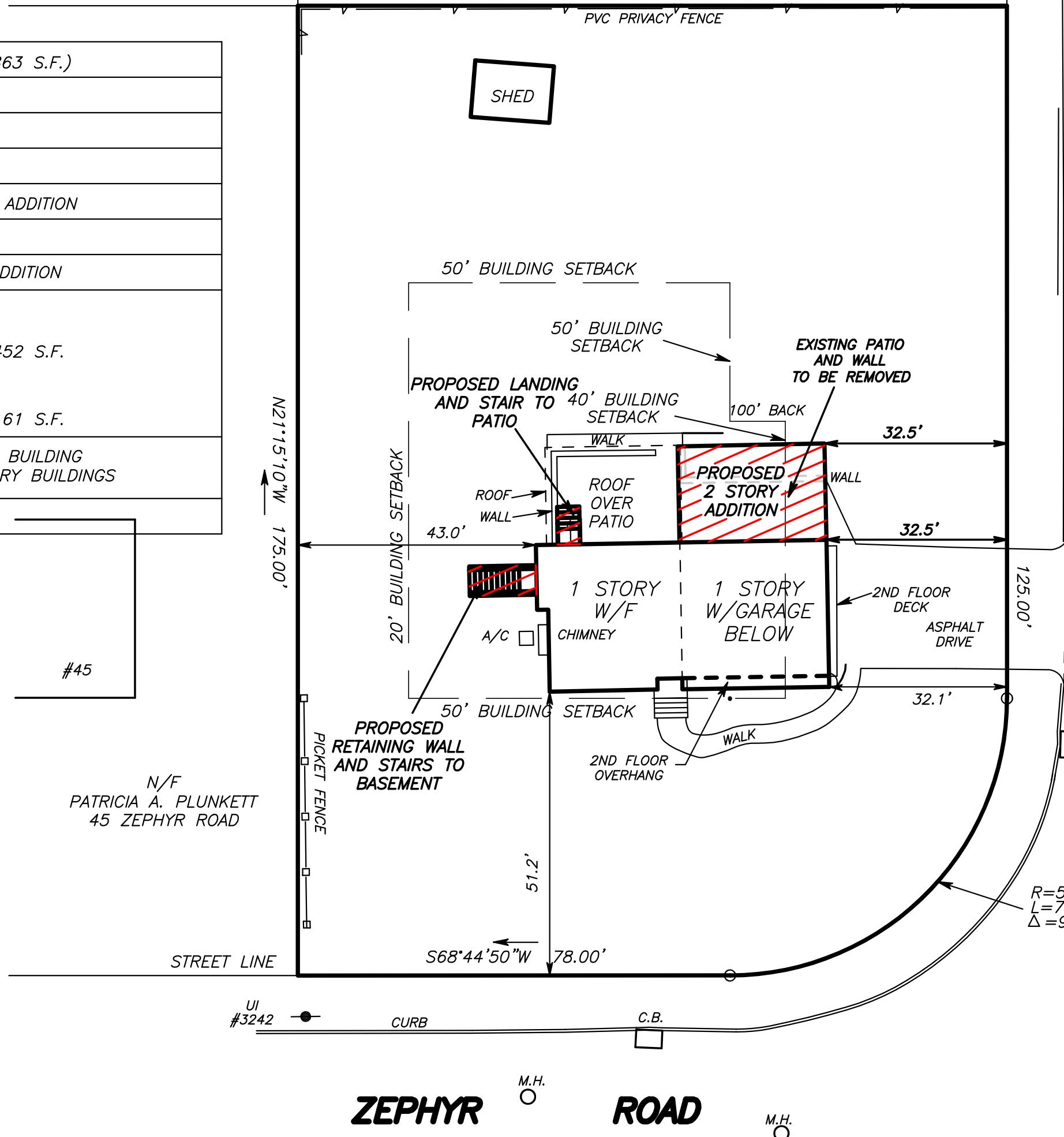
- This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in The State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. The Boundary Determination is Dependent Resurvey conforming to Horizontal Accuracy Class A-2. The Survey Type is Zoning Location Survey.
- Municipal Zone Designation is Residence A.

To my knowledge and belief,  
this map is substantially correct as noted hereon.

TRACY H. LEWIS L.L.S.

CT. LIC. NO. 15160

This map is not valid unless it has a live  
signature and embossed seal of Tracy H. Lewis.



VICINITY MAP  
SCALE: 1" = 800'

MAGNOLIA ROAD

ZONING LOCATION SURVEY  
LOT 50  
"HIGHLAWN PARK"

PROPERTY LOCATED AT  
51 ZEPHYR ROAD  
AND

MAGNOLIA ROAD  
TRUMBULL, CONNECTICUT

PREPARED FOR  
JOSEPH R. MASTROLUCA

SCALE: 1" = 20' DATE: 5-6-2024  
REVISED 12-5-2025

20 0 20 40  
SCALE IN FEET

LEWIS ASSOCIATES  
LAND SURVEYING AND CIVIL ENGINEERING  
260 MAIN STREET, MONROE, CONNECTICUT  
PHONE: 203-261-8648

Date Received: 12/17/25

Application #: 26-03

## ZONING BOARD OF APPEALS

### APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- a. Variance of the Trumbull Zoning Regulations
- b. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_
- c. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

2. Location of Subject Premises:

House and Street: 52 Ascolese Rd

Assessor's Map No. E-06 Parcel No. 380 Lot No. 6

Trumbull Land Records: Volume(s) 1657 Page(s) 422

Zoning District: A

3. Name of Applicant: Claude Duzani

Street Address: 48 Exon tess

City: Shereton ST: CT Zip: 06484

Phone: Day 203 583 5505 Evening Same

SIGNATURE OF APPLICANT Claude Duzani  
(If agent, state capacity)

4. Owner of Record: Christopher DeCruse + Emily Rose

Street Address: 52 Ascolese Road

City: Trumbull ST: CT Zip: 06611

SIGNATURE OF OWNER OF RECORD Chris DeCruse

Please complete the following sections which correspond to your answer in question #1 above:

## A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

### 1. This application relates to:

Setbacks (front, side, rear)  
 Floor Area  
 Lot Area  
 Lot Coverage  
 Damage Reconstruction  
 Parking  
 Extension of enlargement of a non-conforming use or building  
 Other (explain) \_\_\_\_\_

---

### 2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) \_\_\_\_\_ PARAGRAPH(S) \_\_\_\_\_  
SUBPARAGRAPH(S) \_\_\_\_\_

### 3. Has any previous application been submitted for this property? If so, please give the date of hearing and action taken by the Board:

\_\_\_\_\_ NONE \_\_\_\_\_

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

### 4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHEN APPLICABLE:

Requesting a set back line of 20 FT from the rear set back line. Instead of the 50FT that is required.

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### 5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

The reason for the variance is because of how the workshop will take up the main part of the rear yard, where the family spends most of their time together.

Property Location 52 ASCOLESE ROAD  
Vision ID 444

Account # 00499700

Map ID E/06 / 00380/ 000/  
Bldg # 1

Parcel Name  
Sec # 1 of 1  
Card # 1 of 1

State Use 101  
Print Date 12/17/2025 1:33:17 P

CURRENT OWNER			TOPO		UTILITIES		STRT/ROAD		LOCATION		CURRENT ASSESSMENT						6144 - TRUMBULL, CT																																																																																																															
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TRUMBULL CT 06611											DWELLING		1-3		248,900		174,230																																																																																																															
<b>SUPPLEMENTAL DATA</b>											<table border="1"> <tr> <td>Alt Prcl ID 00499700</td> <td colspan="2">Dev Lot: LOT 13B</td> </tr> <tr> <td>Census Tr 0902</td> <td colspan="2">Survey Ma</td> </tr> <tr> <td>Fire Dist: L:</td> <td colspan="2">Survey Ma</td> </tr> <tr> <td>Border Pro</td> <td colspan="2">Section #: B1</td> </tr> <tr> <td>Voting Dist</td> <td colspan="2">CB Letter:</td> </tr> <tr> <td>GIS ID 00499700</td> <td colspan="2">Assoc Pid#</td> </tr> <tr> <td colspan="4"></td> <td colspan="2">Total</td> <td colspan="2">452,200</td> <td colspan="2">316,540</td> </tr> </table>										Alt Prcl ID 00499700	Dev Lot: LOT 13B		Census Tr 0902	Survey Ma		Fire Dist: L:	Survey Ma		Border Pro	Section #: B1		Voting Dist	CB Letter:		GIS ID 00499700	Assoc Pid#						Total		452,200		316,540																																																																																	
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CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)			
Element	Cd	Description	Element	Cd	Description	
Style:	03	Colonial				
Model	01	Residential				
Grade:	12	B-2				
Stories:	1.75	1 3/4 Stories				
Occupancy	1		CONDO DATA			
Exterior Wall 1	14	Wood Shingle	Parcel Id		C	Owne
Exterior Wall 2					B	S
Roof Structure:	07	Gambrel	Adjust Type	Code	Description	Factor%
Roof Cover	03	Asph/F Gls	Condo Flr			
Interior Wall 1	05	Drywall	Condo Unit			
Interior Wall 2			COST / MARKET VALUATION			
Floor Covering	12	Hardwood	Building Value New		289,458	
Alt. Floor Cover			Year Built		1982	
Heat Fuel	02	Oil	Effective Year Built		1996	
Heat Type:	05	Hot Water	Depreciation Code		A	
AC Type:	03	Central	Remodel Rating		K	
Total Bedrooms	03	3 Bedrooms	Year Remodeled		2004	
Total Bthrms:	3	3 Full Baths	Depreciation %		25	
Total Half Baths	2	2 Half Baths	Functional Obsol			
Total Xtra Fixtrs	2		External Obsol			
Total Rooms:	7	7 Rooms	Trend Factor		1	
Bath Style:	03	Modern	Condition			
Kitchen Style:	03	Modern	Condition %			
Total Kitchens	1		Percent Good		75	
Total Elec Meter	1		RCNL		217,100	
			Dep % Ovr			
			Dep Ovr Comment			
			Misc Imp Ovr			
			Misc Imp Ovr Comment			
			Cost to Cure Ovr			
			Cost to Cure Ovr Comment			

WOK

WOK  
F12

00

34

46

WOK

F12

11

25

12

11

26

26

FCS  
BAS  
IRM

46

A black and white photograph of a two-story house with a garage and a smaller structure. The house is made of horizontal siding and has a gabled roof with a central dormer. A two-car garage is attached to the right side of the house. To the left, there is a smaller, single-story structure with a gabled roof and a set of stairs leading up to its entrance. The property is surrounded by trees and shrubs, and power lines are visible against the sky.

