

**Town of Trumbull
CONNECTICUT**

**Planning and Zoning
Department**
Telephone (203) 452-5044
Fax (203) 452-5169



Town Hall
5866 Main Street
Trumbull, Connecticut 06611

**PLANNING AND ZONING
COMMISSION**

To: MEMBERS OF THE PLANNING AND ZONING COMMISSION
RE: SPECIAL MEETING – **WEDNESDAY, August 26, 2020**

The Planning and Zoning Commission will hold a Special Meeting on Wednesday, August 26, 2020 at 7:00 p.m. via videoconferencing.

AGENDA

PUBLIC HEARING
7:00 P.M.

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC HEARING

SPECIAL PERMIT/SITE PLAN/ZONE CHANGE/OTHER

1. **123 Monroe Turnpike:** Applicant, Extra Flour LLC, is requesting a Special Permit to occupy 1250 sq. ft. of space in an Industrial Zone to operate a restaurant pursuant to Art. II, Sec. 4.2 and Art. XV, of the Town of Trumbull Zoning Regulations. **File #20-05**
2. **1056 Daniels Farm Road:** Applicant, Bridgeport Roman Catholic Diocesan Corp, is requesting a Special Permit to construct a 7,500 sq. ft. addition to the existing mausoleum pursuant to Art. II, Sec. 1.2 and Art. XV, of the Town of Trumbull Zoning Regulations. **File #20-06**
3. **7120 Main Street:** Applicant, Amazon.com Services LLC, is requesting a Special Permit with a site plan to modify and restructure the parking area and traffic flow as previously approved in December 2019 pursuant to Art. II, Sec. 4.2 and Art. XV, of the Town of Trumbull Zoning Regulations. **File #20-07**

8-24 REFERRAL

1. Municipal Improvements Referral – (C.G.S. 8-24). Report to the Town Council regarding a purchase by the Town of easements for the construction and maintenance of a sidewalk and to install and maintain traffic devices and appurtenances along the Long Hill section of Main Street, Trumbull, Connecticut.
2. Municipal Improvements Referral – (C.G.S. 8-24). Report to the Town Council regarding a purchase by the Town of a parcel or parcels of land known as 16, 19, 26, 29 and 38 Hardy Lane, Trumbull, Connecticut.
3. Municipal Improvements Referral – (C.G.S. 8-24). Report to the Town Council regarding a purchase by the Town of easements for the construction and maintenance of a sidewalk and to install and maintain traffic devices and appurtenances along Route 111, Trumbull, Connecticut

BOND RELEASE

1. Angelina and Bob Killman request release of full bond for 54 Teller Road. **File:#02-18**
2. Eleanor Guedes requests release of full bond for 48 Teller Road. **File:#02-18**
3. Armando Costa requests release of full bond for 40 Academy Road. **File:#02-18**

REGULAR MEETING

EXECUTIVE SESSION

Legal counsel to discuss current litigation with Moorefield Farms.

Join the meeting online:

<https://zoom.us/j/94821224465?pwd=c1NFckx3eW5GK2J5RkgvQm1yODY2UT09>

Webinar ID: 948 2122 4465

Password: 014816

Join by telephone:

(312) 626-6799 or (888) 475-4499 (Toll Free)

Webinar ID: 948 2122 4465

Dated at Trumbull, CT this 20th day of August, 2020.

By: Linda Finger, Clerk

Plans for the above listed applications are on file for public inspection in the office of the Planning and Zoning Commission and online on the Town of Trumbull website.

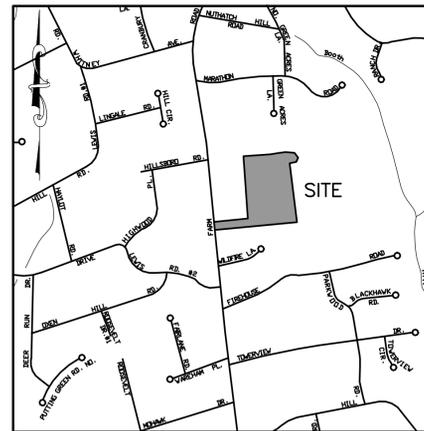
COMMISSION MEMBERS: PLEASE NOTIFY Linda Finger, Clerk, AT 203-452-5044 or lfinger@trumbull-ct.gov, IF YOU ARE UNABLE TO ATTEND.

SITE IMPROVEMENTS #1056 DANIELS FARM ROAD IN TRUMBULL, CONNECTICUT PREPARED FOR BRIDGEPORT ROMAN CATHOLIC DIOCESAN CORP.



SPATH-BJORKLUND ASSOCIATES, INC

Consulting Engineers
Monroe, Connecticut



VICINITY MAP
1"=1000'

LIST OF DRAWINGS:

- 1/1 COMPILATION PLAN (BY OTHERS)**
- S-1 SITE PLAN**
- E-1 EROSION CONTROL PLAN**
- D1-D7 DETAILS**

I HEREBY DECLARE THAT THE DRAINAGE SYSTEM(S), WASTEWATER DISPOSAL AND WASTEWATER CONVEYANCE SYSTEM(S), PLANNING AND DESIGN OF ROADS AND GRADING SHOWN HEREON IS SUBSTANTIALLY CORRECT

DAVID S. BJORKLUND JR. CT P.E. 11361

NO.	DATE	DESCRIPTION
1	7-9-20	P&Z
REVISIONS		

SITE IMPROVEMENTS
#1056 DANIELS FARM ROAD
TRUMBULL, CONNECTICUT
PREPARED FOR
BRIDGEPORT ROMAN CATHOLIC DIOCESAN CORP.

**Town of Trumbull
CONNECTICUT**

**Planning and Zoning
Department**
Telephone (203) 452-5044
Fax (203) 452-5169



Town Hall
5866 Main Street
Trumbull, Connecticut 06611

PLANNING AND ZONING DEPARTMENT

APPLICATION FOR SPECIAL PERMIT OR SITE PLAN APPROVAL

- SPECIAL PERMIT**
 SITE PLAN REVIEW

-
- ZONE:** **Commercial Zone B-C, B-C LH, TH Node, MDD**
 Industrial Zone I-L, I-L2, I-L3
 Residential Zone A, AA, AAA
 Overlay Zone _____

Location of Property: 1056 Daniels Farm Road

Assessor's Map No.: G/03 Parcel No.: _____ Lot No.: 12

Trumbull Land Records: Volume: 133 Page: 530

Applicant: Bridgeport Roman Catholic Diocesan Corp.

Address of Applicant: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824

Telephone Number: Day 203-528-0590 Evening 203-528-0590

Email Address: Chris@russorizio.com

Owner of Record: Bridgeport Roman Catholic Diocesan Corp.

Address of Owner of Record: Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824

Telephone Number: 203-528-0590 Email Chris@russorizio.com

Party to be notified: Chris Russo, Russo & Rizio, LLC

Address of Attorney or Agent: 10 Sasco Hill Rd, Fairfield, CT 06824

Telephone Number: 203-528-0590 Email: Chris@russorizio.com

Site Engineer: Spath-Bjorklund Associates, Inc.

Address of Owner of Record: Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824

Telephone Number: 203-528-0590 Email: Chris@russorizio.com

Relevant Article(s) and Section(s) of the Regulations: (i.e. Art __, Sec __)

Art. II, Sec. 1.2; Art. XV

Description of the proposed request, including specific use to be conducted:

See Attached

Is the property within 500 feet of another municipality?

YES NO

Does this proposal involve a structure that was built before 1940?

YES NO

Does this proposal require the approval of the Inland Wetlands Agency?

YES NO

Are there any deed restrictions on this property that may affect this application?

YES NO

Has a previous application been filed for this property?

YES NO

If yes, when? March 20, 1029 - Approved Attach a copy of decision letter.

Project is to be started on ASAP Completed on ASAP

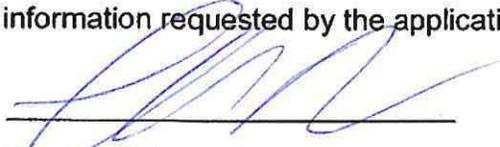
List of Federal and State permits required and their status:

N/A

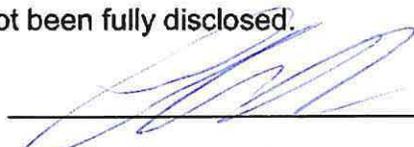
Certification

I/We certify that all of the above information and statements contained in any documentation submitted with the application are true to the best of my/our knowledge.

I/We fully understand that the Planning and Zoning Commission reserves the right to revoke any permit should the information contained herein not be true or that the information requested by the application has not been fully disclosed.



Signature of Owner



Signature of Applicant (if not property owner)

07/21/20

Date

07/21/20

Date

NOTICE: By signing this application, owner and applicant consent to site inspections by Town Staff and/or Commissioners.

A FEE IN ACCORDANCE WITH APPROVED FEE SCHEDULE MUST ACCOMPANY THIS APPLICATION. Make check payable to TOWN OF TRUMBULL.

FOR OFFICE USE ONLY

Date Application and Fee Received: _____ By: _____

Date of Public Hearing: _____ Date Action Taken: _____

List of Abutters Submitted: _____

Revised 2/25/2020



Colin B. Connor
Elizabeth A. Falkoff*
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt

(*Also Admitted in NY)

July 30, 2020

Roberto Librandi
Land Use Planner
Planning and Zoning
5866 Main Street
Trumbull, CT 06611
HAND-DELIVERED

Re: Special Permit Application at 1056 Daniels Farm Road

Dear Mr. Librandi:

Please accept the following narrative and enclosed application materials as part of the Special Permit application to the Trumbull Planning & Zoning Commission for the property located at 1056 Daniels Farm Road (the "Site"):

Proposed Development & Use

The Site is located within the Residence AA Zone and is the location of the Gates of Heaven Cemetery. The Applicant proposes a modification to a previously approved Special Permit to construct a one-story sq. ft. addition to an existing mausoleum building at the Site with associated site improvements. The Applicant proposes a Seven thousand five hundred (7,500) SF addition to the existing mausoleum, which is an increase from the addition approved in the previous Special Permit.

The Site is a rear lot off Daniels Farm Road located behind a parcel of property, which is also owned by the Applicant. The Site is accessed from a long driveway, known as Wildfire Lane, off of Daniels Farm Road. An internal roadway runs along the outer perimeter to allow families to access the graves of the deceased. An existing building is on the Site where an existing mausoleum is located as well as a small maintenance building. The

1 Post Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

existing mausoleum is located over Five hundred feet (500') from Daniels Farm Road as well as any other residential property.

The Applicant proposes a Seven thousand five hundred (7,500) SF addition to the existing mausoleum. The main entrance of the mausoleum would remain from the existing building. A separate entrance would be located on the eastern side of the proposed addition. A permeable paver sidewalk will be installed to wrap the eastern and northern side of the proposed addition. The new addition will contain Four hundred and forty-four (444) crypts and Four hundred and ninety-two (492) niche spaces (for cremated remains). The elevations of the addition will mirror the existing mausoleum with the stone crypts and stone veneer accents. The interior of the addition will contain a courtyard garden and seating areas for families to pay respects to their loved ones.

The Application Satisfies All Criteria for Decision on a Special Permit

The Applicant has submitted an application that satisfies all criteria for a decision to approve a Special Permit under Article XV, Section 4 of the Regulations. The Applicant has submitted a complete application, which is in conformity with the existing Regulations with the proposed text amendment submitted concurrently with this application. The Applicant has proposed an addition to an existing mausoleum building, which is permitted as a Special Permit of the Regulations under Article II, Section 1.2.4.3. The Applicant has previously received a Special Permit for a smaller addition. It is obviously the appropriate location for this particular use, which already exists on the Site. The application provides more than sufficient parking to support the proposed use. The Site layout will provide more than adequate emergency access to the proposed building. It has no frontage on an existing street. The Site plans satisfy the sanitary waste, sediment control and stormwater runoff standards.

For the reasons stated above, the Applicant respectfully requests approval of its Special Permit application.

Sincerely,



Christopher B. Russo
Attorney for Applicant/Owner

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	TOWN	STATE	ZIP CODE
36 FIREHOUSE ROAD	PULIE JAMES M & LAUREN H	36 FIREHOUSE ROAD	TRUMBULL	CT	06611
42 FIREHOUSE ROAD	HYLAND KEVIN J & MICHELLE A	42 FIREHOUSE ROAD	TRUMBULL	CT	06611
48 FIREHOUSE ROAD	SORGE SUSAN A K	48 FIREHOUSE RD	TRUMBULL	CT	06611
980 DANIELS FARM ROAD	TRUMBULL CENTER FIRE DIST ANAND DAVENDRA P.S. & ANAND SUNITA	980 DANIELS FARM ROAD	TRUMBULL	CT	06611
58 FIREHOUSE ROAD	KRYSZCZYNSKI JOSEPH	58 FIREHOUSE ROAD	TRUMBULL	CT	06611
1003 DANIELS FARM ROAD	SHEEHAN GAIL M	1003 DANIELS FARM ROAD	TRUMBULL	CT	06611
21 FIREHOUSE ROAD	SCAVONE JOHN J JR & JESSICA M	21 FIREHOUSE ROAD	TRUMBULL	CT	06611
6 WILDFIRE LANE	MILLER LOIS A TR, BARBARA E NIELSEN	6 WILDFIRE LANE	TRUMBULL	CT	06611
27 FIREHOUSE ROAD	REVOCABLE TRUST	229 HOYT STREET	DARIEN	CT	06820
33 FIREHOUSE ROAD	YAWMAN JEFFREY R & DANA V	33 FIREHOUSE ROAD	TRUMBULL	CT	06611
1021 DANIELS FARM ROAD	STELMAN ILYA & MILLA	1021 DANIELS FARM ROAD	TRUMBULL	CT	06611
5 WILDFIRE LANE	TIMPANELLI LUCINDA A	5 WILDFIRE LANE	TRUMBULL	CT	06611
67 FIREHOUSE ROAD	JACKSON THOMAS K & DEBORAH K	67 FIREHOUSE RD	TRUMBULL	CT	06611
39 FIREHOUSE ROAD	DESANTY GREGORY P & MARGARET M	39 FIREHOUSE ROAD	TRUMBULL	CT	06611
45 FIREHOUSE ROAD	SILEO CHRISTINE OCONNOR	45 FIREHOUSE ROAD	TRUMBULL	CT	06611
9 WILDFIRE LANE	CSERNICA GREGORY & LUBA B	9 WILDFIRE LN	TRUMBULL	CT	06611
51 FIREHOUSE ROAD	NI DAN DAN & PAN WEN HANG	51 FIREHOUSE ROAD	TRUMBULL	CT	06611
12 WILDFIRE LANE	SCLAFANI LUCIANO V JR	12 WILDFIRE LN	TRUMBULL	CT	06611
22 LEWIS ROAD	SMITH ROBERT J & SUSIE	22 LEWIS ROAD	TRUMBULL	CT	06611
14 LEWIS ROAD	STILLER SUSAN B & ROBERT J	14 LEWIS RD	TRUMBULL	CT	06611
15 WILDFIRE LANE	COE DANIEL L & JACQUELYN M	15 WILDFIRE LANE	TRUMBULL	CT	06611
1040 DANIELS FARM ROAD	ROTHSTEIN ERIC C/O ATP LLC	21 FRANCIS J CLARKE CIR	BETHEL	CT	06801
1035 DANIELS FARM ROAD	KURUP JAY & KURUP VIJI MICELI JOSEPH L/U & FRANCES L/U &	1035 DANIELS FARM ROAD	TRUMBULL	CT	06611
1054 DANIELS FARM ROAD	PRUSHKO ANDREA F	1054 DANIELS FARM RD	TRUMBULL	CT	06611
23 HIGHWOOD PLACE	LUO YUZHE & CAO LILUN	23 HIGHWOOD PLACE	TRUMBULL	CT	06611
FIREHOUSE ROAD	TRUMBULL TOWN OF	5866 MAIN STREET	TRUMBULL	CT	06611
1057 DANIELS FARM ROAD	HUANG JIANBING & HONG	1057 DANIELS FARM ROAD	TRUMBULL	CT	06611
19 HIGHWOOD PLACE	WOODS LISA A & STRICK J	19 HIGHWOOD PL	TRUMBULL	CT	06611
1059 DANIELS FARM ROAD	RODRIGUES ANTONIO R & IRENE	1059 DANIELS FARM ROAD	TRUMBULL	CT	06611
15 HIGHWOOD PLACE	BATISTA AGOSTINHO C	15 HIGHWOOD PL	TRUMBULL	CT	06611

