

**Town of Trumbull**  
**CONNECTICUT**

**Planning and Zoning  
Department**  
Telephone (203) 452-5044  
Fax (203) 452-5169



**Town Hall**  
5866 Main Street  
Trumbull, Connecticut  
06611

**ZONING BOARD OF APPEALS**

To: MEMBERS OF THE ZONING BOARD OF APPEALS  
RE: REGULAR MEETING – **WEDNESDAY, OCTOBER 7, 2020**

The Zoning Board of Appeals will hold a Regular Meeting on Wednesday, October 7, 2020 at 7:00 p.m. online via videoconference.

**AGENDA**

**PUBLIC MEETING**  
7:00 P.M.

**PLEDGE OF ALLEGIANCE**

**ROLL CALL**

**REGULAR MEETING**

**ACCEPTANCE OF MINUTES**

Acceptance of the Minutes from the September 2, 2020 Zoning Board of Appeals Regular Meeting.

**APPLICATIONS**

**Application #20-24 – 55 Woodlawn Drive, David Steeves for Donna Quinlan** - Variance of Art. II, Sec. 4.3.1 and Art. III, Sec. 1 to construct a 12' x 21.1' deck 15' from the north side lot line.

**Application #20-29 – 94 Killian Avenue, Chris Russo, Esq. for The Richard F. Greenwood Testamentary Trust** – Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Trumbull Zoning Regulations) to reduce the minimum lot size from 21,780 sq. ft. to 11,713 sq. ft. for proposed Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot size from 21,780 sq. ft. to 13,566 sq. ft. for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot frontage from 125' to 75' for proposed Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot frontage from 125' to 85.5' for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum side yard from 20' to 4.8' for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to increase the maximum floor area ratio from 0.29 to 0.304 for the lot identified as #94 Killian Avenue.

**Application #20-30 - 15 Elberta Avenue, Chris Russo, Esq. for Daniel Burzynski –**

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Trumbull Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot size from 21,780 sq. ft. to 7,086 sq. ft. for Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot size from 21,780 sq. ft. to 7,141 sq. ft. for Lot B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot frontage from 125' to 50' for Lots A & B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum front yard from 50' to 28.5' for Lots A & B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum side yard from 20' to 10.5' for Lots A & B on one side setback and 11.2' on the other side setback for both proposed Lots A and B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to increase the maximum floor area ratio from 0.29 to 0.378 for Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to increase the maximum floor area ratio from 0.29 to 0.376 for Lot B.

**Application # 20-33 - 480 Church Hill Road, Christopher Russo for Domingos Moura.**

Variance of Art. II Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to subdivide one parcel into Lots "A" and "B" and reduce the minimum road frontage of 125' to 111.79' for each proposed parcel.

**Application # 20-34 - 6567 Main Street, Christopher Russo Esq. for Trumbull Super Stop Realty LLC.** Variance of Art. I. Sec. 4.2 and Art. II Sec. 1.3.1 to install 4 vacuum stations at the S/S of the property and relocate the existing air pump to the same vicinity.

**Application # 20-35 - 11 Cook Circle, Elissa and Christopher Lorant.** Variance of Art. I Sec 4.3.1 and Art. III Sec. I to add a 14' x 14' sunroom 49.2' from the rear lot line at its closest point, and add a pool deck 28' from the rear lot line at its closest point.

**Application # 20-36 – 1362 Huntington Road, Alexandra Casabianca.** Variance of Art. I, Sec. 4.3.1 and Art. III, Sec. I to add a second story addition to a pre-existing non-conforming dwelling, 49.5' from the front lot line, 4.6' from the S/S lot line, and 43.5' from the rear lot line.

**Application 20-37 – 15 Magnolia Road, Brittany and Domingos Vaz, Jr.** Variance of Art I, Sec. 4.3.1 and Art. III Sec. I to add a second story addition to the existing dwelling 49.3' from the front property line at its closest point.

Consider and act on applications from tonight's Public Hearing.

Join the meeting online:

<https://zoom.us/j/99673192916?pwd=cDRGNHZ3TnQ3RUk2ci9aUjQwVWJodz09>

Webinar ID: 996 7319 2916

Password: 235468

Join by telephone:

(312) 626-6799 or (833) 548-0276 (Toll Free)

Webinar ID: 996 7319 2916

Dated at Trumbull, CT this 30<sup>th</sup> day of September, 2020.