E06-380 05/04/2015

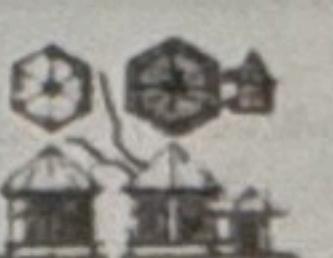
PROJECT •52•

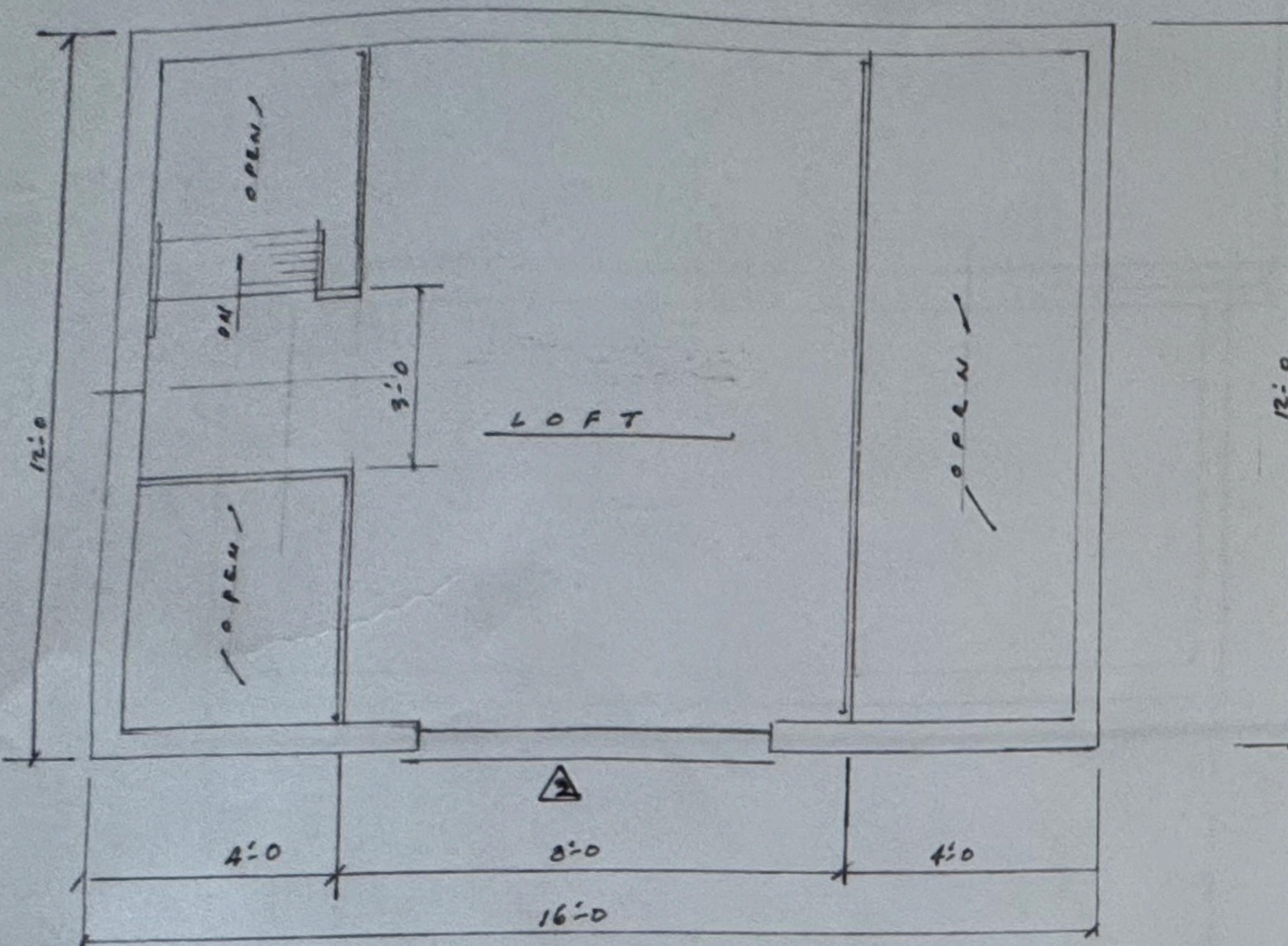
STUDIO  
52 ASCOLESE ROAD  
TRUMBULL, CONNECTICUT



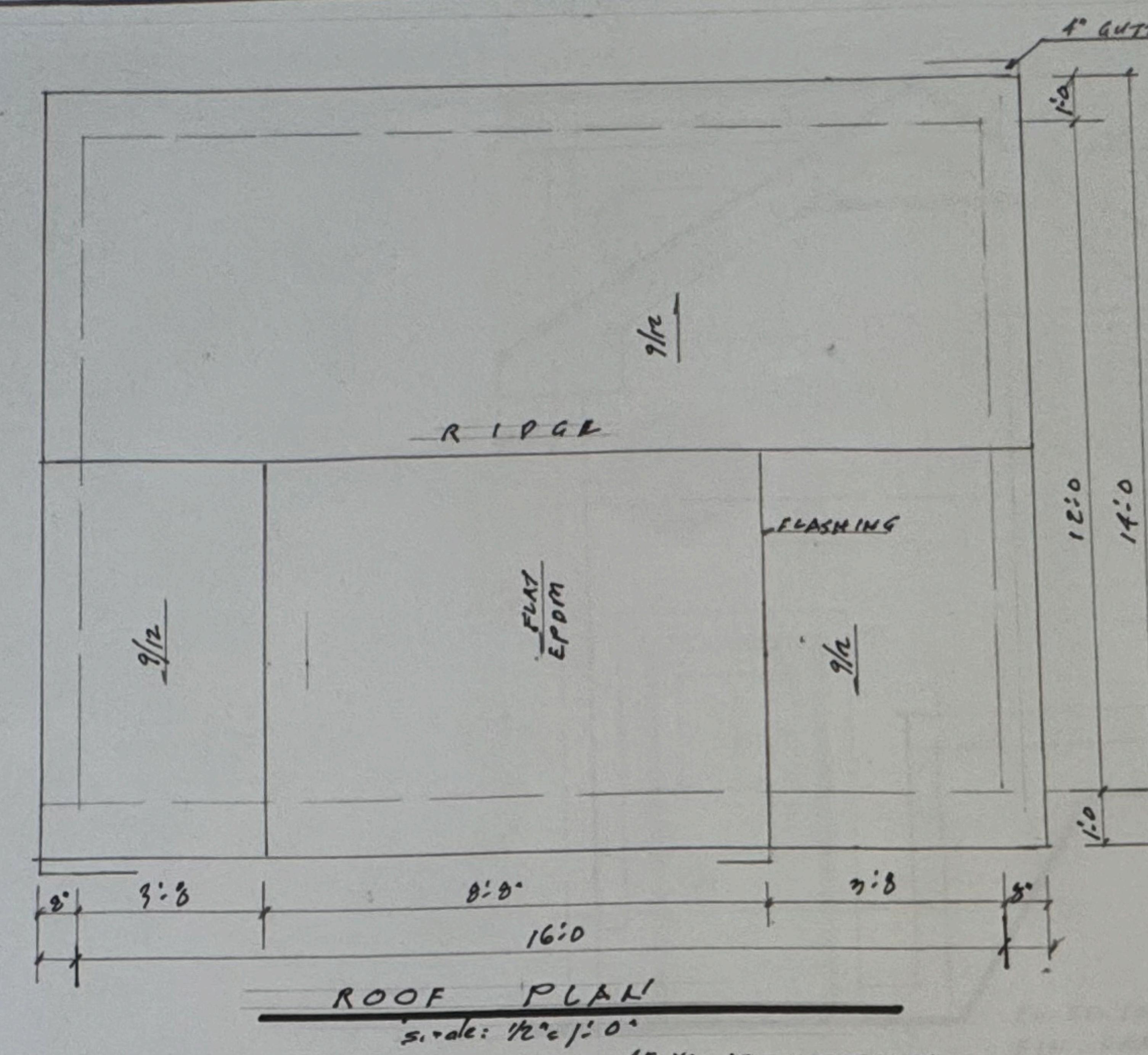
Robert Mangino  
*Architect*

P.O. Box 257  
131 Talbot Road  
Guilford, Connecticut 06437  
Tel: 203.453.8358  
Fax: 203.993.5217  
Cell: 203.988.1068  
manginoberry@yahoo.com