1069 DANIELS FARM ROAD	PREVELIGE CHRISTOPHER	1069 DANIELS FARM ROAD	TRUMBULL CT	06611
1075 DANIELS FARM ROAD	HUNTER CRAIG	1075 DANIELS FARM ROAD	TRUMBULL CT	06611
1089 DANIELS FARM ROAD	ECK ANNE H & J CHRISTOPHER	P O BOX 512	STRATFORD CT	06615-0512
15 HILLSBORO ROAD	TUCKER JAMES B & MONICA G	15 HILLSBORO ROAD	TRUMBULL CT	06611
1097 DANIELS FARM ROAD	CLIFFORD MARY F	1097 DANIELS FARM RD	TRUMBULL CT	06611
DANIELS FARM ROAD	BPT RC DIOCESAN CORP	P O BOX 110337	TRUMBULL CT	06611
1140 DANIELS FARM ROAD	AGUILLON JOSE ALBERTO & SILVIA	1140 DANIELS FARM RD	TRUMBULL CT	06611
20 GREEN ACRES LANE	PERROTTA ARNOLD	20 GREEN ACRES LANE	TRUMBULL CT	06611
1056 DANIELS FARM ROAD	BRIDGEPORT RC DIOCESAN CORP	238 JEWETT AVENUE	BRIDGEPORT CT	06606
17 GREEN ACRES LANE	NOISETTE HERBY & JUDITH	17 GREEN ACRES LANE	TRUMBULL CT	06611
1150 DANIELS FARM ROAD	BUNDSCHUH ANN G	1150 DANIELS FARM ROAD	TRUMBULL CT	06611
16 GREEN ACRES LANE	KONOSKI ELAINE FRIEND & THOMAS	16 GREEN ACRES LANE	TRUMBULL CT	06611
1144 DANIELS FARM ROAD	DUDA MARIA G & GARY J	1144 DANIELS FARM ROAD	TRUMBULL CT	06611
11 GREEN ACRES LANE	IANNIELLO ILENE	11 GREEN ACRES LN	TRUMBULL CT	06611
62 MARATHON ROAD	FINKENSTADT EDWARD & ZELDA M	62 MARATHON RD	TRUMBULL CT	06611
1166 DANIELS FARM ROAD	AQUINO RAMON A & KIM	1166 DANIELS FARM ROAD	TRUMBULL CT	06611
68 MARATHON ROAD	TUREY OLGA R	68 MARATHON RD	TRUMBULL CT	06611
DANIELS FARM ROAD	BPT RC DIOCESAN CORP	238 JEWETT AVE	BRIDGEPORT CT	06606
10 GREEN ACRES LANE	CONTINO MARY KATHLEEN	10 GREEN ACRES LANE	TRUMBULL CT	06611
56 MARATHON ROAD	PAQUETTE ROBERT & ANNE	56 MARATHON RD	TRUMBULL CT	06611
72 MARATHON ROAD	WINSLOW CAROL AKA CAROL A	72 MARATHON ROAD	TRUMBULL CT	06611
	GUTIERREZ EDDIE B & LUCERO			
16 MARATHON ROAD	CYNTHIA M	16 MARATHON ROAD	TRUMBULL CT	06611
22 MARATHON ROAD	SEVILLA CARLOS E	22 MARATHON ROAD	TRUMBULL CT	06611
30 MARATHON ROAD	LEVIN ROBERTO & SARAH	30 MARATHON ROAD	TRUMBULL CT	06611
5 GREEN ACRES LANE	RAVINDRANATH RAGHAV	5 GREEN ACRES LANE	TRUMBULL CT	06611
48 MARATHON ROAD	VANCHO NICHOLAS G & JOAN B	48 MARATHON ROAD	TRUMBULL CT	06611
RANCH DRIVE	TRUMBULL TOWN OF	5866 MAIN STREET	TRUMBULL CT	06611
	KRUZICK ANTHONY T TRUSTEE &			
63 MARATHON ROAD	KRUZICK ELIZABETH P, TRUSTEE	63 MARATHON ROAD	TRUMBULL CT	06611
19 RANCH DRIVE	YU AARON & GAO XIAOWEN	2526 ASSOCIATED RD APT 10	FULLERTON CA	92835-3240
	ONIANWA ANTHONY N & LAWSON			
71 MARATHON ROAD	MAXINE A	71 MARATHON ROAD	TRUMBULL CT	06611
18 RANCH DRIVE	CIZMAR SLAVKO & SUSANA B	18 RANCH DRIVE	TRUMBULL CT	06611

51 MARATHON ROAD
MARATHON ROAD

MARKELON LISA
TRUMBULL TOWN OF
PACANOWSKI GREGORY & KABEL
SUSAN M

51 MARATHON ROAD
5866 MAIN STREET

98 HURD RD

TRUMBULL CT 06611
TRUMBULL CT 06611

TRUMBULL CT 06611

1056 DANIELS FARM ROAD

Location 1056 DANIELS FARM ROAD

Mblu G/03 / 00012/ 000/

Acct#

Owner BRIDGEPORT RC DIOCESAN CORP

Assessment \$1,336,160

Appraisal \$1,908,800

PID 12474

Building Count 2

Fire District T

Current Value

Appraisal	
Valuation Year	Total
2015	\$1,908,800

Assessment	
Valuation Year	Total
2015	\$1,336,160

Owner of Record

Owner BRIDGEPORT RC DIOCESAN CORP
Co-Owner C/O ATTY OCONNELL
Address 238 JEWETT AVENUE
 BRIDGEPORT, CT 06606

Sale Price \$0
Book & Page 133/ 530
Sale Date 11/30/1959

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
BRIDGEPORT RC DIOCESAN CORP	\$0	133/ 530	11/30/1959

Building Information

Building 1 : Section 1

Year Built: 2005
Living Area: 8,920

Building Attributes	
Field	Description

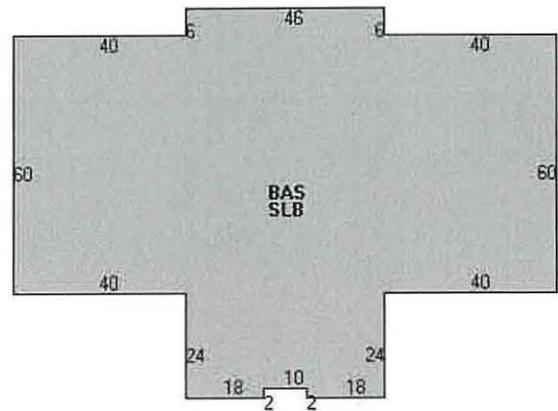
STYLE	Mortuary/Cemet
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Stone Masonry
Exterior Wall 2	
Roof Structure	Gable
Roof Cover	Slate
Interior Wall 1	Drywall
Interior Wall 2	
Interior Floor 1	Ceram Clay Til
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Forced Air
AC Type	None
Bldg Use	Cemetary Bldg
1st Floor Use:	
Heat/AC	None
Frame Type	Wood Frame
Baths/Plumbing	None
Ceiling/Walls	Ceil & Walls
Rooms/Prtns	Average
Wall Height	14
% Comn Wall	

Building Photo



(<http://images.vgsi.com/photos2/TrumbullCTPhotos/\00\01\26\19.jpg>)

Building Layout



(http://images.vgsi.com/photos2/TrumbullCTPhotos//Sketches/12474_1247)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	8,920	8,920
SLB	Slab	8,920	0
		17,840	8,920

Building 2 : Section 1

Year Built: 1981

Living Area: 1,728

Building Attributes : Bldg 2 of 2	
Field	Description
STYLE	Mortuary/Cemet
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Concrete
Exterior Wall 2	

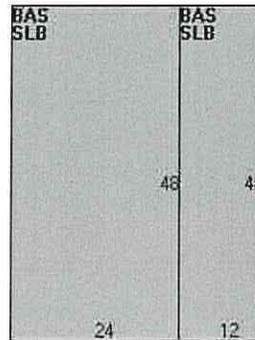
Roof Structure	Gable
Roof Cover	Asphalt
Interior Wall 1	Drywall
Interior Wall 2	
Interior Floor 1	Concrete
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Hot Water
AC Type	None
Bldg Use	Cemetary Bldg
1st Floor Use:	
Heat/AC	None
Frame Type	Wood Frame
Baths/Plumbing	Average
Ceiling/Walls	Ceil & Walls
Rooms/Prtns	Average
Wall Height	14
% Conn Wall	

Building Photo



(<http://images.vgsi.com/photos2/TrumbullCTPhotos//00\01\26\20.jpg>)

Building Layout



(http://images.vgsi.com/photos2/TrumbullCTPhotos//Sketches/12474_1296)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,728	1,728
SLB	Slab	1,728	0
		3,456	1,728

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 968
Description Cemetary Bldg

Land Line Valuation

Size (Acres) 30
Frontage

Zone AA
Neighborhood 310
Alt Land Appr No
Category

Depth

Outbuildings

Outbuildings	<u>Legend</u>
No Data for Outbuildings	

Valuation History

Appraisal	
Valuation Year	Total
2018	\$1,908,800
2017	\$1,908,800
2016	\$1,908,800

Assessment	
Valuation Year	Total
2018	\$1,336,160
2017	\$1,336,160
2016	\$1,336,160

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GENERAL NOTES

- These plans are for governmental approval only and are not to be used for construction.
- The proposed improvements indicated on these plans are shown as one of many possible layouts. Any variation from these plans is to be approved by a professional engineer.
- Property lines, planimetrics and topography based on a Compilation Plan prepared by Shelvin Land Surveying LLC prepared for Bridgeport Roman Catholic Diocesan Corporation, Parcel #2, #1056 Daniels Farm Road, Trumbull, dated February 11, 2019.
- Owner/Applicant:**
Bridgeport Roman Catholic Diocesan Corporation
P.O. Box 110337
Trumbull, CT 06484
- Total area of site is 30 acres.
- The site is located in Residence Zone AA
- Reference is made to a document titled: Detention Report, prepared for Bridgeport Diocese, dated May 27, 2020 by Spath-Bjorklund Associates, Inc.
- The site is served with public water and an underground sewage disposal system.
- The location of underground utilities, if any, is unknown. Call Before-You-Dig 1-800-922-4455.
- It is the contractor's responsibility to verify all on-site and off-site field conditions and establish that no changes have occurred since the issuance of this plan. The design engineer is to be notified of any field conditions which conflict with this plan.
- All construction methods, materials and system installations are to conform to Town of Trumbull Standards and the State of Connecticut, Department of Transportation, Standard Specifications for Roads, Bridges and Incidental Construction, Form 816,2004, with latest revisions, and all applicable local and state regulations.
- Proposed utilities are to be underground.
- Construction will begin shortly after necessary approvals are obtained. Construction is anticipated to be completed within five years from the time of commencement.
- Approximately 0.45 acres will be disturbed for the improvements indicated on the plans.
- Retaining walls to be designed by a structural engineer.
- All roof drains shall discharge to the designated detention system.
- The contractor shall submit shop drawings for all drainage, and detention components to the design engineer for his approval prior to installation
- The contractor shall be responsible for obtaining "as-built" drawings by a licensed land surveyor of detention facilities.
- Storage of fuel for equipment is not permitted on the site without written approval.

STORM WATER POLLUTION CONTROL PLAN

Project description

The proposal is the construction of an addition to the current Mausoleum.

- Erosion and sediment control measures will be constructed in accordance with the Town of Trumbull Standards, State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges and Incidental Construction, Form 817,2016, with latest revisions, and 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, Dep Bulletin 34.
- The Stormwater Pollution Control Plan shall include all erosion and sedimentation control shown on the approved maps and detail sheets. These controls are assumed to be the minimum required, and the contractor may be required to install additional measures as site conditions and weather warrant.
- All erosion and sediment control devices will be installed prior to the start of clearing and grubbing operations and excavation work. All the devices will be maintained as specified in this document until the disturbed earth has been paved or vegetated, at which time the devices will be removed.
- All construction methods, materials and system installations are to conform to all applicable local and state regulations.
- Grading to be according to all applicable regulations and normal standards of good practice.
- Land disturbance will be kept to a minimum. Restabilization will be scheduled as soon as practicable.
- Stockpiles of topsoil and common fill shall be located outside regulated areas where possible. They should be surrounded with silt fence and temporarily stabilized by seeding with a 50-50 mix of annual and perennial rye grass at the rate of one pound per 1,000 square feet of surface area shall be employed between March 15 and June 15 or August 1 and October 1. Mulch with straw or hay at the rate of 70 to 90 pounds per 1,000 square feet until stabilized.
- All control measures will be maintained in effective condition throughout the construction period until the area is stabilized.
- Maintenance of the erosion controls shall consist of inspection at the start of each work day with special attention afforded following storm events. Noted deficiencies shall be corrected immediately. Accumulated sediment shall be removed from the erosion control device and dispersed temporarily on the upland portion of the disturbed area. Additional seeding or mulching shall be employed as required.
- The contractor is to inspect the site daily during construction to insure the integrity of the erosion controls.
- The contractor is to have available at all times extra silt fence, hay bale mulch, grass seed and riprap to implement additional erosion control measures not foreseen in this plan.
- Prior to closing the site down for winter, if required, the contractor shall schedule a meeting with the project engineer to review site conditions and make recommendations to minimize erosion during the winter. The meeting is to be held no later than October 1 of any given year.
- Accumulated sediment is to be disposed of in an area approved by the design engineer and verification compliance accepted by the Town.
- This plan and report may be modified by the engineer based upon field conditions. Any alteration of the proposed layout requires acceptance/approval by the Town Planner and/or Zoning Enforcement Officer, or applicable Commission actions if warranted.
- Catch basins shall be protected with silt sacks, haybales, and/or silt fence during construction until all disturbed areas are stabilized.
- Stabilization practices may include silt fences, temporary seeding, permanent seeding, mulching, geotextiles, soil stabilization, vegetative buffer strips, protection of trees, preservation of mature vegetation and other vegetative and non-structural measures as identified in the Guidelines. Where construction activities have permanently ceased or have temporarily been suspended for more than seven days or when final grades are reached in any portion of the site, stabilization practices shall be implemented within three days. Areas which remain disturbed but inactive for at least thirty days shall receive temporary seeding and/or mulching in accordance with the Guidelines. Areas that will remain disturbed beyond the planting season, shall receive long-term, non-vegetative stabilization sufficient to protect the site through the winter.
- Structural practices include but are not limited to earth dikes (diversions), drainage swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, outlet protection, reinforced soil retained systems, gabions and temporary or permanent sediment basins and chambers.
- De-watering waste waters might be generated during the construction of the underground utilities and the excavation for foundations. Contractors shall arrange for the pumping of water in excavations to occur in sumps created in the excavation and will discharge into temporary sediment traps.
- All contractors and subcontractors working on site will ensure that no litter, debris, building material or similar material is discharged to inland wetlands.
- Contractors will implement techniques to control the generation of dust.
- All post construction storm water structures will be cleaned of construction sediment and any remaining silt fence shall be removed.

22. The site will have anti-tracking pads installed at all points where construction traffic exits the lot to paved surfaces and silt fence installed as shown on the plans or as required downhill of areas of disturbed earth. Refer to the detail drawings for specifics on proposed measures.

Andrew Schulz, of Roman Catholic Diocese of Bridgeport, 203-416-1512 is assigned the responsibility for implementing this Storm water Pollution Control Plan during the construction. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan. If the land is transferred, the Planning and Zoning office shall be notified and a copy of the Storm water Pollution Control Plan shall be conveyed to the new owners. It shall become the responsibility of the new owners to implement the Storm water Pollution Control Plan for the site as outlined in this Storm water Pollution Control Plan.

Registrant _____ Date _____

CONSTRUCTION SEQUENCE (For site plan)
Note: This sequence is recommended and should not be altered without the approval of the Design Engineer (Spath-Bjorklund Associates, Inc.)

- Install anti-tracking pad as shown where construction traffic enters paved surface.
- Install perimeter erosion and sediment controls and install silt sacks in each catch basin
- Cut trees and remove stumps. No burying of stumps, slash and grubbing material is allowed on any site. Materials must be chipped or removed from the site and disposed of at a permitted location.
- Rough grade site and excavate for foundation.
- Install drainage and detention structures.
- Install underground utilities.
- Construct driveway and sidewalk system.
- Apply stabilization measures to remaining disturbed areas in accordance with the Stormwater Quality Management Plan (topsoil, seeding, sodding, mulching, etc.)
- Inspect and clean drainage system as needed.

SITE MAINTENANCE PLAN

This Site Maintenance Plan and Schedule highlights the maintenance procedures for the development. However, this does not preclude the maintenance personnel's responsibility to perform maintenance procedures properly, add other procedures as necessary and conduct maintenance in accordance with current state laws and regulations.

After construction is completed, the owner will be assigned the responsibility for implementing this Site Maintenance Plan. This responsibility includes the inspection and maintenance of control measures and informing parties engaged in activities on the site of the requirements and objectives of the plan.

Driveways and Parking Areas

The driveway and parking area shall be swept with a mechanical sweeper or broom at least twice per year. One cleaning will be in the fall after the leaves are off the trees. The second will be in the spring after the last snow fall. A light spray of water is recommended to minimize dust during sweeping. Use of high velocity blowers is not recommended as they often "defeat the basic purpose of sweeping in an environmentally sound manner."

The sweepings shall be collected and removed from the site. The disposal method shall be determined by the personnel conducting the sweeping.

Paved surfaces shall be crack sealed on a yearly basis and inspected for "Pot Holes". Required patching shall be done on a yearly basis every spring. Paved surfaces should be replaced every 20 years, or as site conditions warrant.