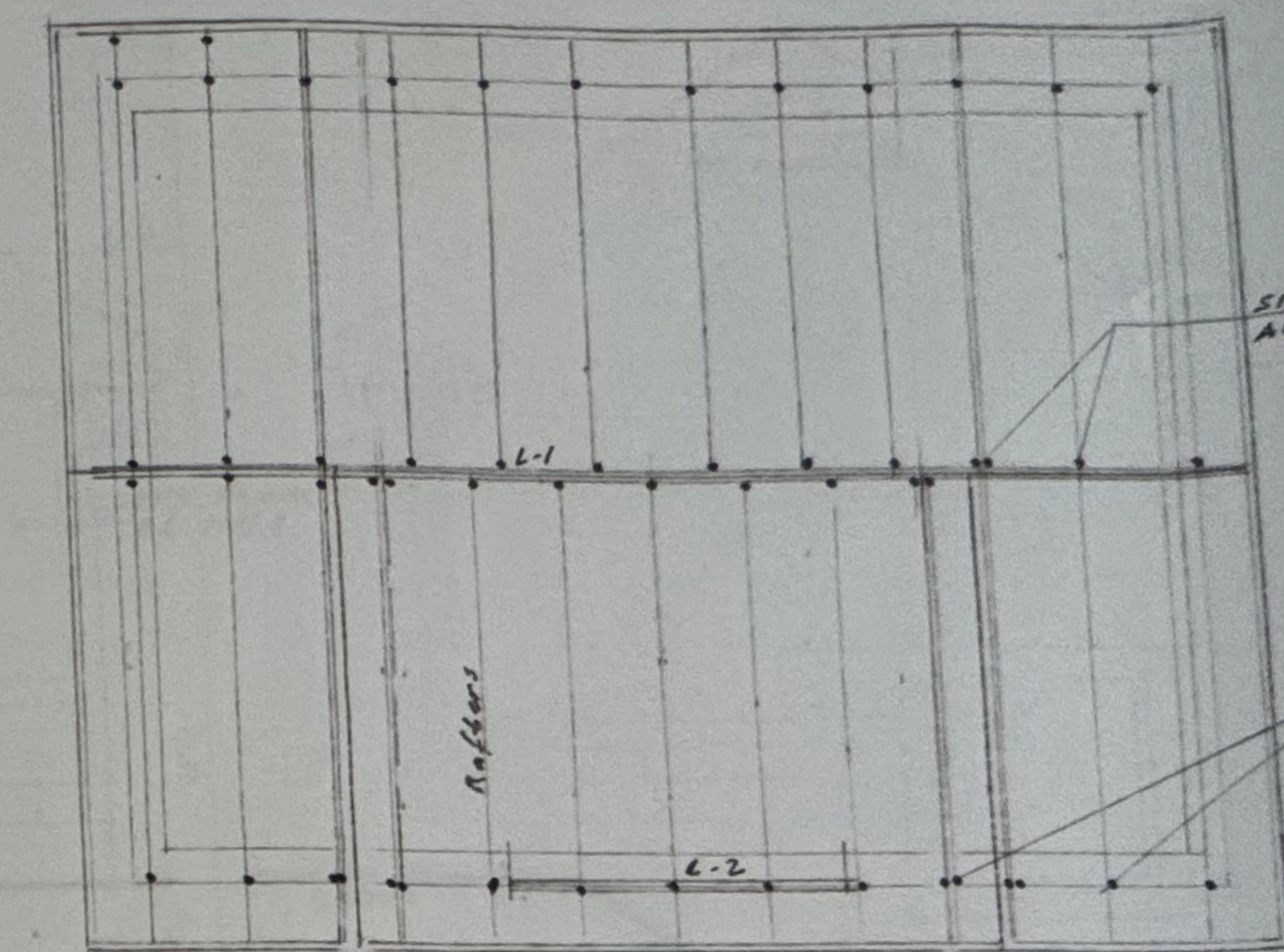


SECOND FLOOR PLAN  
scale 1/2"=1'0"



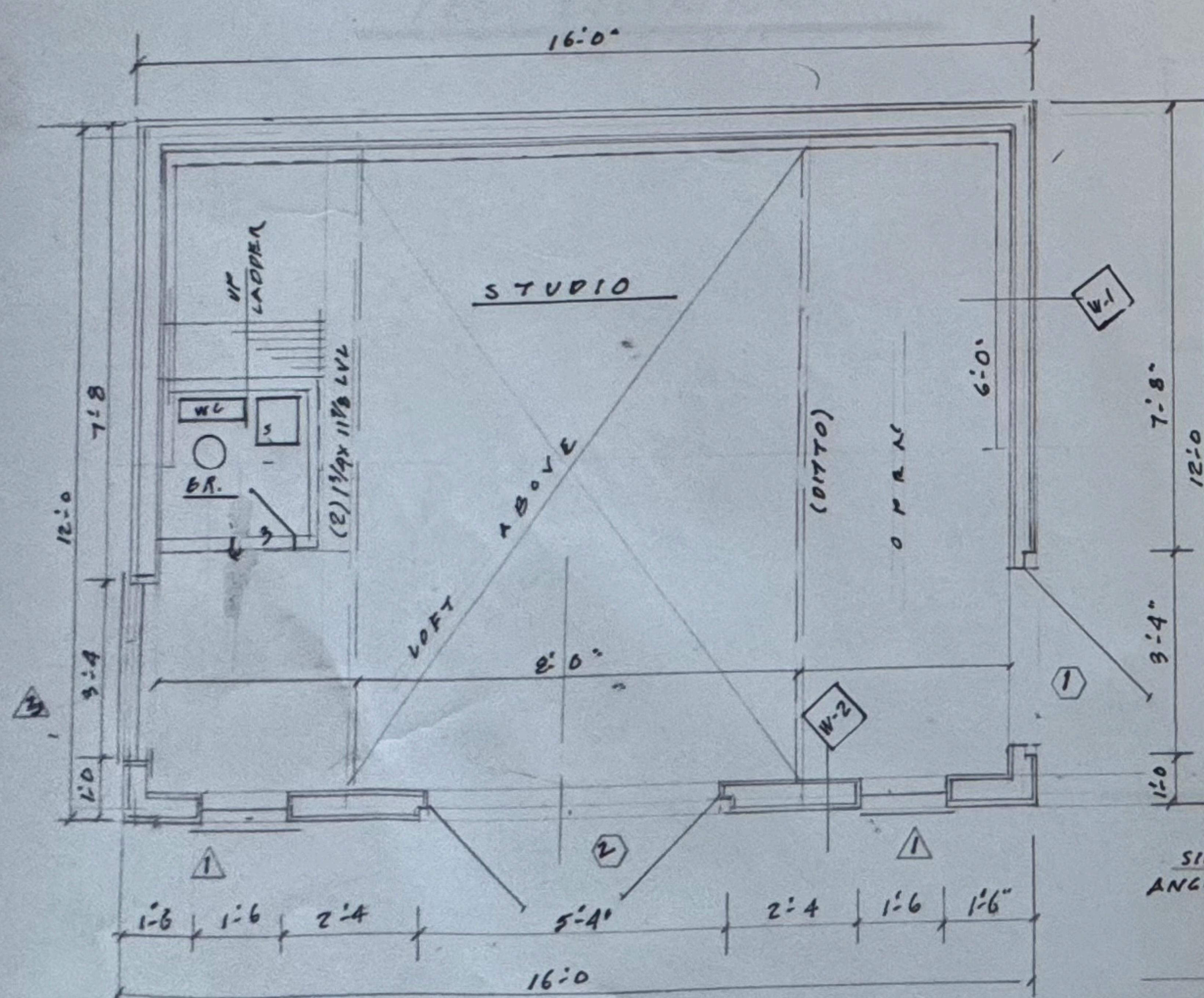
ROOF PLAN

scale: 1/2"=1'0"  
45 YR. ARCHITECTURAL  
ROOF SHINGLES

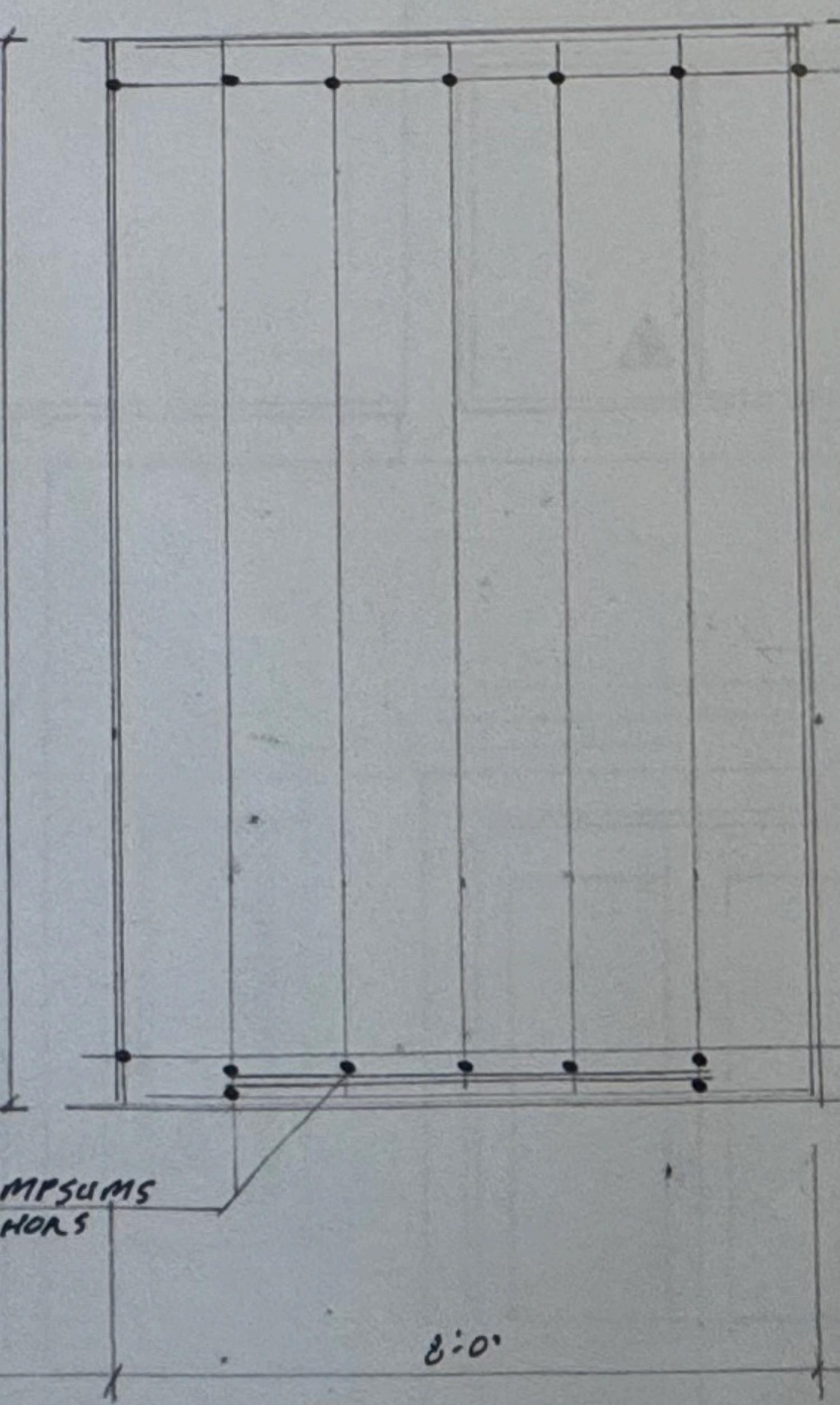


ROOF FRAMING PLAN

scale 1/2"=1'0"  
L-1 (2) 14" x 14" LVL  
Rafters - 2x10 @ 16" o.c.  
5/8" PLYWOOD DECK  
W.P. MEMBRANE