Catch Basins

The catch basin shall be cleaned twice per year. The cleaning shall be in the late fall after leaves have fallen and before snowfall. The second cleaning will be in springtime after snow melt to remove accumulated debris and sand from the catch basin sump. In no case, shall the sediment level exceed 50% of the sump volume of the catch basin.

A tractor truck may be used to clean the catch basin. Disposal of liquids and solids contained in the tractor truck require specific disposal protocol and discharge permits. Operators shall be aware of the regulations. Decanted water from the catch basin may not be returned to the catch basin.

Infiltration Galleries

The retention galleries shall be inspected annually. If sediment is observed at the inlet to the gallery system, it shall be removed.

Landscaping

The site landscaping shall be maintained including trimming and replacing plant materials that have died or diseased. All grass areas shall be maintained by cutting and fertilizing. All fertilizer application shall be based upon a yearly evaluation of the required nutrient levels and fertilizer application shall be calibrated accordingly to avoid excessive amounts of fertilizer.

Other

There shall be no outside storage of maintenance equipment or supplies. There shall be no unregistered vehicles stored on the site.

SOILS TESTING RESULTS

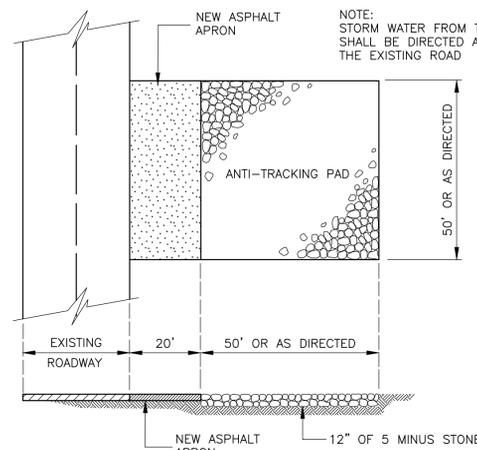
TESTING PERFORMED: 5/7/20

Test Hole 100
0 - 10 Top soil
10 - 39 Brown silty soil
39 - 78 OBLS compact
No Ledge, water, Redoximorphic Features
Restrictive layer @ 47
Roots @ 45

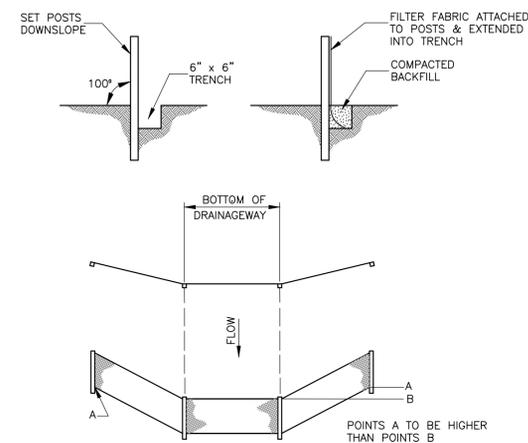
Test Hole 101
0 - 9 Top soil
9 - 36 Brown silty soil
36 - 82 OBLS compact
No Ledge, water, Redoximorphic Features
Restrictive layer @ 44
Roots @ 38

Test Hole 102
0 - 8 Top soil
8 - 24 Brown silty soil
24 - 68 OBLS compact
No Ledge, water, Redoximorphic Features
Weep @ 52
Restrictive layer @ 32
Roots @ 28

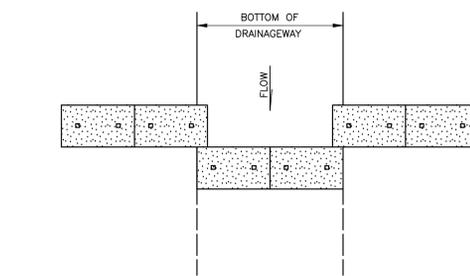
Percolation Test P= 100 upper soil layer D=26"
1:30 Presoak
3:306.50
3:409.25
3:5010.50
4:0011.25
4:1011.75
4:2012.25
4:3012.75
Rate = 1" in 20 min



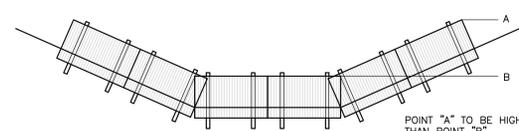
ANTI-TRACKING PAD



SYNTHETIC FILTER BARRIER

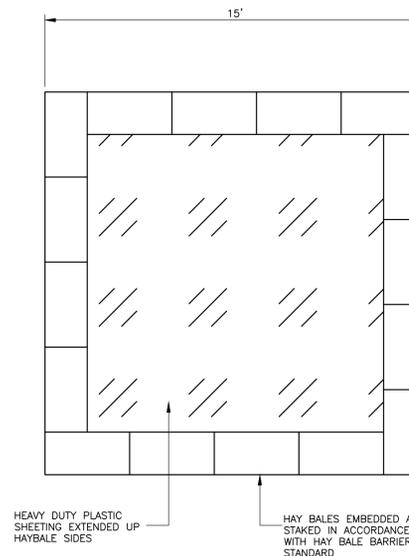


PLAN

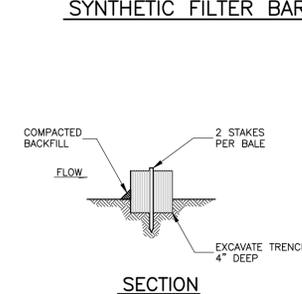


ELEVATION

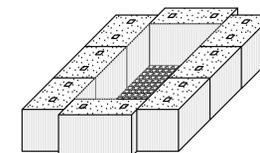
HAYBALE BARRIER



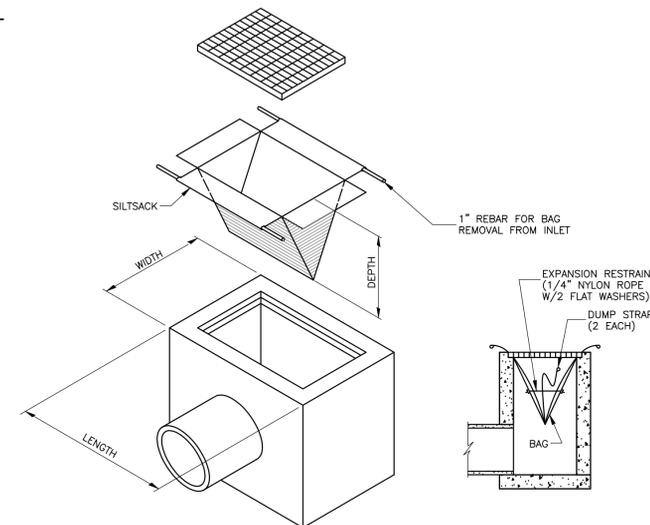
CONCRETE WASHOUT BASIN



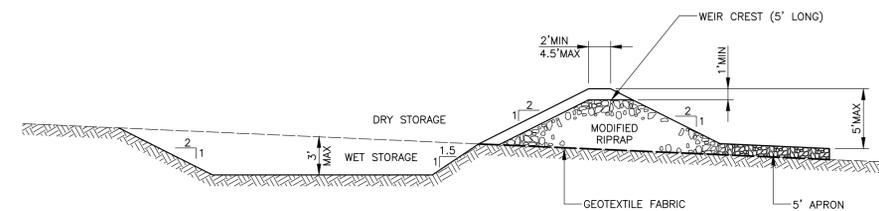
SECTION



AT CATCH BASIN



SEDIMENT CONTROL AT INLET

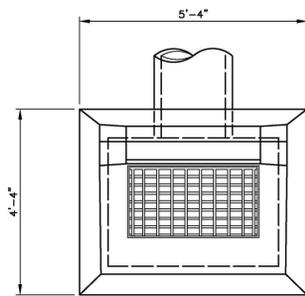


TEMPORARY SEDIMENT TRAP

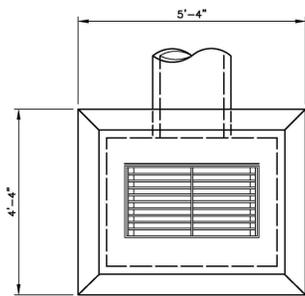
DETAILS
1056 DANIELS FARM ROAD
TRUMBULL, CONNECTICUT
PREPARED FOR
BRIDGEPORT ROMAN CATHOLIC DIOCESAN CORP.

1	7-9-20	P&Z
NO.	DATE	DESTINATION
SUBMITTALS		

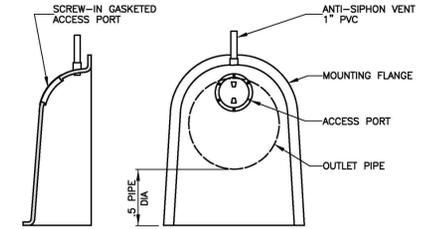
DATE:	4-27-2020	SCALE:	N.T.S.	DRAFTER:	TMR	JOB NO:	2695	FILE NUMBER:	
DAVID S. BJORKLUND JR.		CT P.E. 11361		SPATH-BJORKLUND ASSOCIATES, INC.		PO Box 324, Monroe, Connecticut 06468		Phone: 203-268-5216	



NOTE:
WHERE PRECAST CONCRETE UNITS ARE USED FOR THE SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETTING FROM THE CATCH BASIN



NOTE:
WHERE PRECAST CONCRETE UNITS ARE USED FOR THE SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETTING FROM THE CATCH BASIN



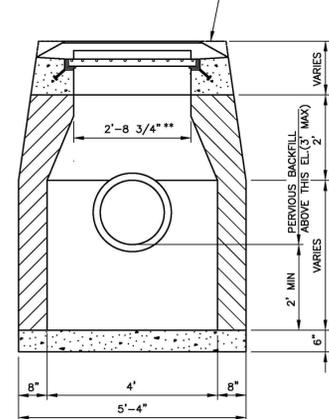
"SNOUT" OIL-WATER-DEBRIS STOP BY BEST MANAGEMENT PRODUCTS OR APPROVED EQUAL
HOOD SIZE AS DETERMINED BY OUTLET PIPE SIZE

PLASTIC HOOD

PLAN

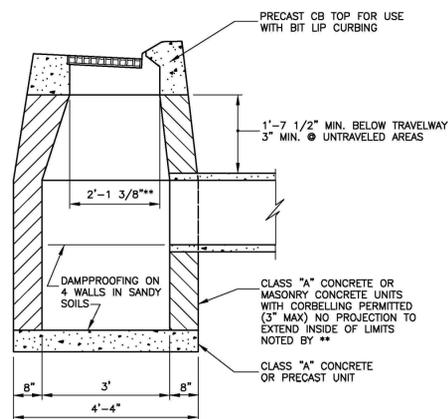
ALTERNATE CONSTRUCTION WITH FULL CURB BACK TO BE USED AT LOCATIONS ADJACENT TO EXISTING OR PROPOSED CURBING

PLAN

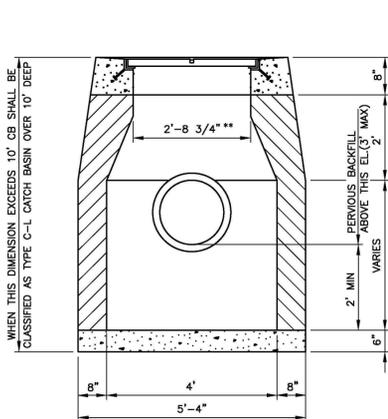


FRONT

TYPE "C" CATCH BASIN

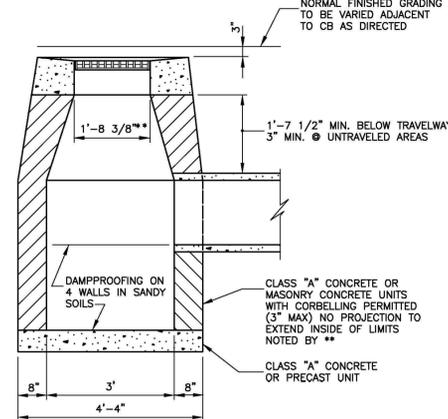


SIDE

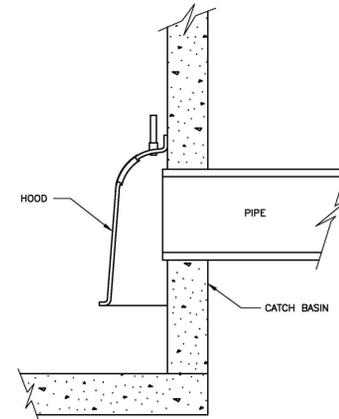


FRONT

TYPE "C-L" CATCH BASIN



SIDE



HOODED CATCH BASIN

Connecticut Precast Corp. 555 Fan Hill Road, Monroe, CT 06468 Telephone (203) 268-8688 Fax (203) 452-1007

Catch Basins

2' x 2' Area Drain

NOTES:
1. Reinforced 6 x 6 x 10 gauge mesh or to specifications.
2. Approximate weights:
3' 2100 lbs.
4' 2800 lbs.

12-03-07

AREA DRAIN CATCH BASIN

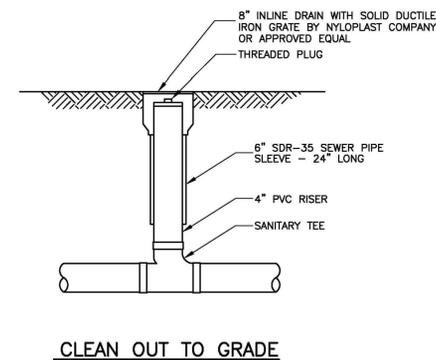
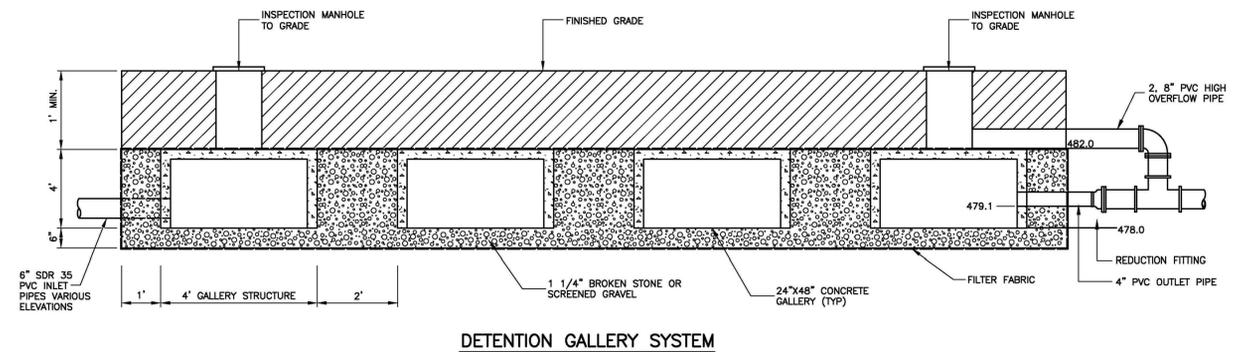
Connecticut Precast Corp. 555 Fan Hill Road, Monroe, CT 06468 Telephone (203) 268-8688 Fax (203) 452-1007

Catch Basins

2'x2' Area Drains - Tops

36" x 36" Precast Concrete Top

Cast Iron Drain Covers



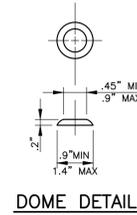
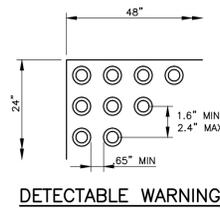
DAVID S. BJORKLUND JR. CT P.E. 11361

DETAILS
1056 DANIELS FARM ROAD
TRUMBULL, CONNECTICUT
PREPARED FOR
BRIDGEPORT ROMAN CATHOLIC DIOCESAN CORP.

DATE:	4-27-2020	SCALE:	N.T.S.	DRAFTER:	TMR	JOB NO:	2695	FILE NUMBER:	
NO.	DATE	DESTINATION							
1	7-9-20	P&Z							
SUBMITTALS									

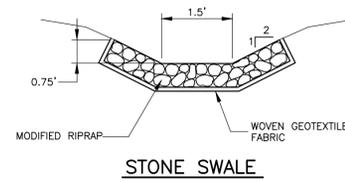
SPATH-BJORKLUND ASSOCIATES, INC.
PO Box 324, Monroe, Connecticut 06468
Phone: 203-268-5216

D-2

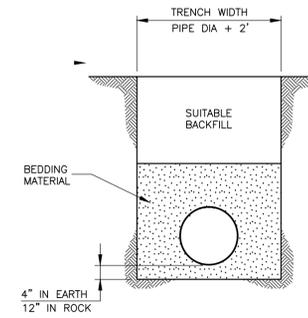


DETECTABLE WARNING

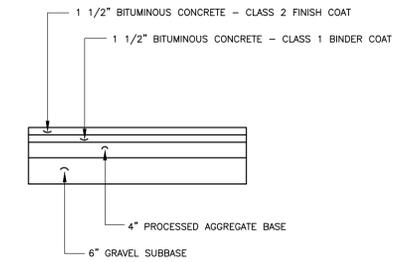
DOMES DETAIL



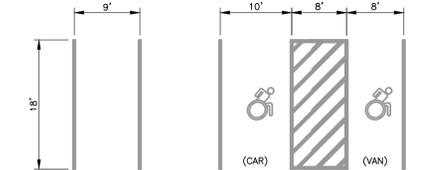
STONE SWALE



DRAINAGE PIPE TRENCH



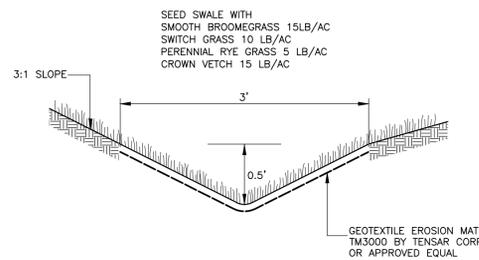
PAVEMENT SECTION



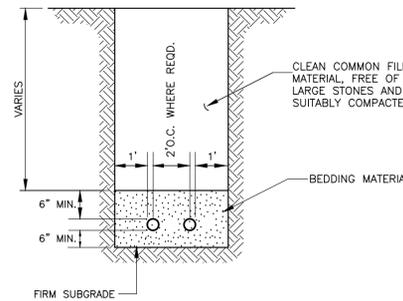
PARKING SPACES

PARKING SPACES

NOTE: HANDICAP PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

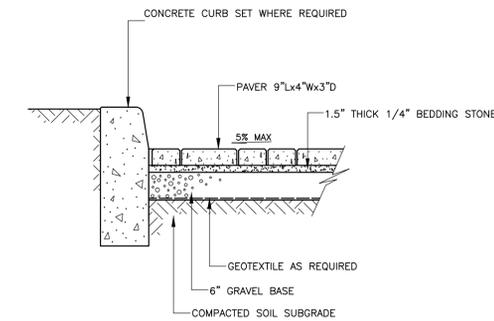


GRASS SWALE



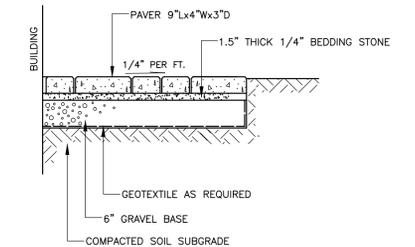
UTILITIES TRENCH

BEDDING MATERIAL TO BE SAND OR SANDY SOIL WHICH PASSES A 3/8" SIEVE WITH NOT MORE THAN 10% PASSING A #200 SIEVE. WHEN GROUND WATER IS ENCOUNTERED, THE ENGINEER MAY ALLOW 3/4" STONE CONFORMING TO CT DOT FORM 817 ARTICLE M.01.01 TO BE USED INSTEAD.



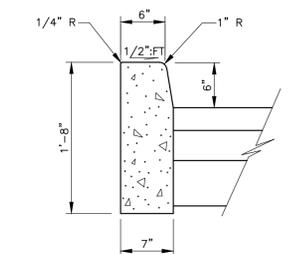
PERMEABLE PAVERS

(AT PORT COCHERE)

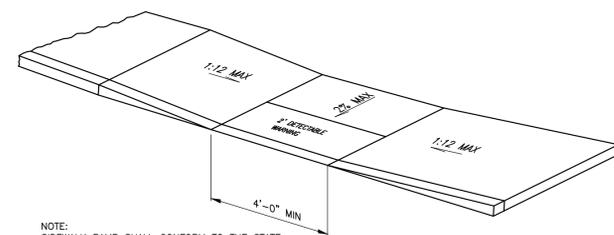


PERMEABLE PAVERS

(AT BUILDING)

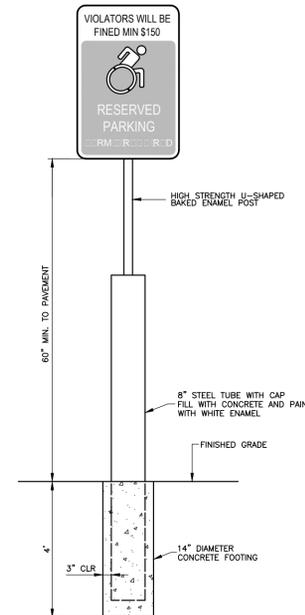


CONCRETE CURBING



SIDEWALK RAMP

NOTE: SIDEWALK RAMP SHALL CONFORM TO THE STATE OF CONNECTICUT DOT STANDARDS, STATE BUILDING CODE AND ADA REQUIREMENTS



PARKING BOLLARD

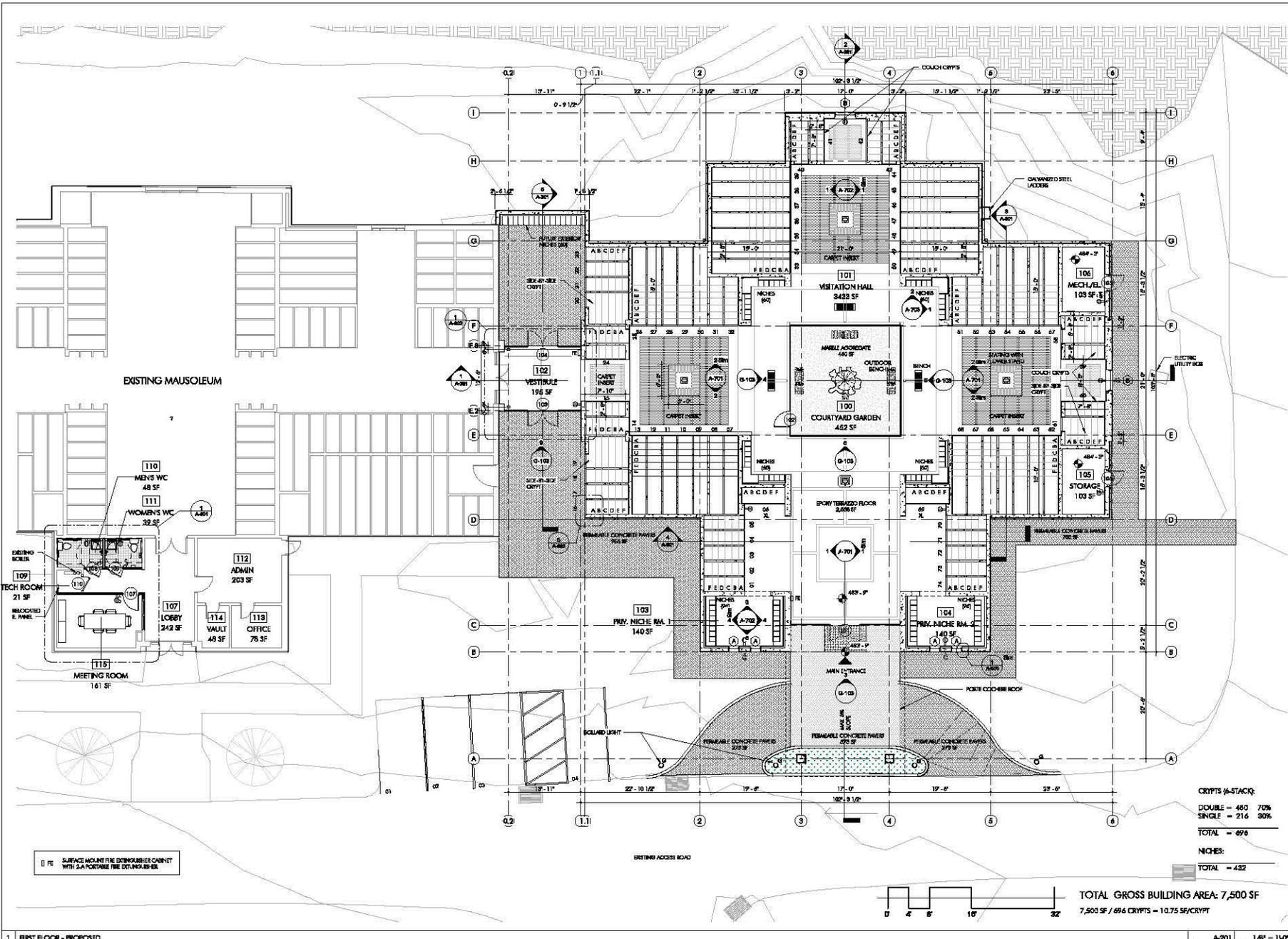
DETAILS
1056 DANIELS FARM ROAD
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DATE:	SCALE:	DRAFTER:	JOB NO:	FILE NUMBER:
4-27-2020	N.T.S.	TMR	2695	

SPATH-BJORKLUND ASSOCIATES, INC
PO Box 324, Monroe, Connecticut 06468
Phone: 203-268-5216



EXISTING MAUSOLEUM

110 MENS WC 48 SF
111 WOMENS WC 32 SF

109 TECH ROOM 21 SF
107 LOBBY 242 SF
112 ADMIN 263 SF
114 VAULT 48 SF
113 OFFICE 75 SF
115 MEETING ROOM 161 SF

101 VISITATION HALL 3433 SF
100 COURTYARD GARDEN 452 SF
100 MECH./VEL. 103 SF

103 PREV. NICHE RM. 140 SF

104 PREV. NICHE RM. 140 SF

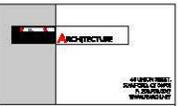
105 STORAGE 103 SF

0 FE SURFACE MOUNT FIRE EXTINGUISHER CABINET WITH 2x4 PORTABLE FIRE EXTINGUISHERS

CRYPTS (6-STACK):
DOUBLE = 480 70%
SINGLE = 216 30%
TOTAL = 696

NICHES:
TOTAL = 432

TOTAL GROSS BUILDING AREA: 7,500 SF
7,500 SF / 696 CRYPTS = 10.75 SF/CRYPT



DATE	11-22-19
PROJECT NO.	19-299
DRAWN BY	RS
CHECKED BY	RS
DRAWING NO.	A-101
DATE	
SCALE	
REVISION	
NO. 1	
NO. 2	
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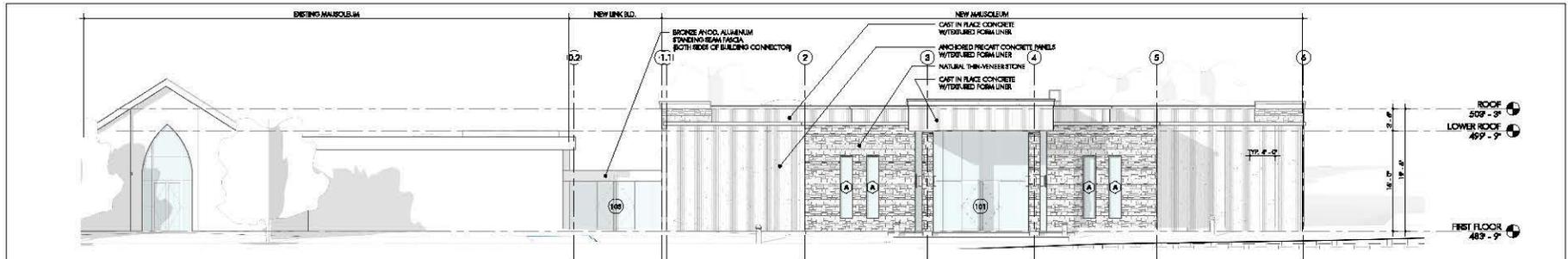
DATE	11-22-19
PROJECT NO.	19-299
DRAWN BY	RS
CHECKED BY	RS
DRAWING NO.	A-101
DATE	
SCALE	
REVISION	
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NO. 100	

GATE OF HEAVEN MAUSOLEUM
1000 SANDHILL PARK ROAD, TRUMBULL, CT 06611

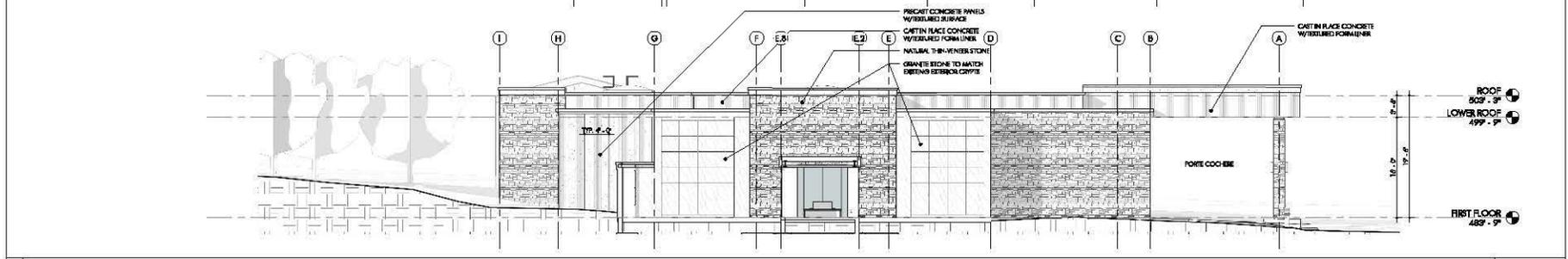
FIRST FLOOR

SCALE: 1/8" = 1'-0"

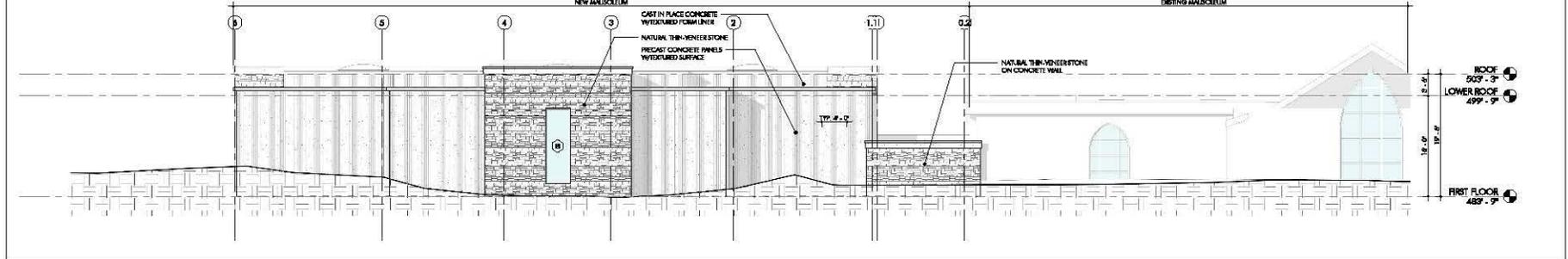
DATE: 11-22-19
PROJECT NO.: 19-299
DRAWN BY: RS
CHECKED BY: RS
DRAWING NO.: A-101



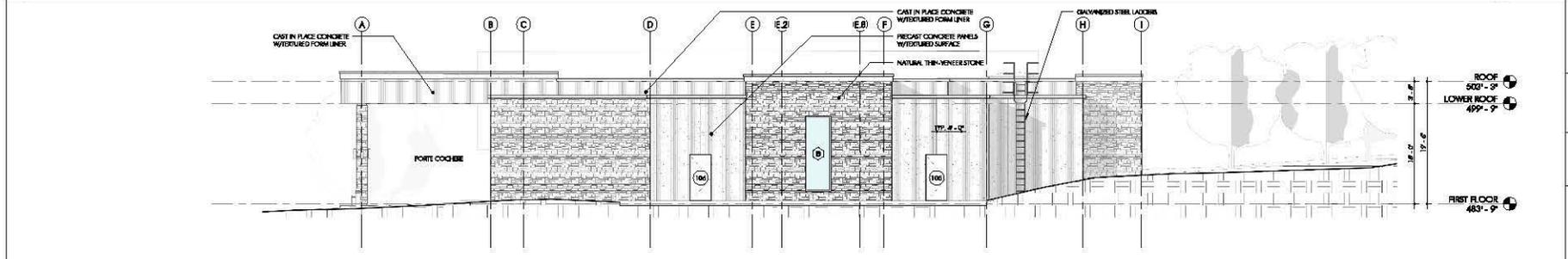
4 EAST ELEVATION 1/8" = 1'-0"



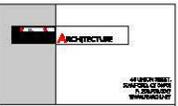
3 SOUTH ELEVATION 1/8" = 1'-0"



2 WEST ELEVATION 1/8" = 1'-0"



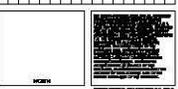
1 NORTH ELEVATION 1/8" = 1'-0"