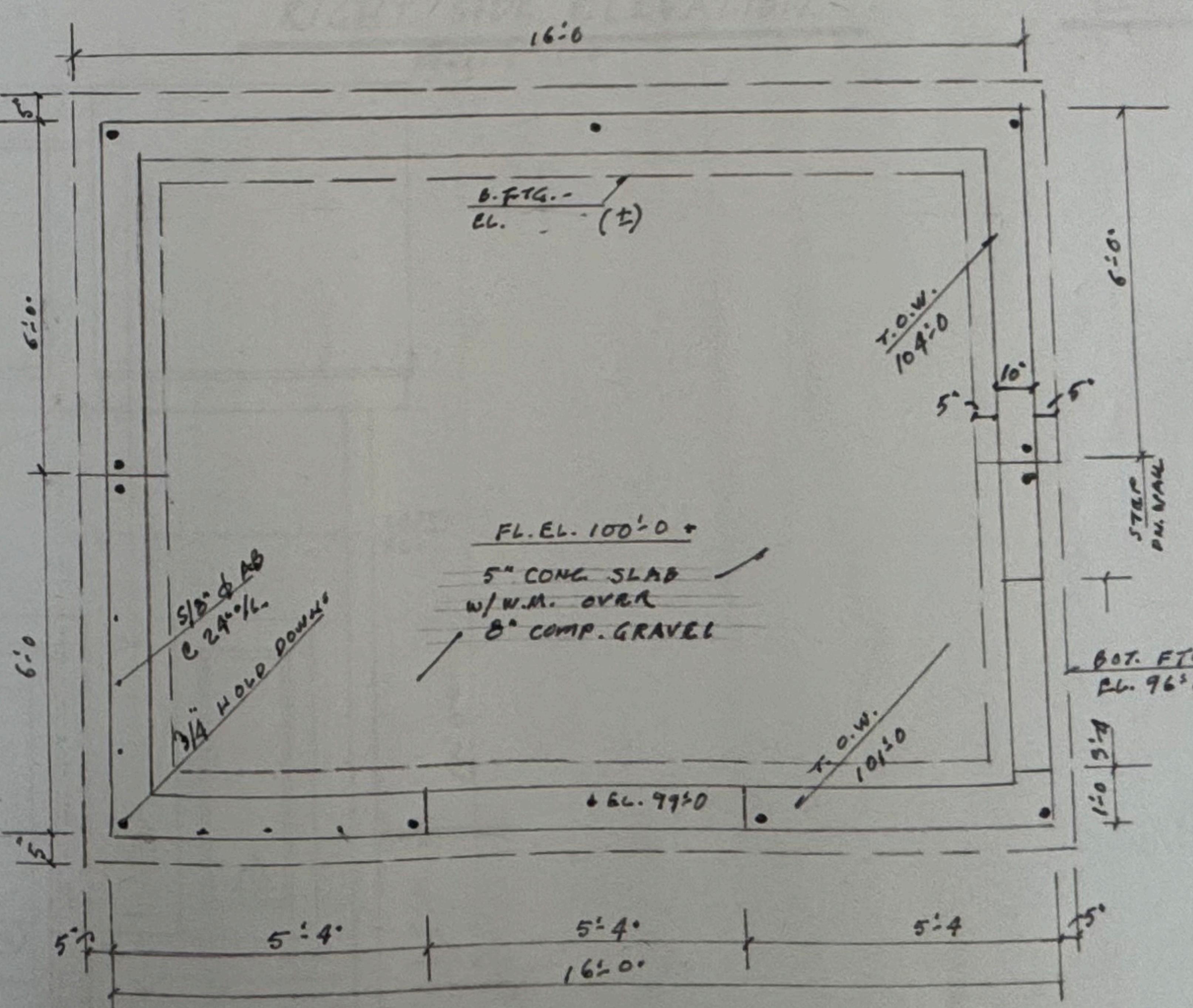


FIRST FLOOR PLAN  
scale 1/2"=1'0"