ALL OTHER MATERIALS TO BE MATCHED TO EXISTING MATERIALS UNLESS OTHERWISE NOTED

1000 BROWN

NO.	DATE	DESCRIPTION	BY	CHKD.
1	11/22/19	ISSUED FOR PERMITS	SEA	SS
2	11/22/19	ISSUED FOR PERMITS	SEA	SS
3	11/22/19	ISSUED FOR PERMITS	SEA	SS
4	11/22/19	ISSUED FOR PERMITS	SEA	SS
5	11/22/19	ISSUED FOR PERMITS	SEA	SS
6	11/22/19	ISSUED FOR PERMITS	SEA	SS
7	11/22/19	ISSUED FOR PERMITS	SEA	SS
8	11/22/19	ISSUED FOR PERMITS	SEA	SS
9	11/22/19	ISSUED FOR PERMITS	SEA	SS
10	11/22/19	ISSUED FOR PERMITS	SEA	SS
11	11/22/19	ISSUED FOR PERMITS	SEA	SS
12	11/22/19	ISSUED FOR PERMITS	SEA	SS
13	11/22/19	ISSUED FOR PERMITS	SEA	SS
14	11/22/19	ISSUED FOR PERMITS	SEA	SS
15	11/22/19	ISSUED FOR PERMITS	SEA	SS
16	11/22/19	ISSUED FOR PERMITS	SEA	SS
17	11/22/19	ISSUED FOR PERMITS	SEA	SS
18	11/22/19	ISSUED FOR PERMITS	SEA	SS
19	11/22/19	ISSUED FOR PERMITS	SEA	SS
20	11/22/19	ISSUED FOR PERMITS	SEA	SS



GATE OF HEAVEN MAUSOLEUM
 1000 SANDHILL PARK ROAD,
 TRUMBULL, CT 06611

ELEVATIONS

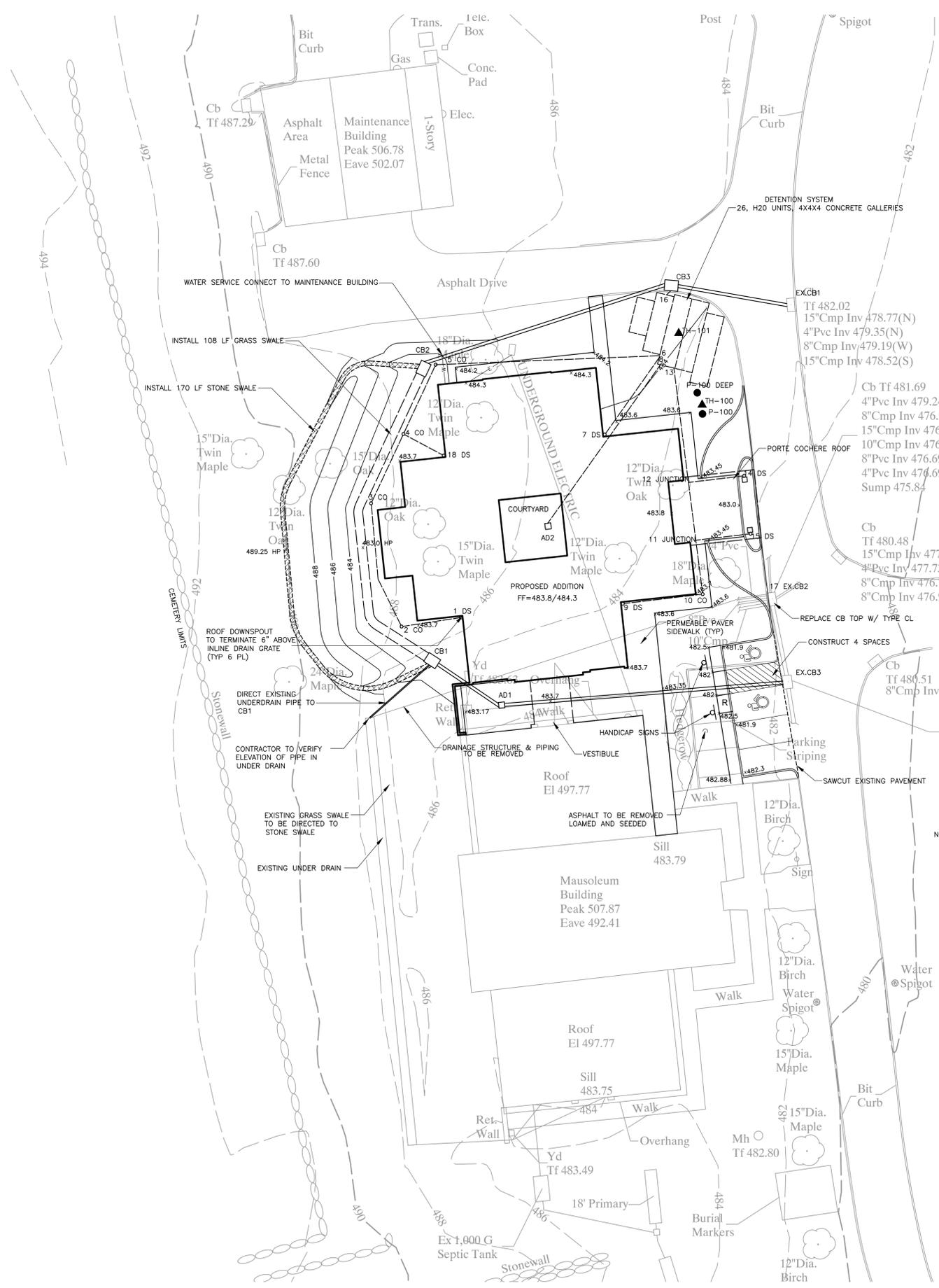
SEA & SHURTLEFF ARCHITECTURE
 DATE: 11-22-19
 PROJECT NO.: 19-799
 DRAWN BY: SS
 CHECKED BY: SS
 DRAWING NO.: A-201
 SCALE: AS SHOWN



N/F
BRIDGEPORT ROMAN
CATHOLIC DIOCESAN CORP.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING DRAINAGE
- PROPOSED DRAINAGE
- EXISTING SANITARY
- FOOTING DRAIN
- ROOF DRAIN
- WATER SERVICE
- GAS LINE
- ELECTRIC SERVICE
- CLEAN OUT TO GRADE
- FINISHED FLOOR
- GARAGE FLOOR
- BASEMENT FLOOR
- HANDICAP RAMP
- INLAND WETLANDS WITH FLAG #
- OBSERVATION HOLE
- PERCOLATION TEST
- GRADE TO DRAIN
- SYNTHETIC FILTER BARRIER
- WATER BREAK
- LIMIT OF DISTURBANCE
- BUILDING SETBACK LINE
- UPLAND REVIEW LIMIT
- WATERCOURSE



DRAINAGE STRUCTURES

1 DOWN SPOUT INV 481.0	2 CLEAN OUT INV 480.84	3 CLEAN OUT INV 480.52	4 CLEAN OUT INV 480.33	5 CLEANOUT INV 480.13	6 GALLERY INV 479.56
7 DOWN SPOUT INV 481.0	8 GALLERY INV 480.51	9 DOWN SPOUT INV 480.1	10 CLEAN OUT INV	11 JUNCTION INV 480.65	12 JUNCTION INV 480.51
13 GALLERY INV 479.57	14 DOWN SPOUT INV 481.0	15 DOWN SPOUT INV 481.0	16 GALLERY INV OUT 480.1	17 CB INV 476.1	18 DS INV 481.0
CB1 TYPE CL TF 482.5 INV 478.6	CB2 TYPE CL TF 482.3 INV 479.42	CB3* TYPE C TF 484.0 INV 478.80	AD1** TF 483.35 INV 478.06	AD2 TF 483.45 INV 481.00	

* BASIN TO BE FITTED WITH HOOD
 ** CATCH BASIN GRATE SHALL BE ADA COMPLIANT. THE GRATES IN WALKING SURFACES SHALL HAVE SLOT OPENINGS OF 1/2" OR LESS IN ONE DIRECTION. GRATES WITH ELONGATED OPENING WILL BE PLACED WITH LONG DIMENSION PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

DRAINAGE PIPES

ALL PIPES ARE PVC SDR 35 OR SCH 40 WITH SOLVENT WELDED JOINT. THE PIPES ARE TO BE WATER TIGHT.

FROM 1 DS TO 2 CO SIZE: 6" SLOPE: 0.75% LENGTH: 21 LF	FROM 2 CO TO 3 CO SIZE: 6" SLOPE: 0.75% LENGTH: 43 LF	FROM 3 CO TO 4 CO SIZE: 6" SLOPE: 0.75% LENGTH: 25 LF	FROM 4 CO TO 5 CO SIZE: 6" SLOPE: 0.75% LENGTH: 25 LF	FROM 5 CO TO 6 GALLERY SIZE: 6" SLOPE: 0.75% LENGTH: 76 LF	FROM 7 DS TO 8 GALLERY SIZE: 6" SLOPE: 1.53% LENGTH: 32 LF
FROM 9 DS TO 10 CO SIZE: 6" SLOPE: 0.75% LENGTH: 28 LF	FROM 10 CO TO 11 JUNCTION SIZE: 6" SLOPE: 0.75% LENGTH: 18 LF	FROM 11 JUNCTION TO 12 JUNCTION SIZE: 6" SLOPE: 0.75% LENGTH: 19 LF	FROM 12 JUNCTION TO 13 GALLERY SIZE: 6" SLOPE: 0.75% LENGTH: 112 LF	FROM 14 DS TO 12 JUNCTION SIZE: 6" SLOPE: 2.58% LENGTH: 19 LF	FROM 15 DS TO 11 JUNCTION SIZE: 6" SLOPE: 1.84% LENGTH: 19 LF
FROM 16 GALLERY TO 17 CB3 SIZE: 4" SLOPE: 18.00% LENGTH: 2 LF	FROM CB1 TO AD1 SIZE: 12" SLOPE: 1.92% LENGTH: 28 LF	FROM AD1 TO EX CB3 SIZE: 12" SLOPE: 1.92% LENGTH: 97 LF	FROM CB2 TO CB3 SIZE: 12" SLOPE: 0.75% LENGTH: 83 LF	FROM CB3 TO EX CB1 SIZE: 12" SLOPE: 0.75% LENGTH: 37 LF	FROM AD2 TO GALLERY SIZE: 6" SLOPE: 0.75% LENGTH: 65 LF
FROM 18 DS TO 4 CO SIZE: 6" SLOPE: 4.8% LENGTH: 14 LF					

NOTE: INTERIOR CRYPT DRAINS ARE TO BE DIRECTED TO THE GRAVEL BASE MATERIAL UNDER BUILDING SLAB.

SITE PLAN
 1056 DANIELS FARM ROAD
 TRUMBULL, CONNECTICUT
 PREPARED FOR
 BRIDGEPORT ROMAN CATHOLIC DIOCESAN CORP.

SCALE: 1"=20'

DATE: 5-20-20	SCALE: 1"=20'	DRAFTER: TMR	JOB NO: 2695	FILE NUMBER:
------------------	------------------	-----------------	-----------------	--------------

SPATH-BJORKLUND ASSOCIATES, INC.
 PO Box 324, Monroe, Connecticut 06468
 Phone: 203-268-5216

1	7-9-20	P&Z
NO.	DATE	DESTINATION
SUBMITTALS		

Town of Trumbull
CONNECTICUT

Planning and Zoning
Department
Telephone (203) 452-5044
Fax (203) 452-5169



Town Hall
5866 Main Street
Trumbull, Connecticut 06611

PLANNING AND ZONING DEPARTMENT

APPLICATION FOR SPECIAL PERMIT OR SITE PLAN APPROVAL

- SPECIAL PERMIT
- SITE PLAN REVIEW

RECEIVED

JUL 20 2020

- By PZC # 20-05
PLANNING & ZONING
- ZONE: Commercial Zone B-C, B-C LH, TH Node, MDD
- Industrial Zone I-L, I-L2, I-L3
- Residential Zone A, AA, AAA
- Overlay Zone _____

Location of Property: 123 Monroe Turnpike

Assessor's Map No.: D-01 Parcel No.: 00028 Lot No.: _____

Trumbull Land Records: Volume: 1745 Page: 395

Applicant: Extra Flour, LLC DBA Mex on Main Nick Montanaro

Address of Applicant: 6528 Main St.

Telephone Number: Day 203-520-3276 Evening _____

Email Address: ONEPUTNick@ATT.NET

Owner of Record: M & J Properties

Address of Owner of Record: 415 Saxe nee Circle

Telephone Number: (203) 261-7333 Email drbonz64@o22.net

Party to be notified: Applicant

Address of Attorney or Agent: _____

Telephone Number: _____ Email: _____

Site Engineer: Fred Damico

Address of Owner of Record: _____

Telephone Number: _____ Email: _____

Relevant Article(s) and Section(s) of the Regulations: (i.e. Art __, Sec __)

Description of the proposed request, including specific use to be conducted:
occupying 1250 sq-ft for a restaurant in
industrial space. Limited parking. Mostly to go
business.

Is the property within 500 feet of another municipality?

YES NO

Does this proposal involve a structure that was built before 1940?

YES NO

Does this proposal require the approval of the Inland Wetlands Agency?

YES NO

Are there any deed restrictions on this property that may affect this application?

YES NO

Has a previous application been filed for this property?

YES NO

If yes, when? _____ Attach a copy of decision letter.

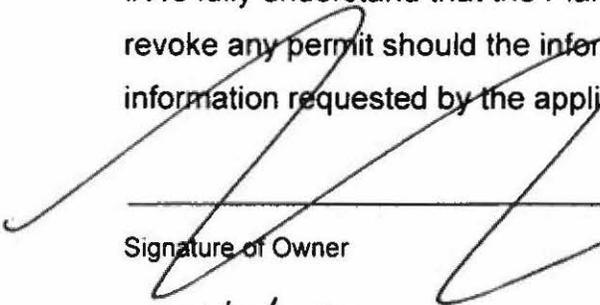
Project is to be started on ASAP Completed on Jan. 6, 2021

List of Federal and State permits required and their status:
None

Certification

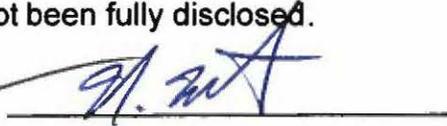
I/We certify that all of the above information and statements contained in any documentation submitted with the application are true to the best of my/our knowledge.

I/We fully understand that the Planning and Zoning Commission reserves the right to revoke any permit should the information contained herein not be true or that the information requested by the application has not been fully disclosed.



Signature of Owner

7/8/2020
Date



Signature of Applicant (if not property owner)

7/15/2020
Date

NOTICE: By signing this application, owner and applicant consent to site inspections by Town Staff and/or Commissioners.

A FEE IN ACCORDANCE WITH APPROVED FEE SCHEDULE MUST ACCOMPANY THIS APPLICATION. Make check payable to TOWN OF TRUMBULL.

FOR OFFICE USE ONLY

Date Application and Fee Received: _____ By: _____

Date of Public Hearing: _____ Date Action Taken: _____

List of Abutters Submitted: _____

Revised 2/25/2020

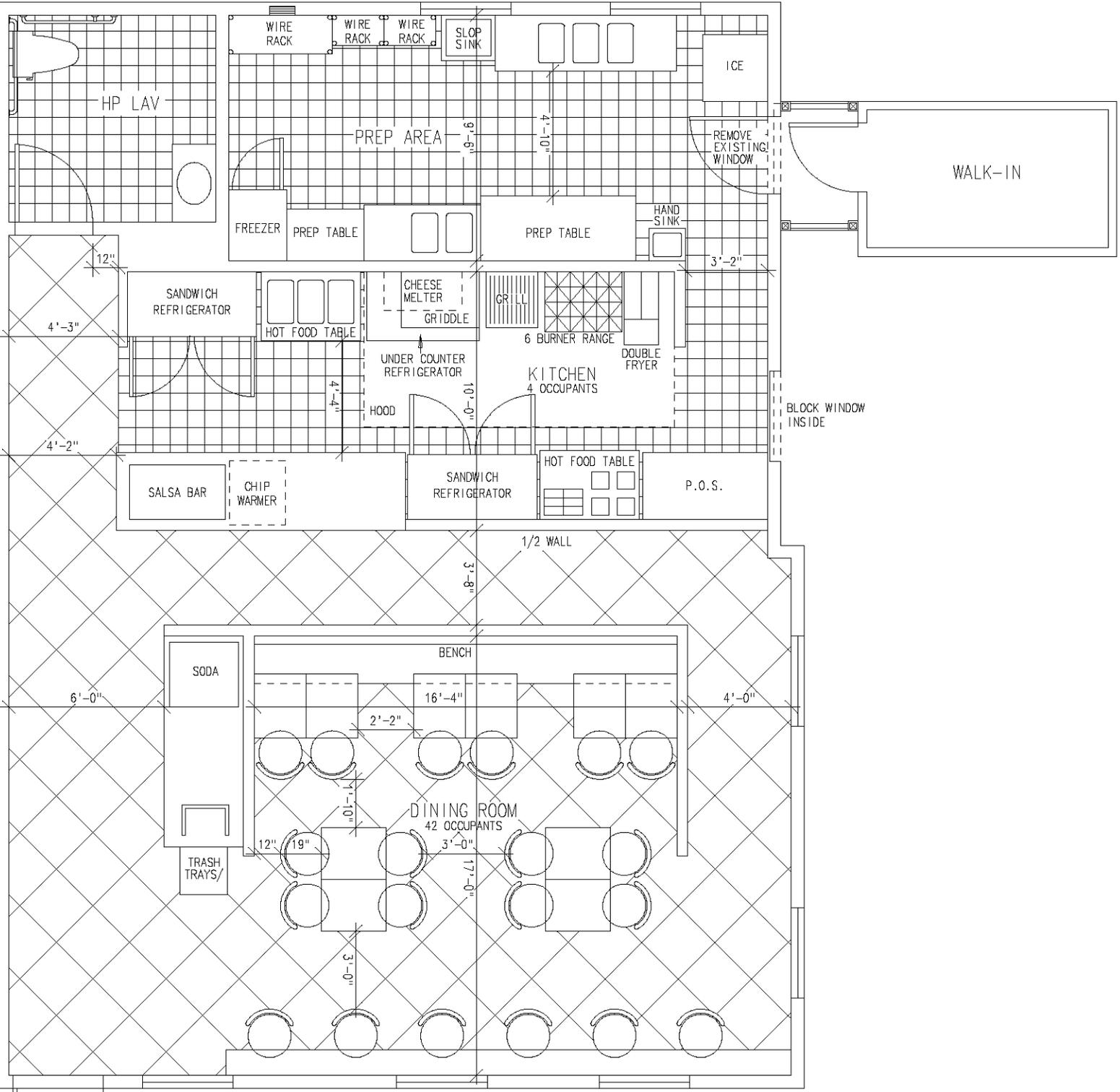
July 29, 2020

Re: Mex on Main application

We are proposing the relocation of our existing restaurant, Mex on Main, from 6528 Main Street in Trumbull to 123 Monroe Turnpike in Trumbull. The new location will serve as essentially the same operation of our existing restaurant. We will occupy 1,250 square feet in unit 4 which is the end unit on the right side of the building if looking from the street.

The only real difference from our existing location to the new location is that we will have less indoor seating. After being in business for 5 years, we have realized that a large majority of our business (approximately 85%) is take out and we would rather utilize our space for working space instead of dining space. We currently have indoor seating for approximately 30 people and we will continue to have some indoor seating (approximately 20 seats) but less than we have now and we will have dine in orders served to table. We also have an outdoor patio which currently seats approximately 20 people and we are proposing the same at the new location.

Any questions can be directed to Nick Montanaro by phone at 203-520-3276 or by email at oneputnick@att.net



HP LAV

WIRE RACK WIRE RACK WIRE RACK SLOP SINK

PREP AREA

ICE

REMOVE EXISTING WINDOW

WALK-IN

FREEZER

PREP TABLE

PREP TABLE

HAND SINK

SANDWICH REFRIGERATOR

HOT FOOD TABLE

CHEESE MELTER GRIDDLE

GRILL

6 BURNER RANGE

DOUBLE FRYER

UNDER COUNTER REFRIGERATOR

KITCHEN 4 OCCUPANTS

HOOD

BLOCK WINDOW INSIDE

SALSA BAR

CHIP WARMER

SANDWICH REFRIGERATOR

HOT FOOD TABLE

P.O.S.

1/2 WALL

SODA

BENCH

16'-4"

4'-0"

2'-2"

DINING ROOM 42 OCCUPANTS

TRASH TRAYS/

12"

19"

3'-0"

17'-0"

3'-0"

4'-3"

4'-2"

6'-0"

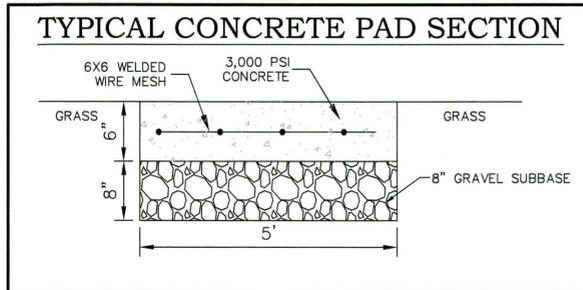
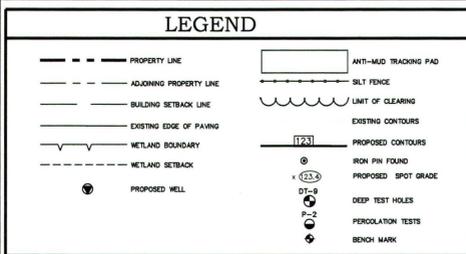
12"

9'-8"

4'-10"

3'-2"

3'-8"



NOTE:
THERE IS NO LANDSCAPING OBSTRUCTING THE SIGHTLINE

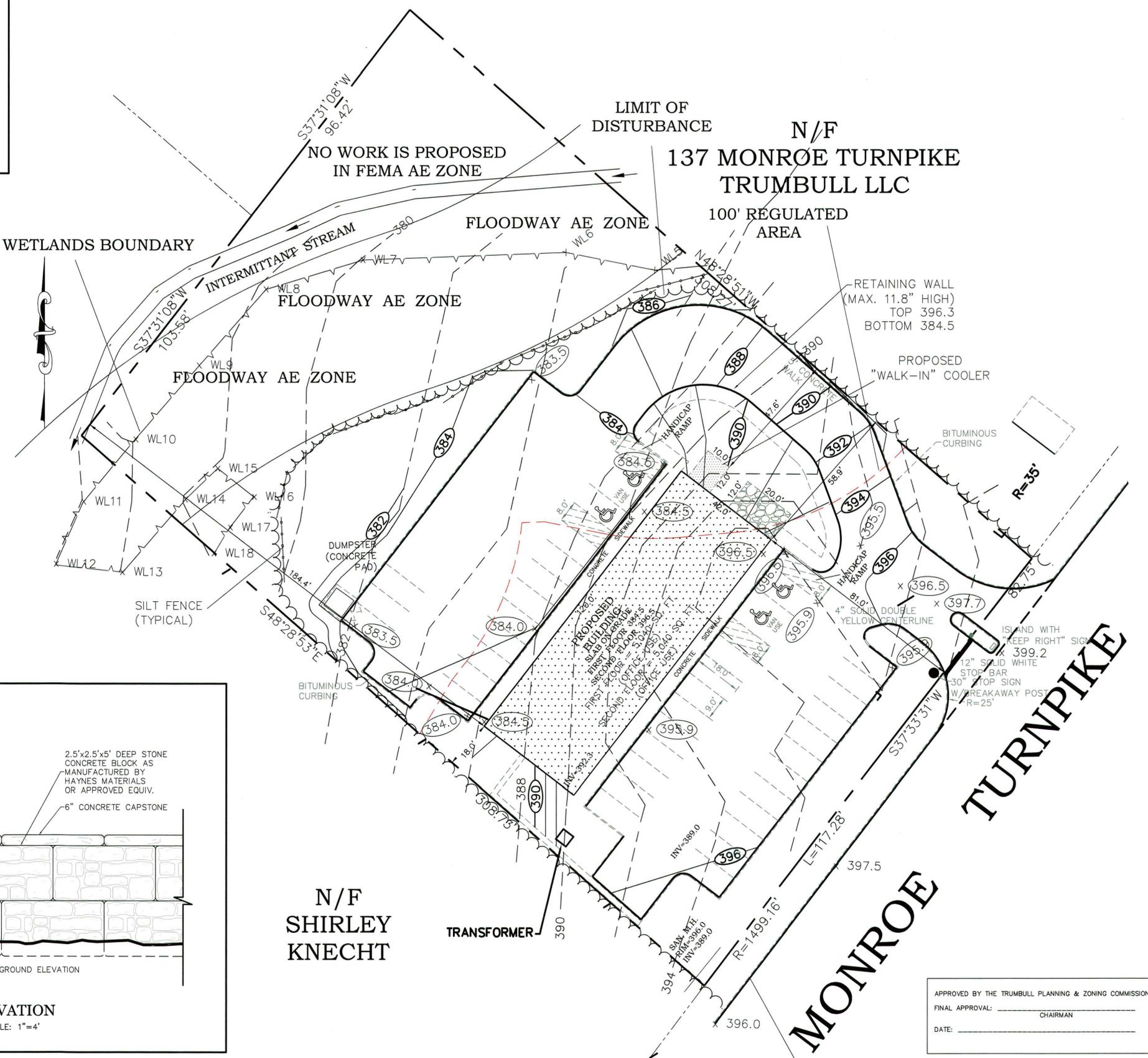
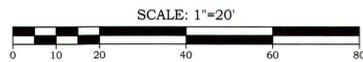
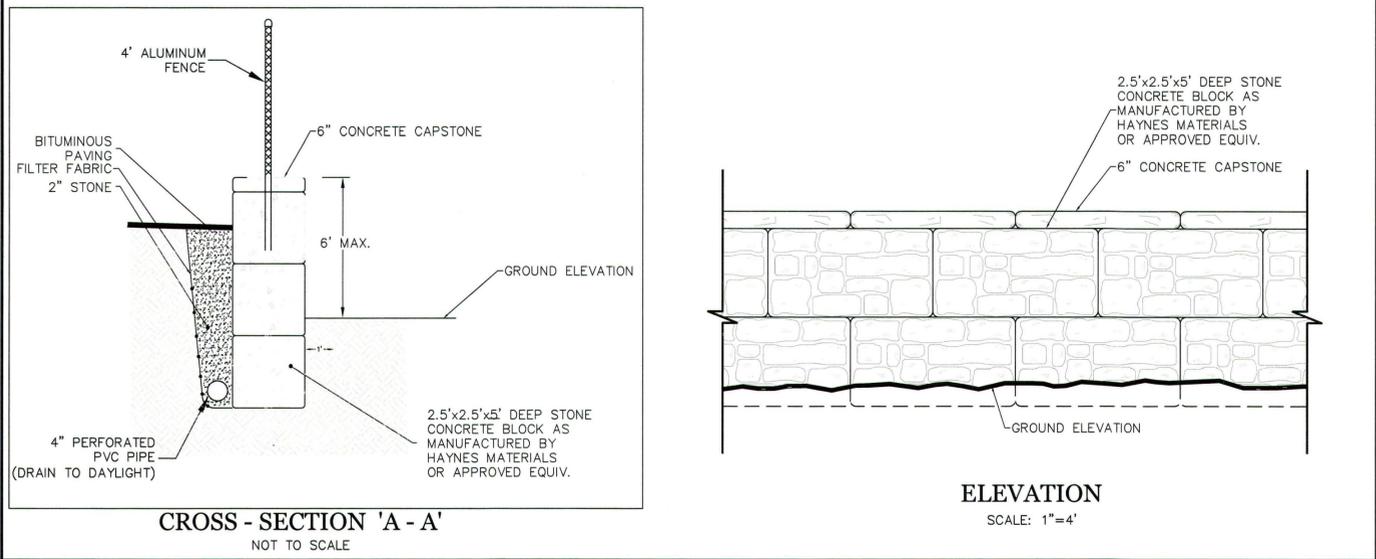
PARKING CALCULATIONS
REQUIRED

NET RETAIL AREA = 10,080 SQ. FT.
1 SPACES PER 250 NET SQ. FT.
10,080/250 = 43 SPACES
TOTAL SPACES PROVIDED 50 SPACES

Building Zone (I-L2)	MINIMUM/REQUIRED MAXIMUM/ALLOWED	PROPOSED
Minimum Lot Area	2 ACRES	1.41 ACRES
Minimum Lot Frontage	200'	200.03'
Minimum Setback from Street Line	50' With Buffer	81.0'
Minimum Setback from Side Property Line	18' **	18.0'
Minimum Setback from Rear Property Line	50'	184.4'
Maximum Height for a Building or Structure	40'	34.5'
Maximum Building Lot Coverage as a Percentage of Lot Area	33.3%	12.2%
TOTAL COVERAGE Percentage of Lot area	80%	44.3%

** VARIANCE GRANTED REF VOL 1652 PG 247

CONCRETE BLOCK WALL DETAIL

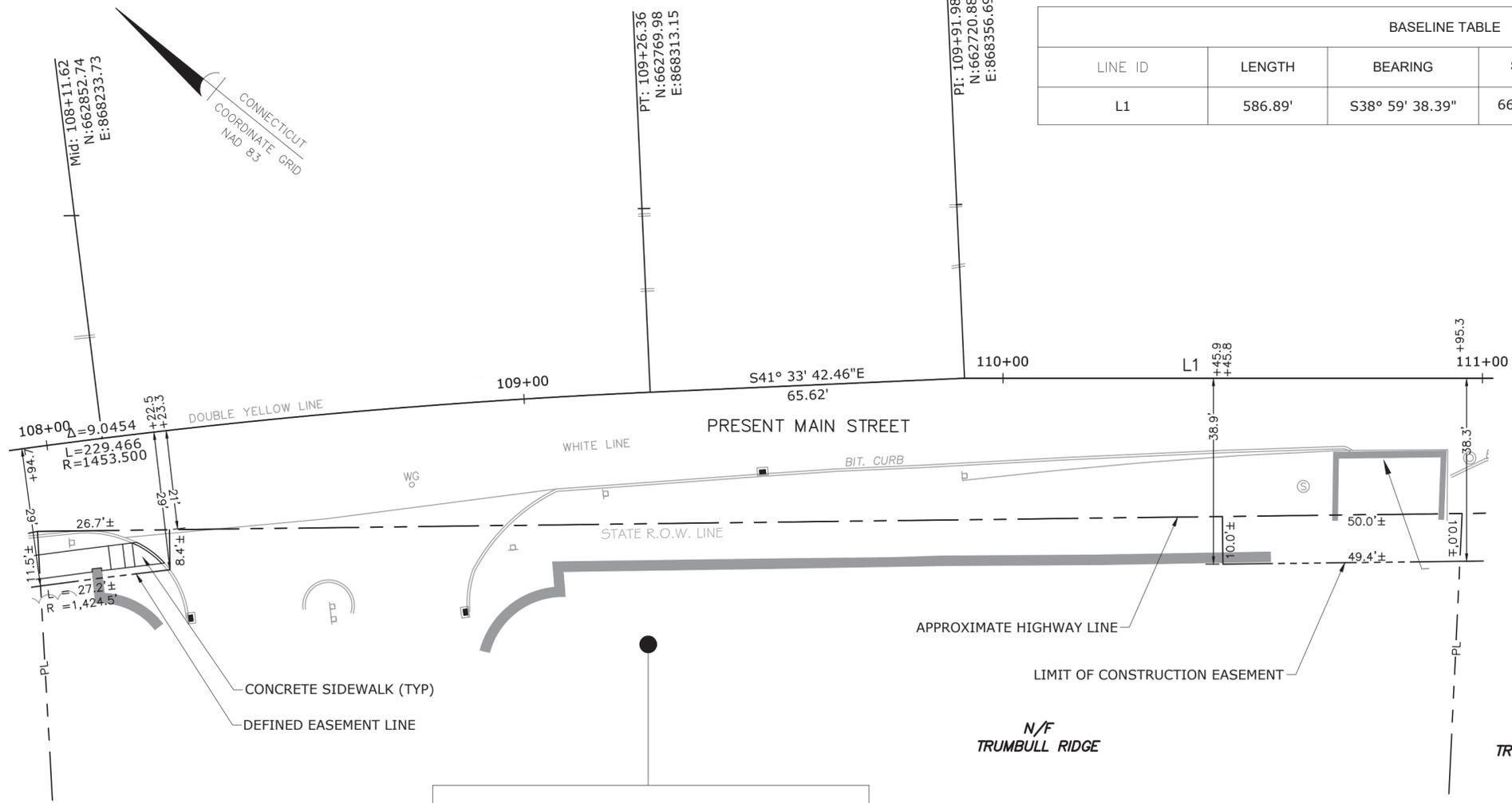


APPROVED BY THE TRUMBULL PLANNING & ZONING COMMISSION
FINAL APPROVAL: _____ CHAIRMAN
DATE: _____

INSTALL NEW BITUMINOUS CURBING ALONG THE ENTIRE PROPERTY FRONTAGE

8.	7/25/2020	ADD "WALK-IN COOLER" & PATIO	4.	5/21/2015	ADD NORTH ARROW & ADJOINING OWNERS	THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 TO 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES. IT IS A MAP BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND VERTICAL ACCURACY CLASS T-2, TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. <i>Fred D'Amico</i> FRED D'AMICO CONN. P.E., L.S. 10833	D'AMICO ASSOCIATES SURVEYING & ENGINEERING CONSULTANTS 9 PARK ROAD OXFORD, CONNECTICUT 06478 P: (203) 881-3184 F: (203) 881-0248 damicoassociates@sbcglobal.net	Job No.	2532	Drn By	FAD	Project Name	M & J PROPERTY HOLDINGS 123 MONROE TURNPIKE	Drawing Title	SITE PLAN
7.	7/7/2019	RELOCATE HANDICAP PARKING & RAMPS	3.	5/11/2015	REVISE PER TOWN ENGINEER'S COMMENTS			Scale	1"=20'	Date	12/8/2014	Trumbull	CONNECTICUT		
6.	6/19/2017	REVISE PER DOT COMMENTS	2.	1/29/2015	REVISE PER TOWN ENGINEER'S COMMENTS										
5.	5/12/2016	REVISE PER PLANNING AND ZONING COMMENTS	1.	1/3/2015	REVISE PER TOWN ENGINEER'S COMMENTS										
No.	Date	REVISION DESCRIPTION	No.	Date	REVISION DESCRIPTION										

BASELINE TABLE				
LINE ID	LENGTH	BEARING	START POINT (N, E)	END POINT (N, E)
L1	586.89'	S38° 59' 38.39"	662720.88, 868356.69	662264.75, 868725.98



N/F
TRUMBULL RIDGE VIEW
ASSOCIATION INC

N/F
TRUMBULL RIDGE

N/F
TRUMBULL VETERINARY ASSOC

TRUMBULL RIDGE CONDOMINIUMS

DEFINED EASEMENT FOR THE CONSTRUCTION AND
MAINTENANCE OF A SIDEWALK
ACQUIRED = 270 SQ.FT.±

CONSTRUCTION EASEMENT FOR THE PURPOSE OF
CONSTRUCTION ACCESS, TEMPORARY SEDIMENT
CONTROL SYSTEM INSTALLATION, AND GRADING
DURING CULVERT MODIFICATION CONSTRUCTION FOR
THE MAIN STREET SIDEWALK. CONSTRUCTION
EASEMENT TAKEN UNDER THIS PARAGRAPH WILL BE
RESTORED BY REMOVAL OF ALL TEMPORARY
EQUIPMENT, MATERIALS AND RESTORATION OF ANY
DISTURBED AREAS. SAID EASEMENT WILL BE
EXTINGUISHED UPON COMPLETION OF THE PROJECT
UNLESS SOONER EXTINGUISHED BY THE TOWN.
ACQUIRED = 498 SQ.FT.±



(IN FEET)
1 inch = 20 ft.