LOFT FRAMING PLAN

scale 1/2"=1'0"  
2x10 @ 16" o.c.  
5/8" PLYWOOD DECK

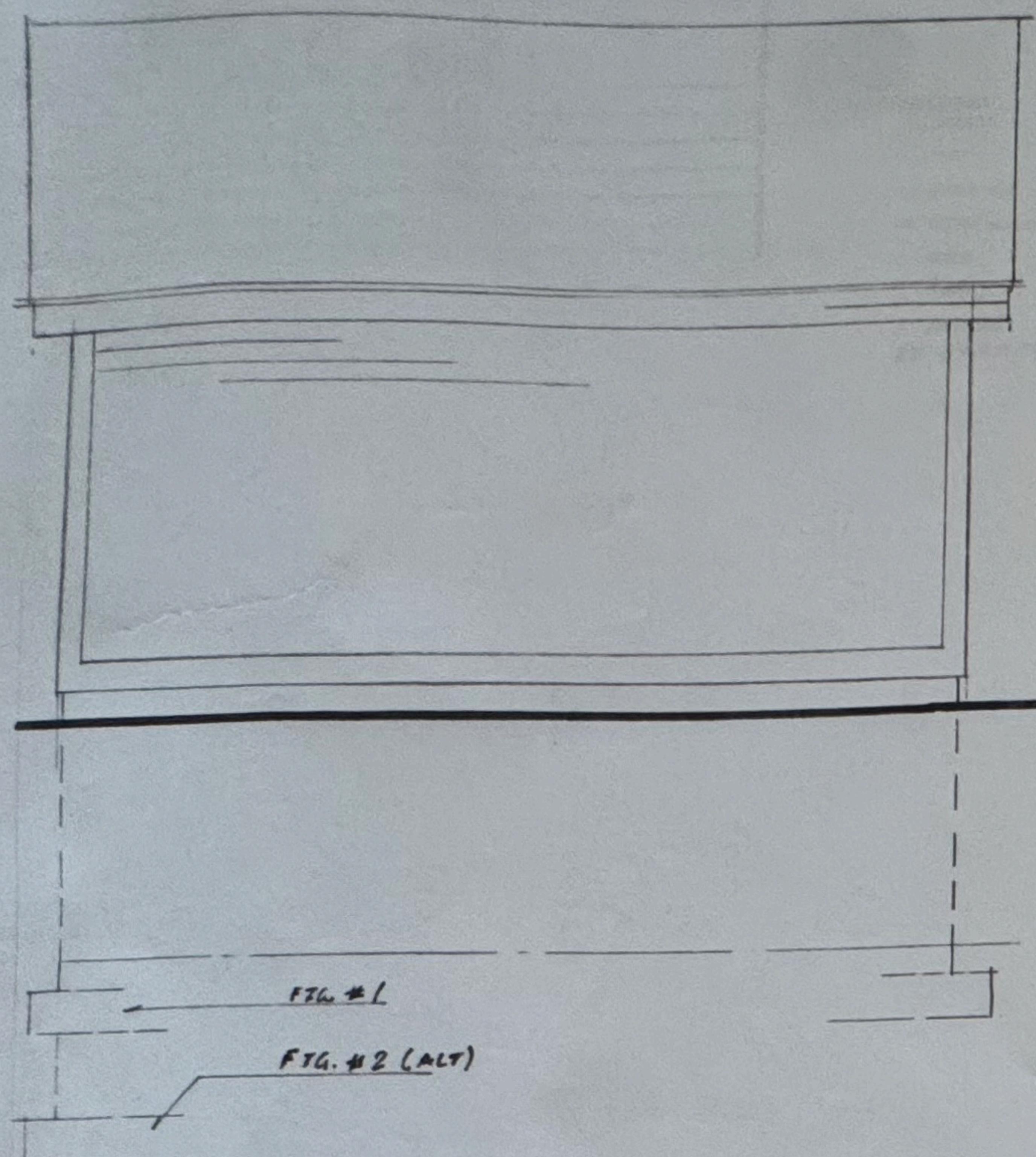


FOUNDATION PLAN

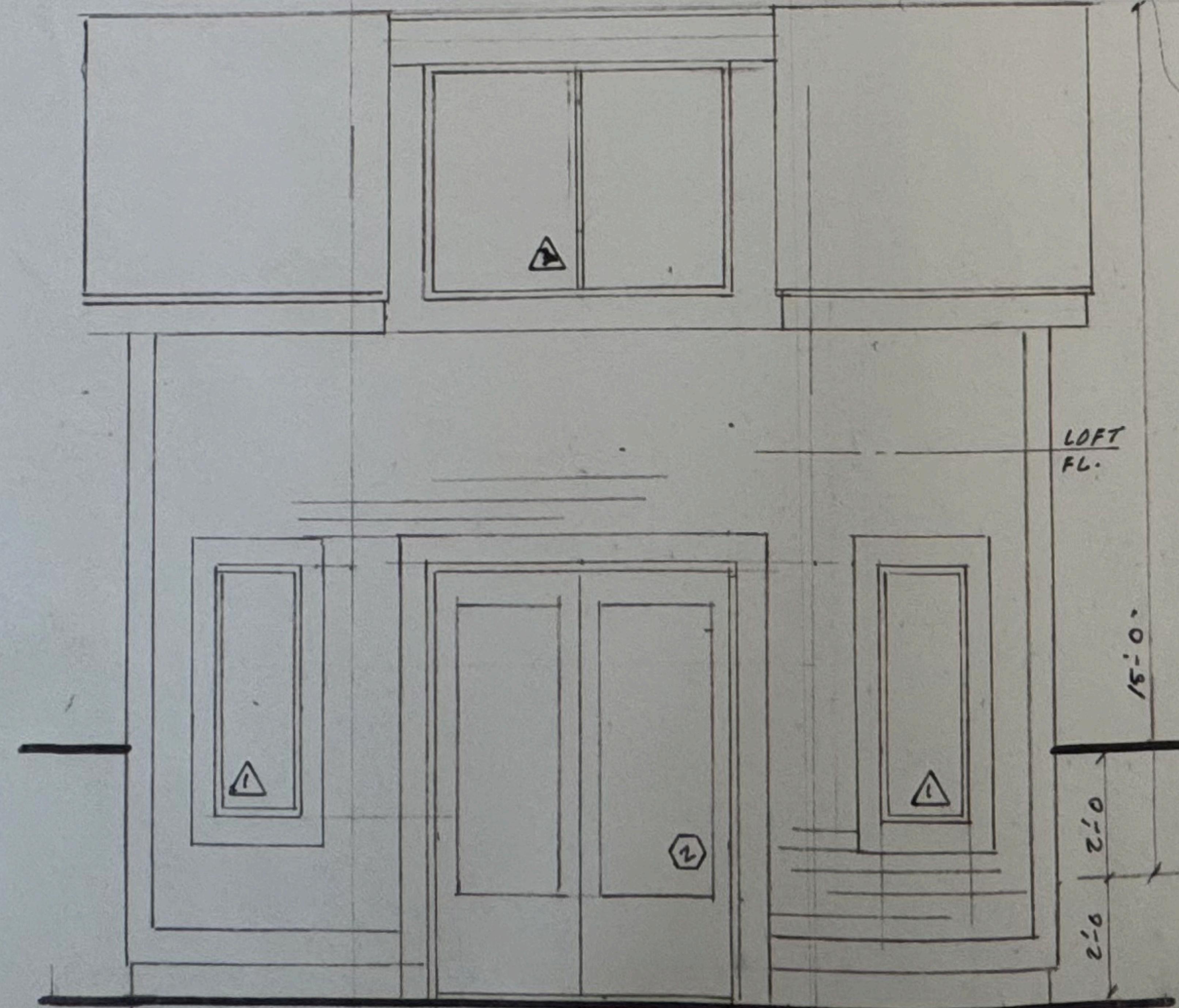
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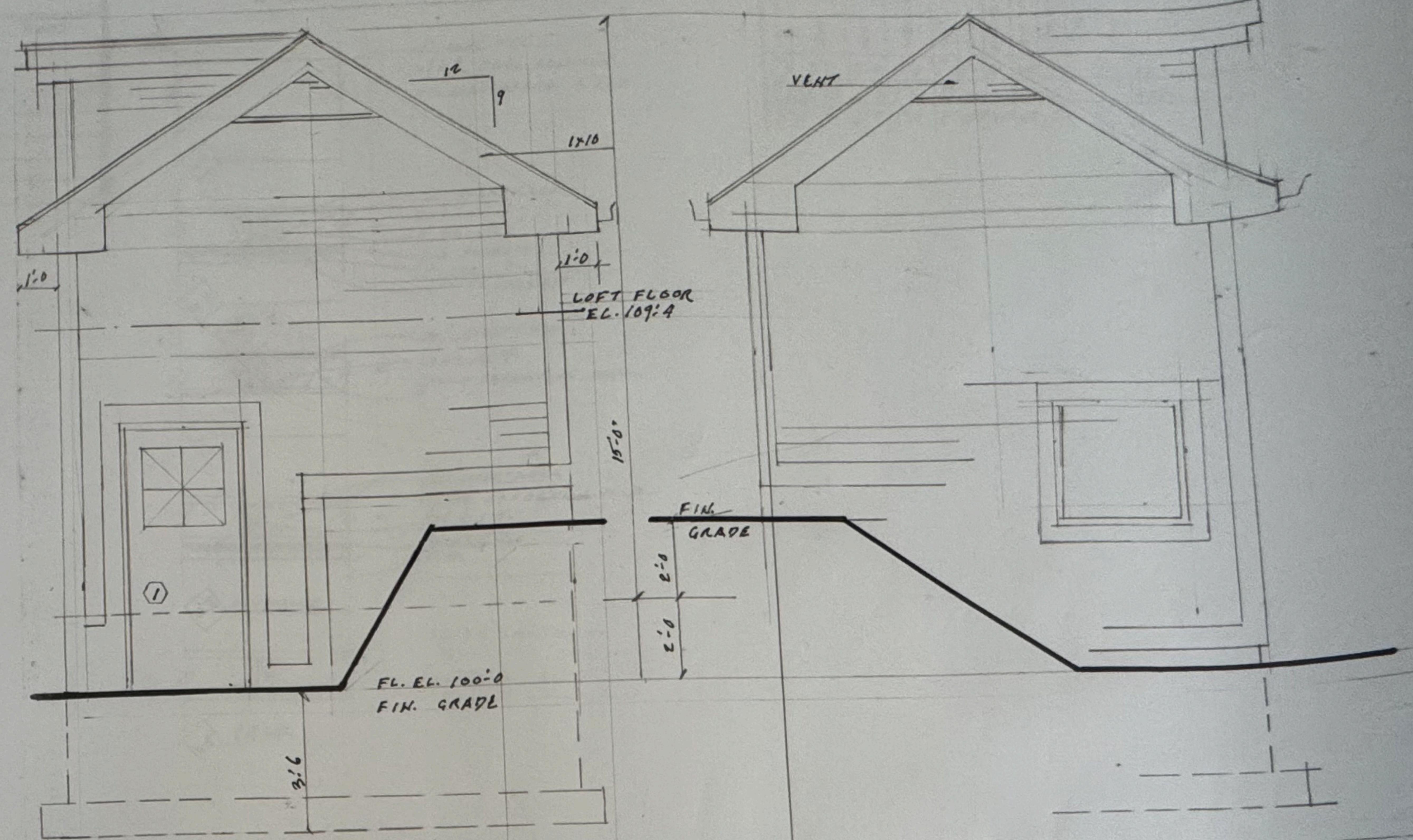
STUDIO  
32 ASCOLESE ROAD  
TRUMBULL, CONN.  
DATE: 1/6/05



REAR ELEVATION  
scale:  $1/2'' = 1'-0''$

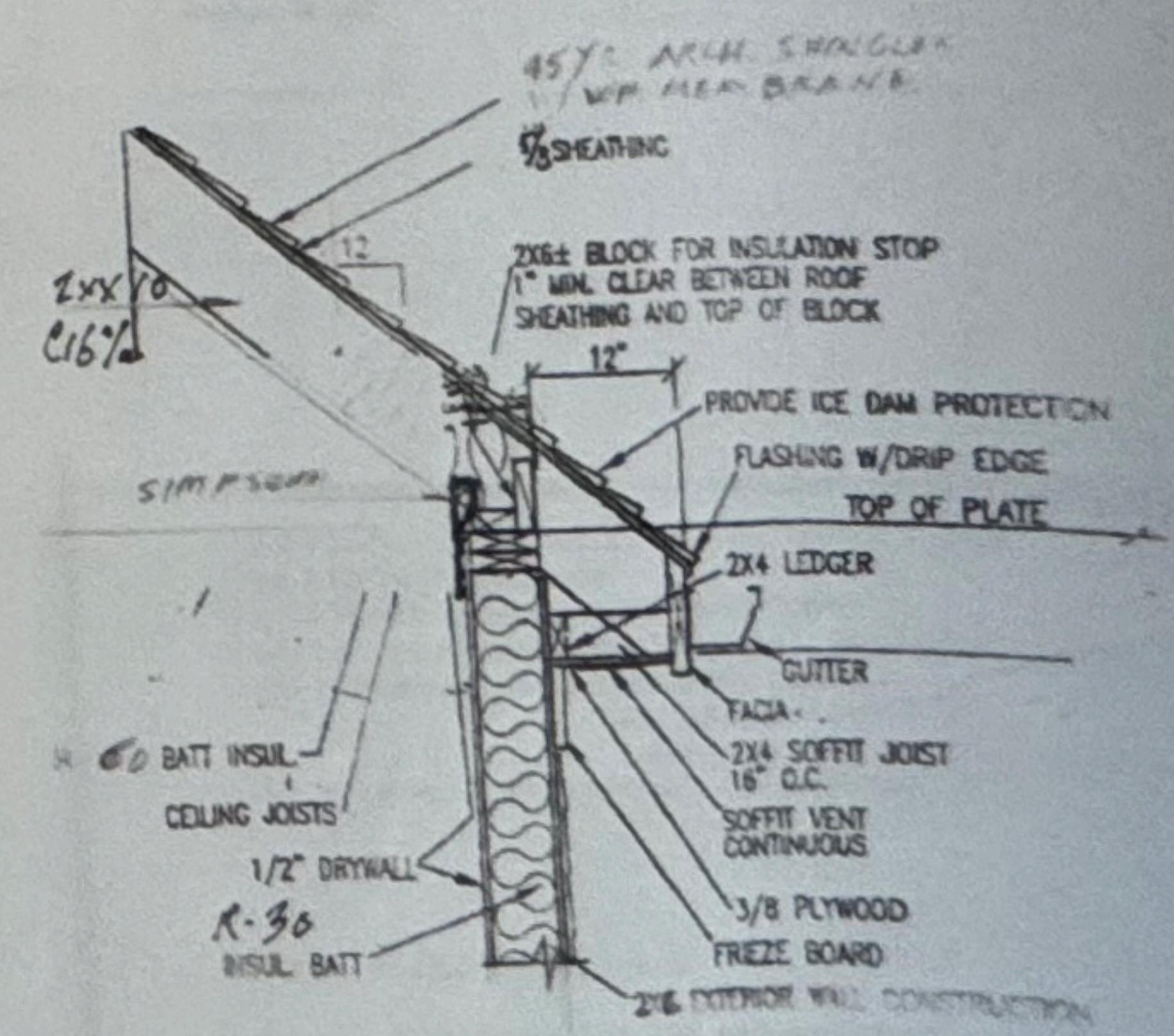


FRONT ELEVATION  
scale:  $1/2'' = 1'-0''$



RIGHT SIDE ELEVATION  
scale:  $1/2'' = 1'-0''$

LEFT SIDE ELEVATION  
scale:  $1/2'' = 1'-0''$



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STUDIO  
52 ASCOLESE ROAD  
TRUMBULL, CONN.  
DATE: 1/16/95

PROJECT • 52 •

la2

ROOM FINISH SCHEDULE									
ROOM	FLOORS		WALLS		CEILINGS		BASE		REMARKS
	PLASTER	CERAMIC TILE	INSULATED	SHETROCK	ACOUSTICAL	SHETROCK	WOOD	CERAMIC TILE	
STUDIO									
LOFT									
BS.									