I hereby declare that this map is substantially correct as noted hereon

DEAN MARTIN CT. L.S. #XXXXX DATE

DRAWN BY KG DATE 2-5-2020
CHECKED BY --- DATE -----
APPR. BY ----- -----

DATE	REVISION	REQ. BY

TOWN NO. 144
PROJECT NO. 20190579-00
SERIAL NO. 1
SHEET 1 OF 1

RIGHT OF WAY SURVEY

TOWN OF TRUMBULL
MAP SHOWING EASEMENT ACQUIRED FROM
TRUMBULL RIDGE CONDOMINIUMS

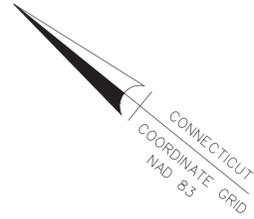
BY
THE TOWN OF TRUMBULL
PUBLIC WORKS DEPARTMENT
WHITNEY AVENUE AND MAIN STREET
INTERSECTION IMPROVEMENTS

SCALE 1" = 20'

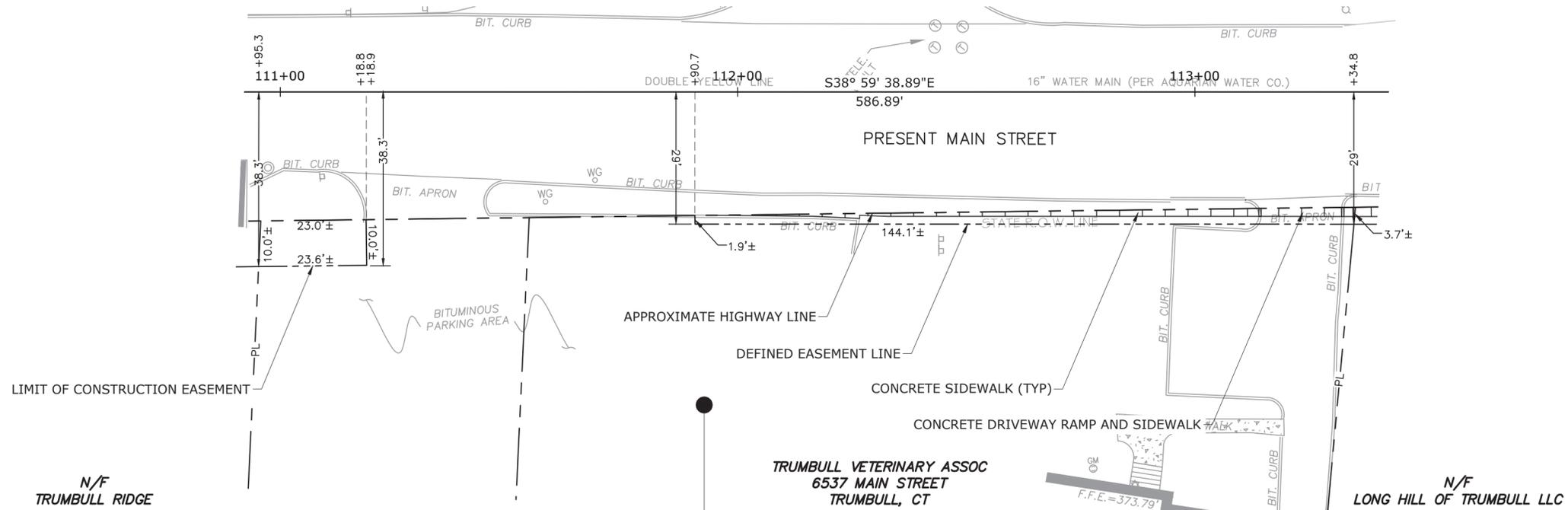
FEBRUARY 5, 2020

WILLIAM MAURER, P.E.
TOWN ENGINEER

FILE:



BASELINE TABLE			
LENGTH	BEARING	START POINT (N, E)	END POINT (N, E)
586.89'	S38° 59' 38.39"	662720.88, 868356.69	662264.75, 868725.98



TRUMBULL VETERINARY ASSOC

DEFINED EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF A SIDEWALK
ACQUIRED = 404 SQ.FT.±

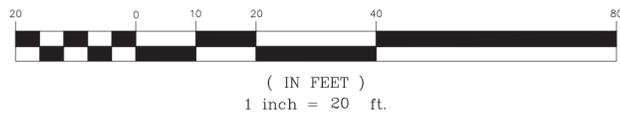
CONSTRUCTION EASEMENT FOR THE PURPOSE OF CONSTRUCTION ACCESS, TEMPORARY SEDIMENT CONTROL SYSTEM INSTALLATION, AND GRADING DURING CULVERT MODIFICATION CONSTRUCTION FOR THE MAIN STREET SIDEWALK. CONSTRUCTION EASEMENT TAKEN UNDER THIS PARAGRAPH WILL BE RESTORED BY REMOVAL OF ALL TEMPORARY EQUIPMENT, MATERIALS AND RESTORATION OF ANY DISTURBED AREAS. SAID EASEMENT WILL BE EXTINGUISHED UPON COMPLETION OF THE PROJECT UNLESS SOONER EXTINGUISHED BY THE TOWN.
ACQUIRED = 235 SQ.FT.±

RIGHT OF WAY SURVEY

TOWN OF TRUMBULL
MAP SHOWING EASEMENT ACQUIRED FROM
TRUMBULL VETERINARY ASSOC
BY
THE TOWN OF TRUMBULL
PUBLIC WORKS DEPARTMENT
WHITNEY AVENUE AND MAIN STREET
INTERSECTION IMPROVEMENTS

SCALE 1" = 20' FEBRUARY 5, 2020

WILLIAM MAURER, P.E.
TOWN ENGINEER



I hereby declare that this map is substantially correct as noted hereon

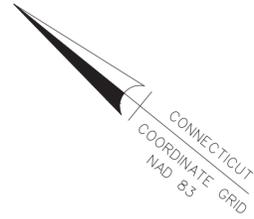
DEAN MARTIN CT. L.S. #XXXXX DATE

DRAWN BY <u>KG</u>	DATE <u>2-5-2020</u>
CHECKED BY _____	DATE _____
APPR. BY _____	_____

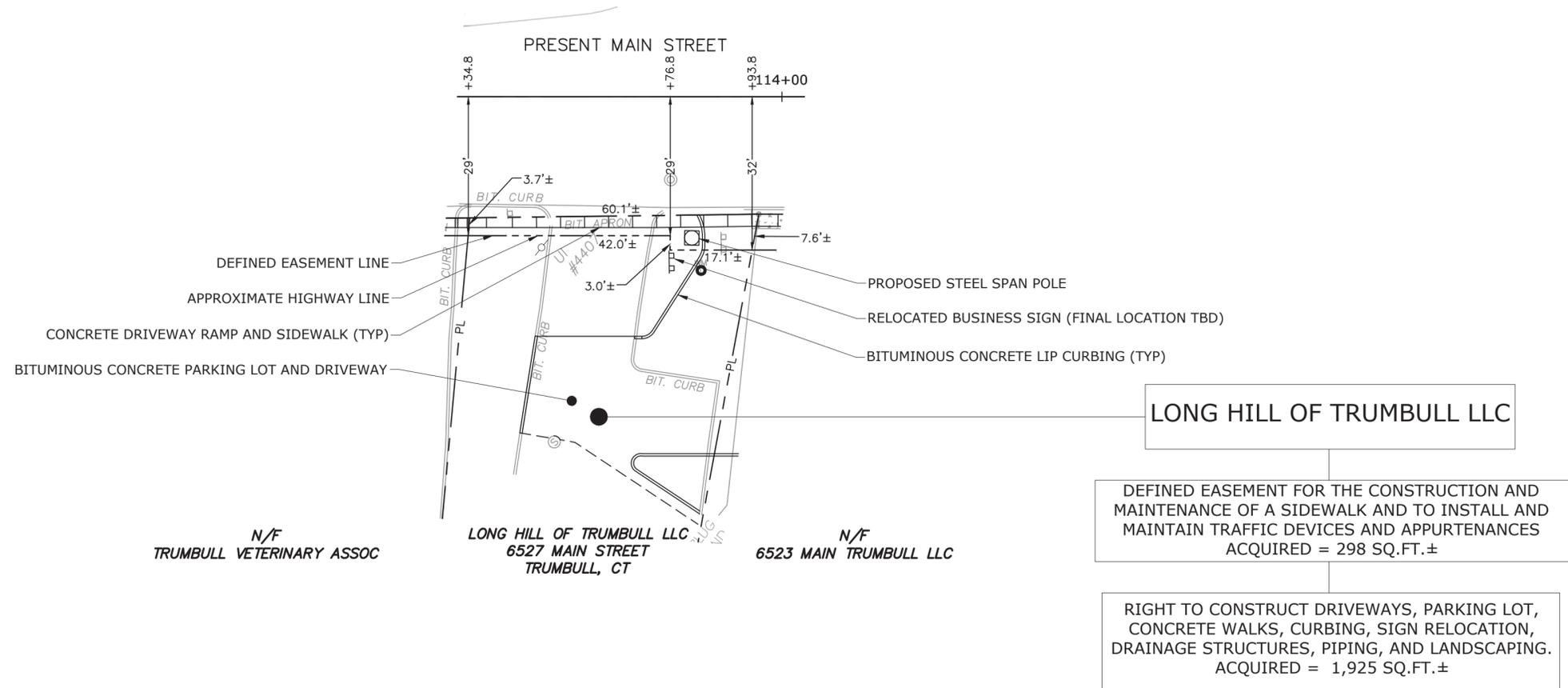
DATE	REVISION	REQ. BY

TOWN NO. 144
PROJECT NO. 20190579-00
SERIAL NO. 1
SHEET 1 OF 1

FILE:



BASELINE TABLE			
LENGTH	BEARING	START POINT (N, E)	END POINT (N, E)
586.89'	S38° 59' 38.39"	662720.88, 868356.69	662264.75, 868725.98



LONG HILL OF TRUMBULL LLC

DEFINED EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF A SIDEWALK AND TO INSTALL AND MAINTAIN TRAFFIC DEVICES AND APPURTENANCES
ACQUIRED = 298 SQ.FT.±

RIGHT TO CONSTRUCT DRIVEWAYS, PARKING LOT, CONCRETE WALKS, CURBING, SIGN RELOCATION, DRAINAGE STRUCTURES, PIPING, AND LANDSCAPING.
ACQUIRED = 1,925 SQ.FT.±

N/F
TRUMBULL VETERINARY ASSOC

LONG HILL OF TRUMBULL LLC
6527 MAIN STREET
TRUMBULL, CT

N/F
6523 MAIN TRUMBULL LLC

RIGHT OF WAY SURVEY

TOWN OF TRUMBULL
MAP SHOWING EASEMENT ACQUIRED FROM
LONG HILL OF TRUMBULL LLC

BY
THE TOWN OF TRUMBULL
PUBLIC WORKS DEPARTMENT
WHITNEY AVENUE AND MAIN STREET
INTERSECTION IMPROVEMENTS

SCALE 1" = 20'

FEBRUARY 5, 2020

WILLIAM MAURER, P.E.
TOWN ENGINEER

I hereby declare that this map is substantially correct as noted hereon



(IN FEET)
1 inch = 20 ft.

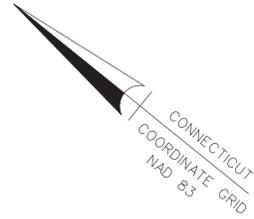
DEAN MARTIN CT. L.S. #XXXXX DATE

DRAWN BY <u>KG</u>	DATE <u>2-5-2020</u>
CHECKED BY _____	DATE _____
APPR. BY _____	_____

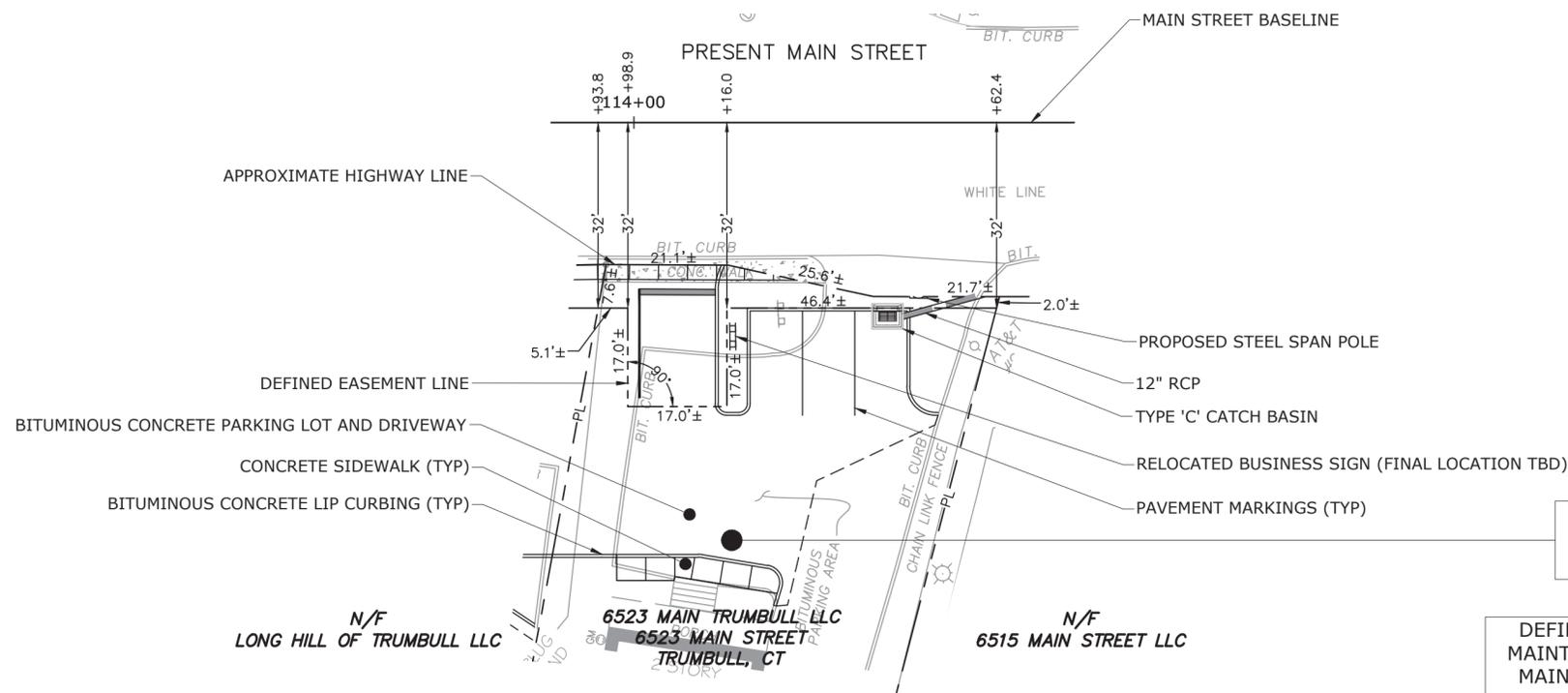
DATE	REVISION	REQ. BY

TOWN NO. 144
PROJECT NO. 20190579-00
SERIAL NO. 1
SHEET 1 OF 1

FILE:



BASELINE TABLE			
LENGTH	BEARING	START POINT (N, E)	END POINT (N, E)
586.89'	S38° 59' 38.39"	662720.88, 868356.69	662264.75, 868725.98



6523 MAIN TRUMBULL LLC

DEFINED EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF A SIDEWALK AND TO INSTALL AND MAINTAIN TRAFFIC DEVICES AND APPURTENANCES
ACQUIRED = 610 SQ.FT.±

RIGHT TO CONSTRUCT DRIVEWAYS, PARKING LOT, CONCRETE WALKS, CURBING, SIGN RELOCATION, DRAINAGE STRUCTURES, PIPING, AND LANDSCAPING.
ACQUIRED = 2,268 SQ.FT.±

RIGHT OF WAY SURVEY

TOWN OF TRUMBULL
MAP SHOWING EASEMENT ACQUIRED FROM
6523 MAIN TRUMBULL LLC
BY
THE TOWN OF TRUMBULL
PUBLIC WORKS DEPARTMENT
WHITNEY AVENUE AND MAIN STREET
INTERSECTION IMPROVEMENTS

SCALE 1" = 20' FEBRUARY 5, 2020

WILLIAM MAURER, P.E.
TOWN ENGINEER



(IN FEET)
1 inch = 20 ft.