ABBREVIATIONS  
 C CASMENT  
 F FIXED  
 D.H. DOUBLE HUNG  
 F.M. FACTORY MULLION  
 E EGRESS  
 T TEMPERED  
 A AWNING  
 EX EXISTING

NEW WINDOW SCHEDULE							
CLASS TYPE	WIDTH	HEIGHT	INSULATED	EXTERIOR FINISH	INTERIOR FINISH	JAMB TYPE	QUANTITY
A 11' 6	4'-0	✓	VC	WD	WD		
A 5' 0	4'-0	✓	VC	WD	WD		
A 3' 4	3'-8	✓	VC	WD	WD		

GENERAL NOTES  
 1. ALL FINISHES SHALL MEET ALL APPLICABLE CODES, BUILDING AND FIRE OFFICIALS APPROVAL. (SUBMIT SAMPLES AS REQ. FOR APPROVAL.)

2. ALL WORKMANSHIP SHALL BE OF THE HIGHEST PROFESSIONAL CALIBER.

3. ALL WORK SHALL MEET ALL APPLICABLE STATE, LOCAL, BUILDING, FIRE, HANDICAPPED CODES.

4. ALL WORK RELATIVE TO THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE DETECTION SYSTEM, SHALL MEET ALL APPLICABLE CODES. SUCH INFORMATION, DESIGN DETAILS ARE PART OF THIS SUBMISSION AND IF REQUIRED SHALL BE SUBMITTED AT A LATER DATE.

5. LOCATION OF UNIT PARTITIONS MAY BE ADJUSTED IN THE FIELD.

6. CONTINUOUS CAULKING AROUND DOOR, WINDOW FRAMES AS REQUIRED.

7. DOORS TO BE SET FROM MANUFACTURERS SHOP DRAWINGS.

8. ALL DOORS WITH 3 BOLTS.

9. ALL DOORS WITH LOCKING.

10. SHETROCK (3) COAT TAPE APPLICATION.

11. ALL INTERIOR TRIM TO BE PAINTED.

#### FOUNDATION NOTES

ALL FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL / COMPACTED STRUCTURAL FILL / ROCK HAVING MINIMUM BEARING CAPACITY AS INDICATED IN DESIGN BASIS.

2. BOTTOMS OF ALL EXTERIOR FOOTINGS TO BE MINIMUM OF 3'-6" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.

3. MAXIMUM SLOPE FOR BOTTOM OF FOOTINGS (OR BETWEEN BOTTOMS OF ADJACENT FOOTINGS) TO BE 1: VERTICAL TO 2 HORIZONTAL.

4. ALL SOIL SURROUNDING AND BEATHNEE FOOTINGS SHALL BE PROTECTED FROM FROST DURING THE COURSE OF CONSTRUCTION.

5. PLACEMENT OF ALL COMPACTED FILL AND COMPACTION OF SUBGRADE SHALL BE UNDER FULL TIME DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER. CONCRETE SLABS AND FOOTINGS SHALL NOT BE PLACED UNTIL FILL AND SUBGRADE HAVE BEEN CHECKED IN PLACE AND APPROVED BY THE GEOTECHNICAL ENGINEER.

#### CONCRETE NOTES

1. UNLESS OTHERWISE SHOWN, LOCATE REINFORCING BARS WITH FOLLOWING CLEAR DIMENSION TO FACE OF CONCRETE  
 A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3" CLEAR.

B. EXTERIOR EXPOSED OR WEATHER: 2" CLEAR

C. SLABS 15" CLEAR FROM TOP

2. CONCRETE ACCESSORIES MUST BE ADEQUATE TO MAINTAIN REINFORCING ACCURATELY IN PLACE AND BE NON-CORROSION NON-STAINING TYPE.

3. LAP ALL BAR REINFORCING IN CONCRETE ELEMENTS 45 DIAMETERS, MINIMUM (UNLESS OTHERWISE NOTED).

2012 State of Connecticut Building Code  
 2012 State Fire Code  
 2012 International Building Code  
 2012 International Residential Building Code  
 2012 International Plumbing Code  
 Mechanical Code  
 Energy Conservation Code  
 2010 National Electrical Code (NFPA 70)

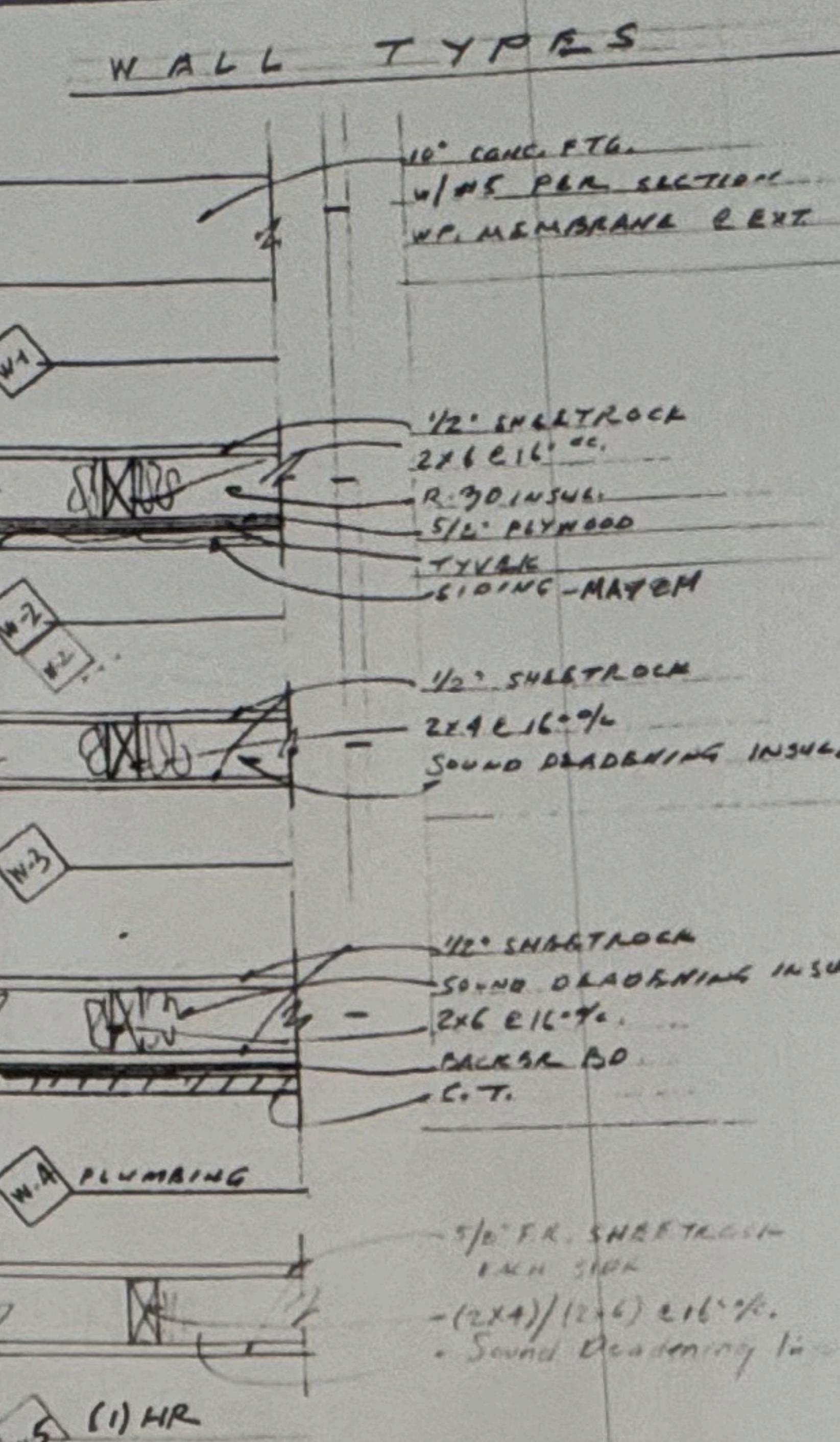
single family residence  
 type of construction VB unprotected wood framed

ceiling insulation R-60

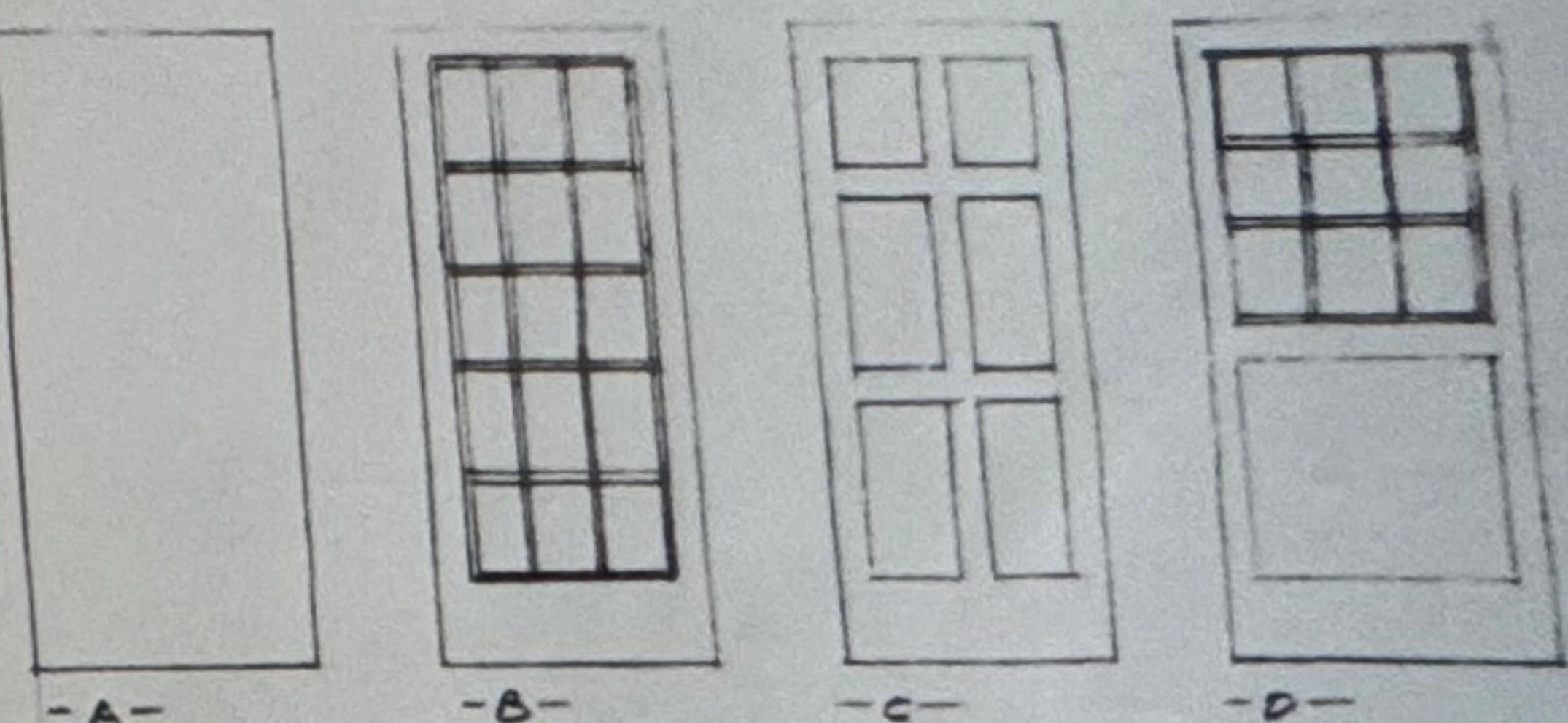
wall insulation R-30

floor insulation R-38

PROJECT 52

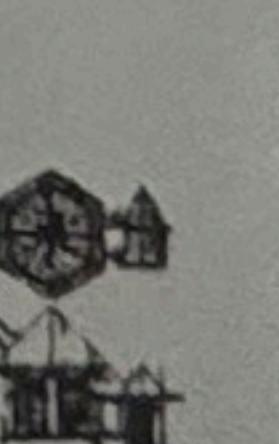


DOOR SCHEDULE										REMARKS	
LOCATION	WIDTH	HEIGHT	THICKNESS	FINISH	MATERIAL	THRESHOLD	ANS TYPE	DOOR TYPE	RAILING	CLOSER	REMARKS
①	2' 0	6'-0	1 1/4	P	VC	WD	WD	D			EXT.
②	2' 2 1/2	6'-0	1 1/4	P	WD	WD	WD	C			EXT.
③	2' 6	6'-0	1 1/4	P	WD	WD	WD	C			EXT.



DOOR TYPES

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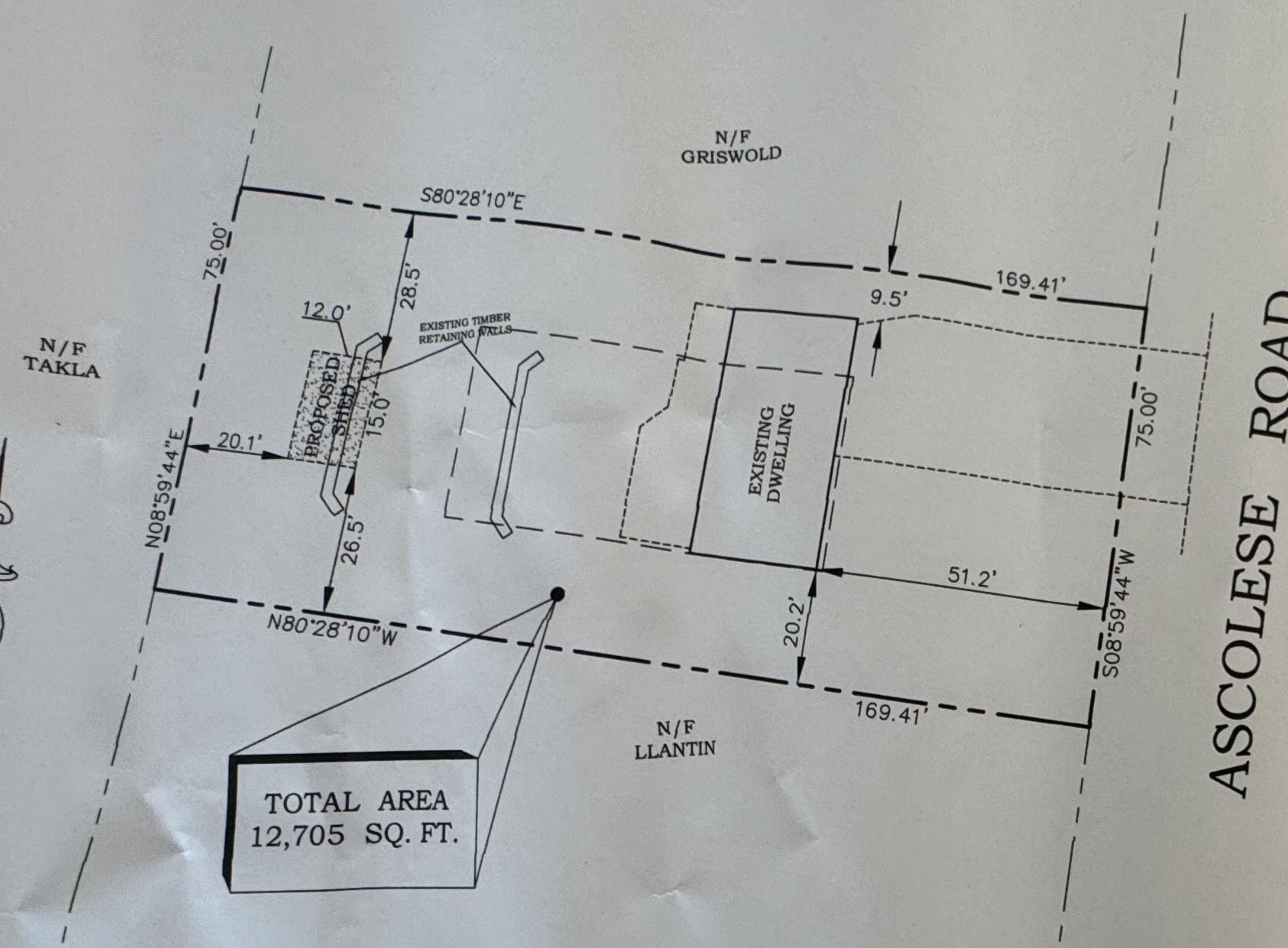


STUDIO  
 52 ASCOLESE ROAD  
 TRUMBULL, CONNECTICUT  
 DATE: 10/6/05

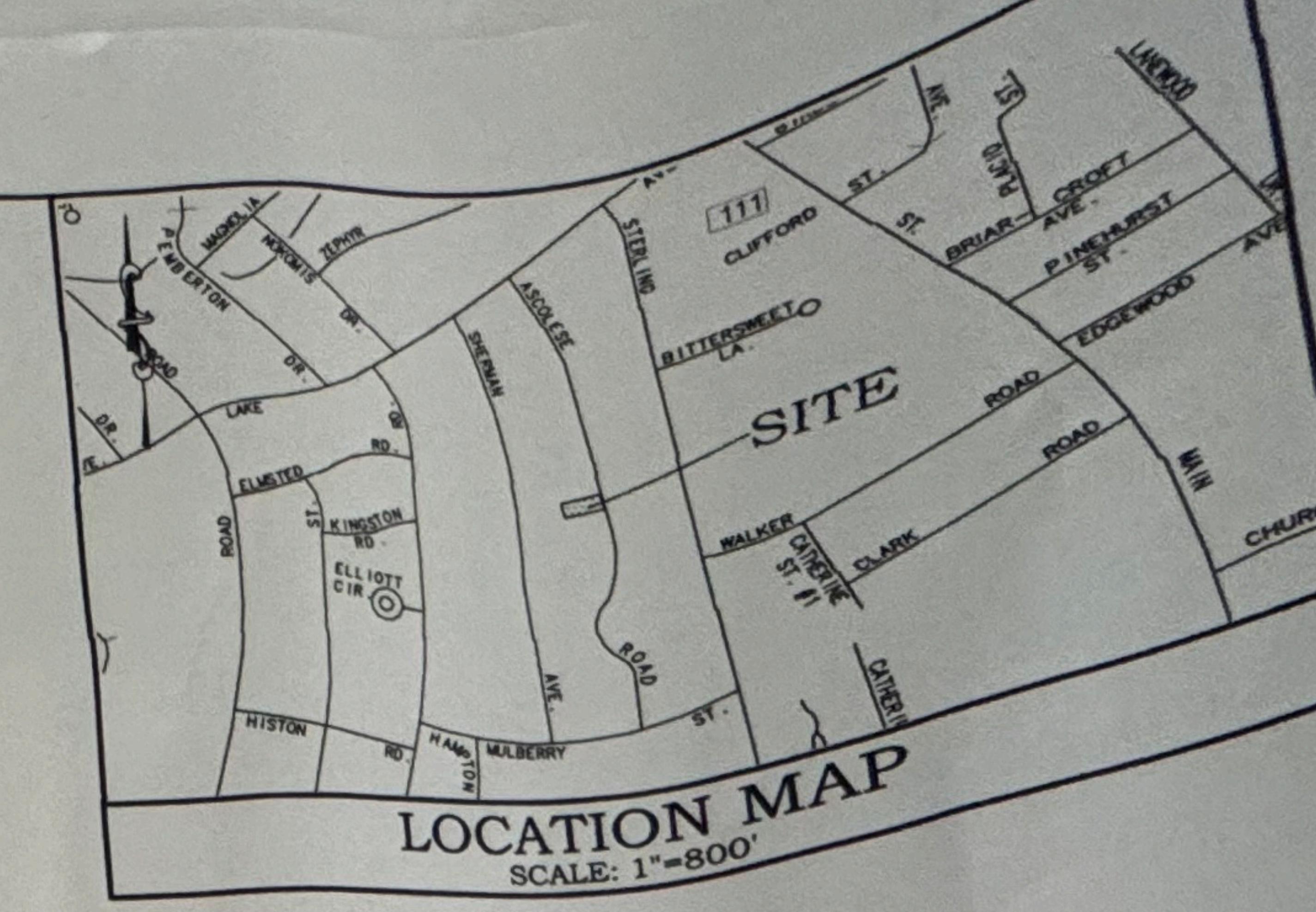
a3

# LEGEND

ND  
PROPERTY LINE  
WETLANDS  
SILT FENCE  
PROPOSED ELEVATION  
PROPOSED CONTOUR



# ASCOLESE ROAD



NO. 1  
**LOCATION MAP**  
SCALE: 1"-800'

SCALE: 1"=800

# SITE STATISTICS

SITE STATISTICS		
BULK STATISTICS	REQUIRED R-A ZONE	PROPOSED
LOT AREA MINIMUM	43,650 SQ. FT.	12,705 SQ. FT.
FRONTAGE MINIMUM	150 FT.	75 FT.
FRONT LINE SETBACK MINIMUM	50 FT.	51.2 FT.
SIDE LINE SETBACK MINIMUM	20 FT.	26.5 FT.
REAR LINE SETBACK MINIMUM	50 FT.	20.1 FT.
BUILDING COVERAGE MAXIMUM	25 %	13.8%
SITE COVERAGE MAXIMUM	60%	24.5%
HEIGHT MAXIMUM	40 FT.	24.6 FT.