I hereby declare that this map is substantially correct as noted hereon

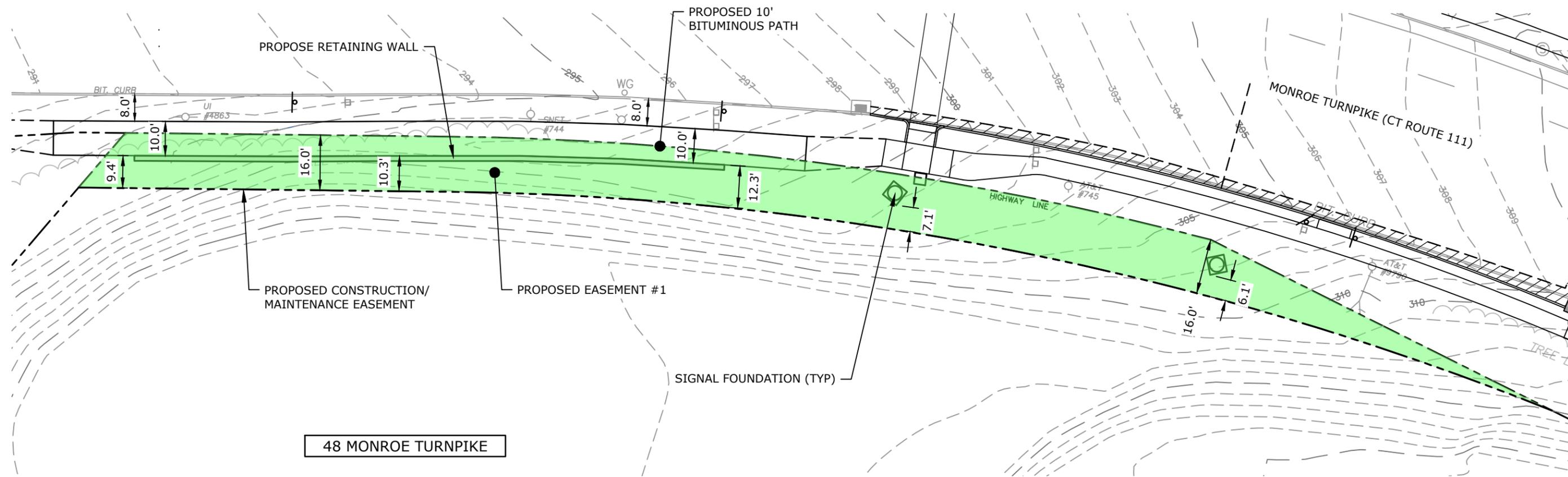
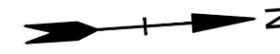
DEAN MARTIN CT. L.S. #XXXXX DATE

DRAWN BY <u>KG</u>	DATE <u>2-5-2020</u>
CHECKED BY _____	DATE _____
APPR. BY _____	_____

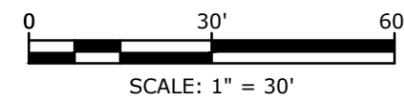
DATE	REVISION	REQ. BY

TOWN NO. 144
PROJECT NO. 20190579-00
SERIAL NO. 1
SHEET 1 OF 1

FILE:



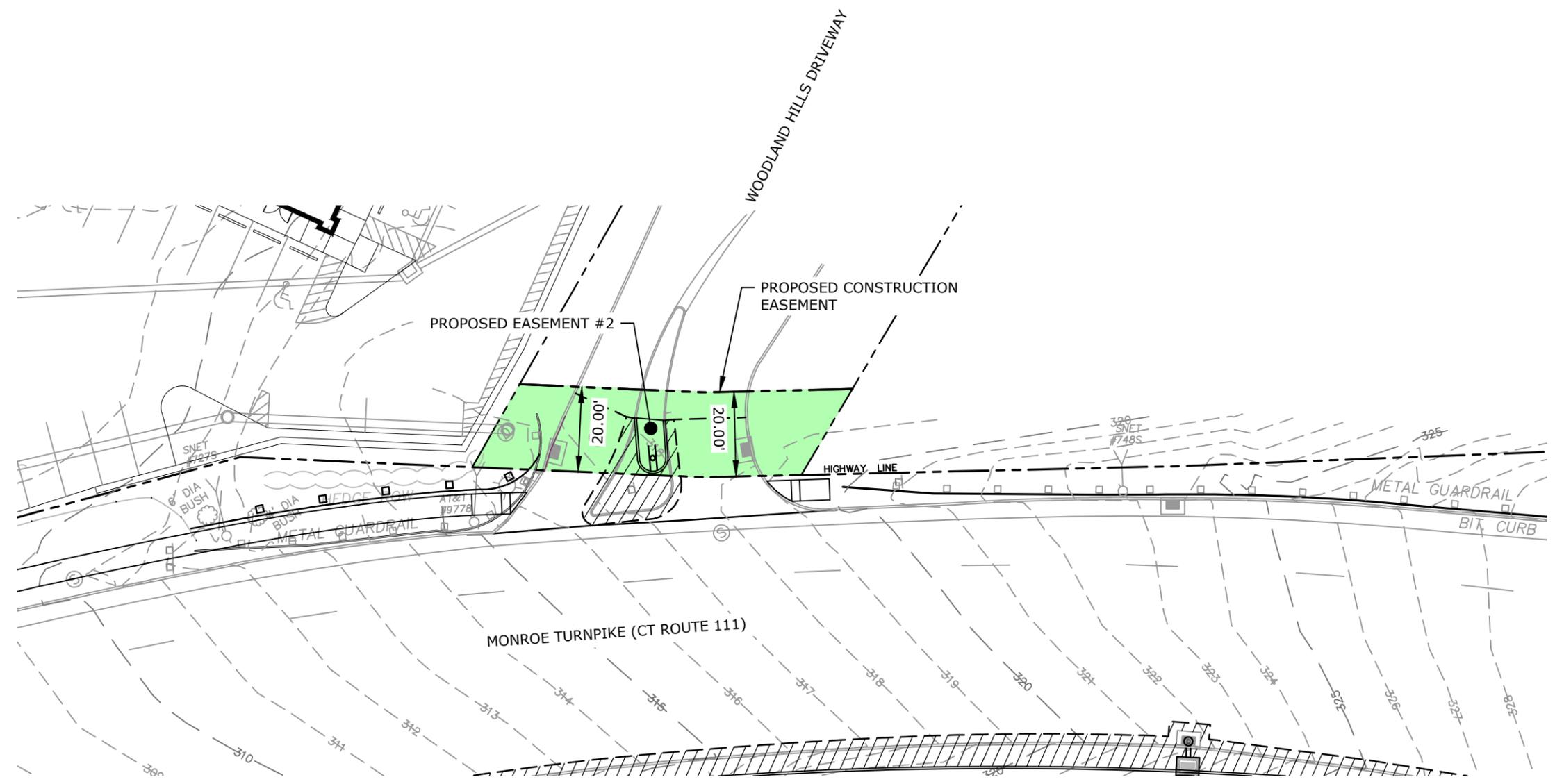
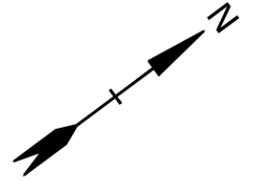
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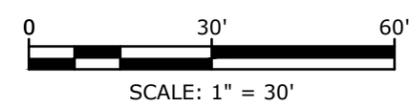
ROUTE 111 SIGNAL AND ROADWAY TRUMBULL, CONNECTICUT	
PROPOSED EASEMENT #1 48 MONROE TURNPIKE CONSTRUCTION/MAINTENANCE EASEMENT	
DATE:	08/05/2020
SCALE:	1" = 30'
FIGURE:	E1



WOODLAND HILLS

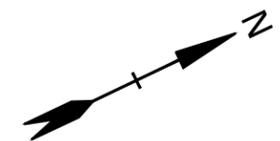


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<p>ROUTE 111 SIGNAL AND ROADWAY TRUMBULL, CONNECTICUT</p>	
<p>PROPOSED EASEMENT #2 WOODLAND HILLS CONSTRUCTION EASEMENT</p>	
DATE:	08/05/2020
SCALE:	1" = 30'
FIGURE:	E2



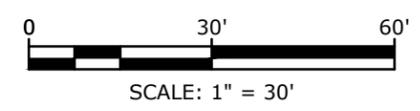


41 MONROE TURNPIKE

43/51 MONROE TURNPIKE



Plotted On: Aug 10, 2020 8:43am By: TAS
Tighe & Bond: J:\VT\T0196\130 - Route 111 Traffic Signal\Drawings - Figures\AutoCAD\Figures\Easements\T0196-130-EASE.dwg



ROUTE 111 SIGNAL AND ROADWAY TRUMBULL, CONNECTICUT	
PROPOSED EASEMENT #3 41 & 43/51 MONROE TURNPIKE CONSTRUCTION EASEMENT	
DATE:	08/05/2020
SCALE:	1" = 30'
FIGURE:	E3



William C. Maurer, PE, LS
Town Engineer

TOWN OF TRUMBULL
CONNECTICUT

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5866 Main Street
Trumbull, Connecticut 06611
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August 20, 2020

Mr. Robert Librandi
Town of Trumbull Planning and Zoning

RE: 1056 Daniels Farm Road

Dear Mr. Rob Librandi,

As part of the Special Permit Application #20-06, a copy has been submitted to the Engineering Department for review on August 17, 2020. Upon review of the submitted material, we offer the following comments:

- 1. Applicant must show compliance with the Administrative Policy for Stormwater Management and Drainage Design Standards.**

Sincerely,

A handwritten signature in black ink, appearing to read "Tatiana Solovey".

Tatiana Solovey, P.E.
Assistant Town Engineer

CC: Chairmen Garrity

**Town of Trumbull
CONNECTICUT**

**Planning and Zoning
Department**
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Town Hall
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06611

**PLANNING AND ZONING
DEPARTMENT**

STAFF REPORT
P&Z APPLICATION 20-6
1057 Daniels Farm Rd.
Bridgeport Roman Catholic Diocesan Corp.

Applicable Zoning: AA (Residential Zone)
30 Acres
Built 1981 and 2005
Wetlands on the property but not within regulated area.

Article II Section 1.2 and Article XV

RE: 1056 Daniels Farm Rd. 7, 500sf. Addition were in 2019 the applicant was approved a 3,328 Sf.
Addition to the existing mausoleum.

USE REGULATIONS (Article II Section 1.2.1 (Page 46) Article VX)

	Section	Detail	Allowed or Required	Proposed	Note
	1.2.4.3	Special Permit Uses	Allowed	Cemeteries	
	1.2.4.3	Bulk Requirements	Allowed	Setback	the new addition which is less than 100 feet from the property line
	4.2.7	Signage		No signage shown	Any signage must be approved by Special Permit to PZ and comply with AA zone Regulations

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PLANNING AND ZONING
DEPARTMENT

Comments from staff:

1. Will any lighting or signage be placed on the building?
2. Will the addition be visible from the street in any way? If so what buffering will be installed?
3. How does the commission feel about the architectural design of the structure?
4. Will any fill be brought in or taken out
5. Will this be slab on grade
6. More parking should be discussed 4 spaces shown on Plan S-1

Conclusion: The current mausoleum is more than 500 feet away from the street and is in the rear of a property that is owned by the same entity. The commission should make sure there is substantial vegetative buffering along the addition so that it will not be visible from the road which the current building is not.



Sincerely,

William C. Maurer, PE, LS
Town Engineer

TOWN OF TRUMBULL
CONNECTICUT

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Trumbull, Connecticut 06611
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Fax: 203.452.5061



August 20, 2020

Mr. Robert Librandi
Town of Trumbull Planning and Zoning

RE: 123 Monroe Tpke

Dear Mr. Rob Librandi,

As part of the Special Permit Application #20-05, a copy has been submitted to the Engineering Department for review on August 17, 2020. Upon review of the submitted material, we offer the following comments:

- 1. Prior to any site disturbances, applicant must make an application to The Inland Wetlands and Water Course Commission.**
- 2. Applicant must show compliance with the Administrative Policy for Stormwater Management and Drainage Design Standards.**

Sincerely,

A handwritten signature in black ink, appearing to read "Tatiana Solovey".

Tatiana Solovey, P.E.
Assistant Town Engineer

CC: Chairmen Garrity

**Town of Trumbull
CONNECTICUT**



**Planning and Zoning
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5866 Main Street
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PLANNING AND ZONING DEPARTMENT

August 24, 2020

STAFF REPORT
P&Z APPLICATION 20-05
123 Monroe Turnpike
Extra Flour LLC.

Applicable Zoning: IL-2 Zone (2 Industrial Zone)
Article II Section 4 (Page 130-141)
Year built 2019
10,000sqft
Wetlands on site

OVERVIEW

The applicant is requesting Special Permit/ Site Plan Approval to allow a restaurant use of 1250sqft. with walk-in cooler addition and patio in the IL-2 Zone. The 1.41 Acre site received approvals from the Inland Wetlands Commission due to limited disturbance in the regulated area. The site is also located in the AE FEMA Flood zone. The applicant also received a side yard variance form the Zoning Board of Appeals to allow the building 18 feet from the s/w corner of the property.

DETAILED ZONING COMPLIANCE ANALYSIS

COLOR KEY

	Complies with regulation
	May be a point for discussion or question
	Does not comply with regulation
	Regulation cited is not applicable in this case, but has been checked

USE REGULATIONS (Article II Section 1.3.2 (Page 62) and 1.3.4 (Page 67))

	Section	Detail	Allowed or Required	Proposed	Note
	4.2.4	Special Permit Uses	Allowed	Restaurant	Full service restaurant Allowed with Special permit approval

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PLANNING AND ZONING DEPARTMENT

4.2.5	Bulk Requirements	Allowed	Addition of walk in cooler and Patio	ZBA and IW approvals given where does not meet regulations
4.2.6 Article III 4.10	Provisions for Vehicles	Allowed	50 spaces shown where 64 required	1250sqft 8 spaces required 12x20patio= 240 SF. 9 Restaurant 5 Mathnasium 8 Medical Office site 50 including 4 handicapped
4.2.7	Signage		Signage on wall	Any signage was approved

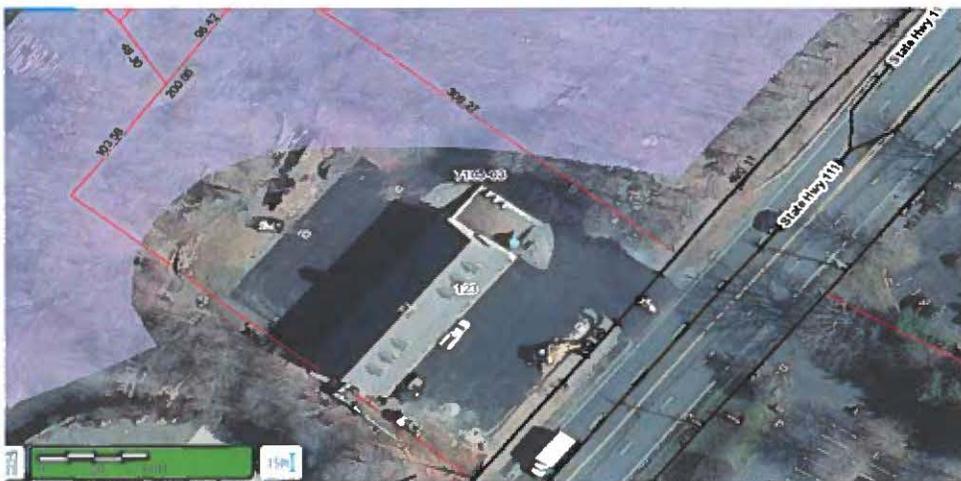
Comments from staff:

1. How many employees will the restaurant have at a time?
2. Hours of operation?
3. What type of safety barriers will be put in place around the patio in the front? Fencing, bollards ect.
4. How many seats total with the patio and dining room.
5. Bollards must be installed around patio?
6. Any liquor sold onsite?

Conclusion:

The IL-2 Zone allows for a full service restaurant with an accessory use of take out.

This Building has of right now occupies 2 businesses. The medical Office in the rear and Mathnasium facing the street. As there are a lot of office and medical use businesses in this area there is not many places for employees to get food. I believe this is the intent of this regulation to allow people working in an Industrial zone the ability to have access to food close by.



Sincerely