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-3008-1 TO 20-3008-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES. IT IS A MAP BASED ON A DEPENDANT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2. TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Fred D'Amico  
FRED D'AMICO CONN. P.E., L.S. 1083

# D'AMICO ASSOCIATES

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Job No.	Drn By	Project Name
4840	JVD	CH
Scale	Date	
1"=30'	12/11/2025	TRUMBLE

# CHRISTOPHER DECRUZE

---

ROAD  
CONNECTICUT

**Drawing Title**

# PROPOSED SHED

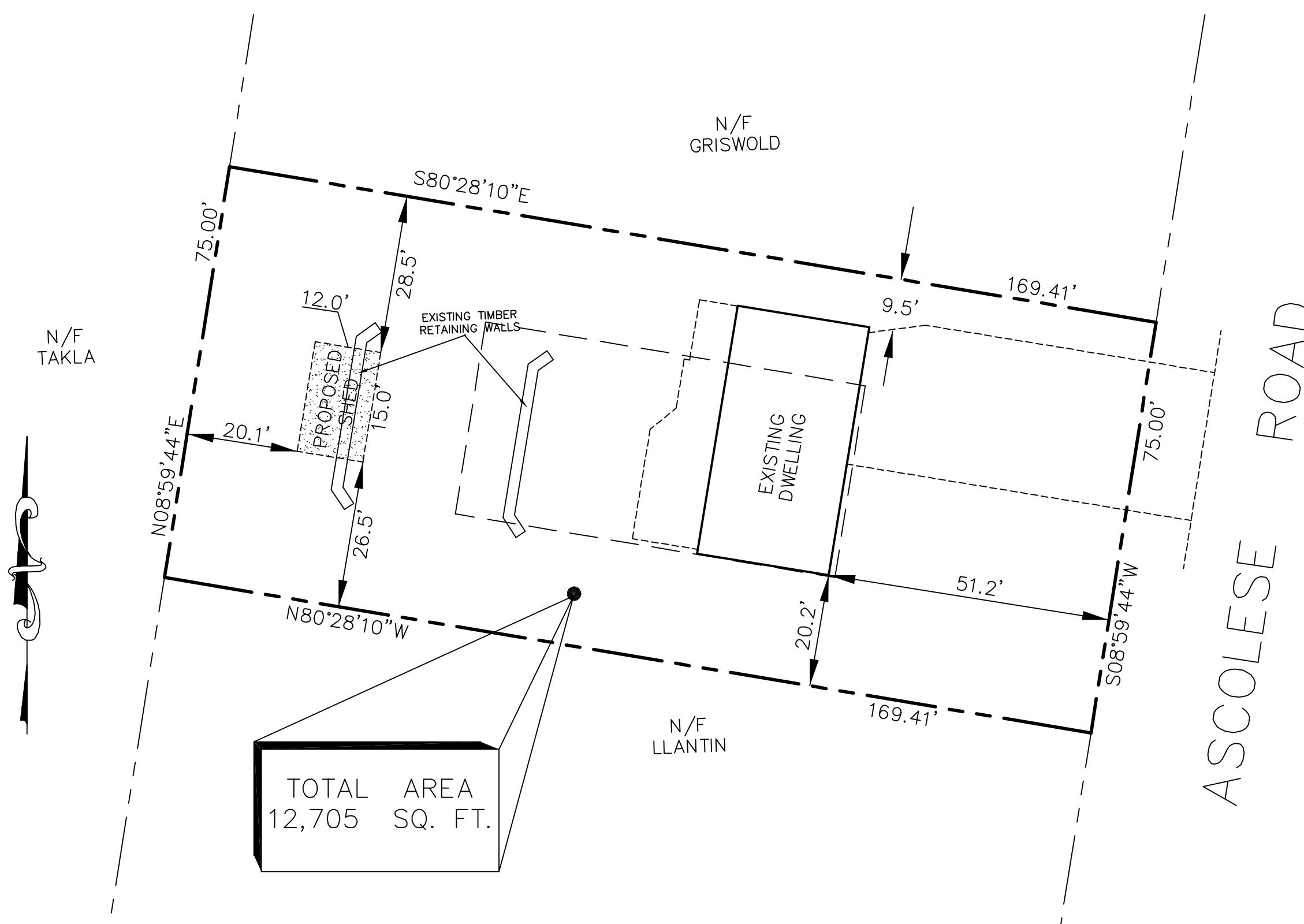
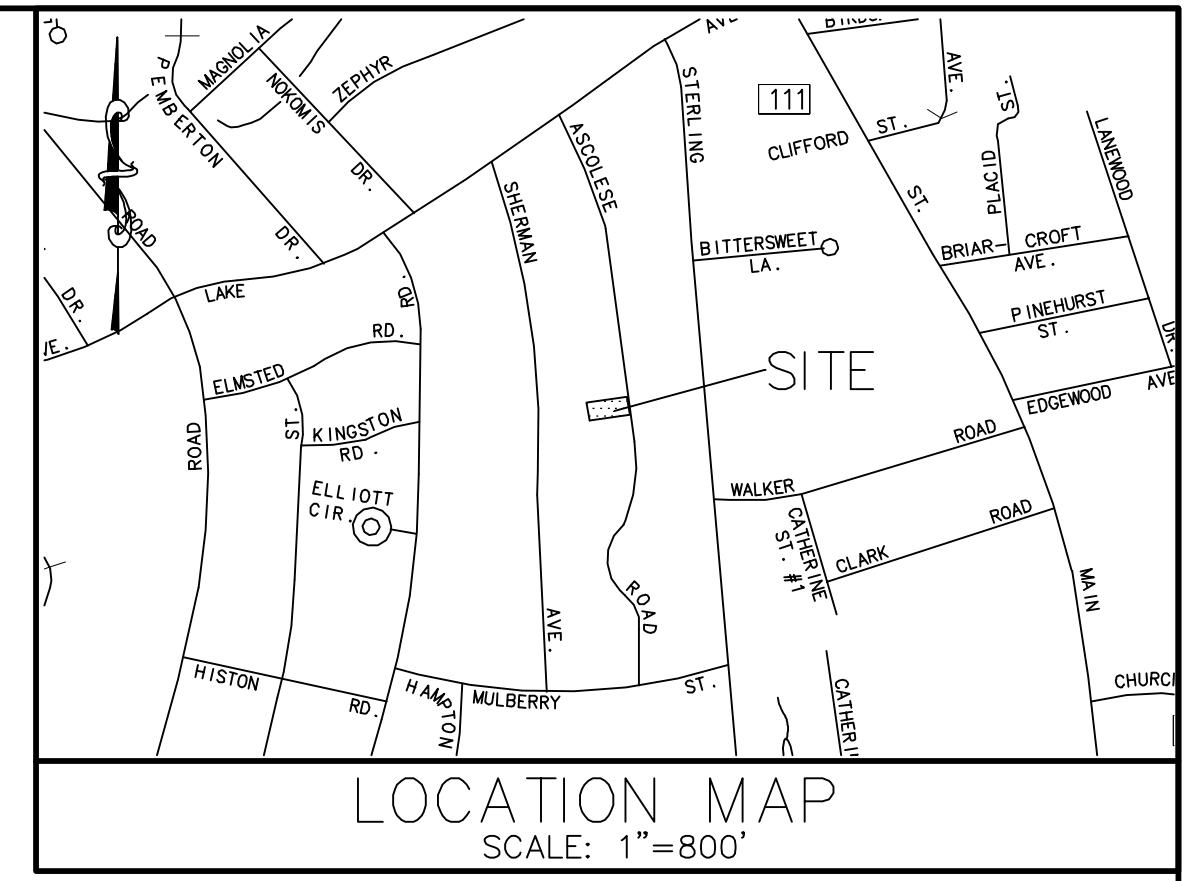
**REVISION DESCRIPTION**

Date

NO.

## LEGEND

- PROPERTY LINE
- WETLANDS
- SILT FENCE
- PROPOSED ELEVATION
- PROPOSED CONTOUR



SITE STATISTICS		
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SITE COVERAGE MAXIMUM	60 %	24.5 %
HEIGHT MAXIMUM	40 FT.	24.6 FT.

No.	Date	REVISION DESCRIPTION

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 TO 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AND LOCAL SURVEYING AND MAPMAKING, AND IS DETERMINED TO HORIZONTAL ACCURACY CLASS A-2, TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Fred D'Amico*  
FRED D'AMICO, CONN. P.E., L.S. 10833

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Job No.	Drn By	Project Name	Drawing Title
4840	JVD	CHRISTOPHER DECRUZE 52 ASCOLESE ROAD	PROPOSED SHED
Scale 1"=30'	Date 12/11/2025	TRUMBULL CONNECTICUT	