By: Linda Finger, Clerk

**COMMISSION MEMBERS: PLEASE NOTIFY Linda Finger, Clerk, AT 203-452-5044 or [lfinger@trumbull-ct.gov](mailto:lfinger@trumbull-ct.gov), IF YOU ARE UNABLE TO ATTEND.**



A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
  - Floor Area
  - Lot Area
  - Lot Coverage
  - Damage Reconstruction
  - Parking
  - Extension of enlargement of non-conforming use or building
  - Other (explain)
- 
- 

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) 9 PARAGRAPH(S) 9.7  
SUBPARAGRAPH(S) Exhibit

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

NO

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NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE

APPLICABLE: Deck will be built approximately 25' from the rear property line and sunroom will be built approximately 48' from the rear property line.

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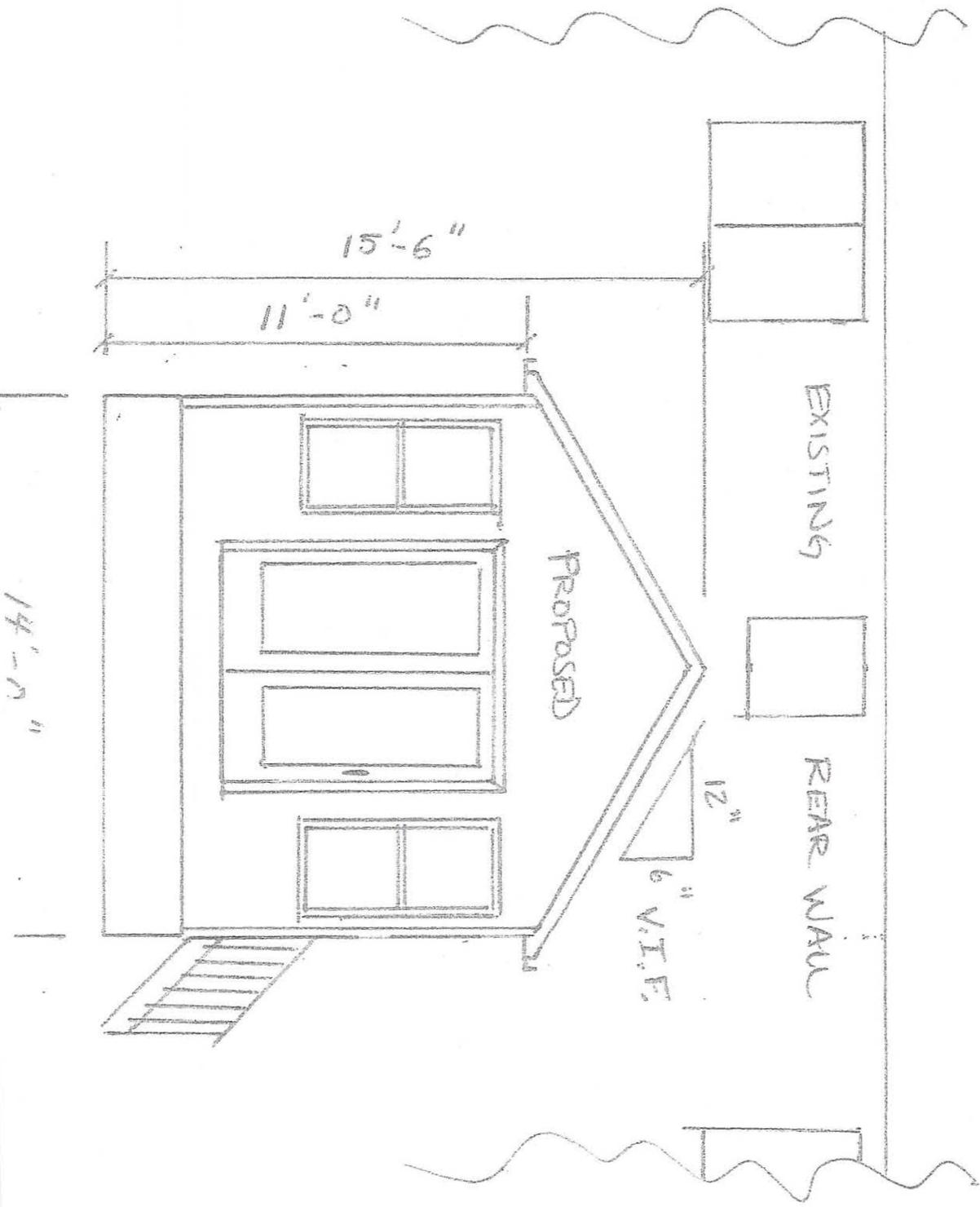
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5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

This is the only plan to build a sunroom and deck connecting to the rear door of our house.

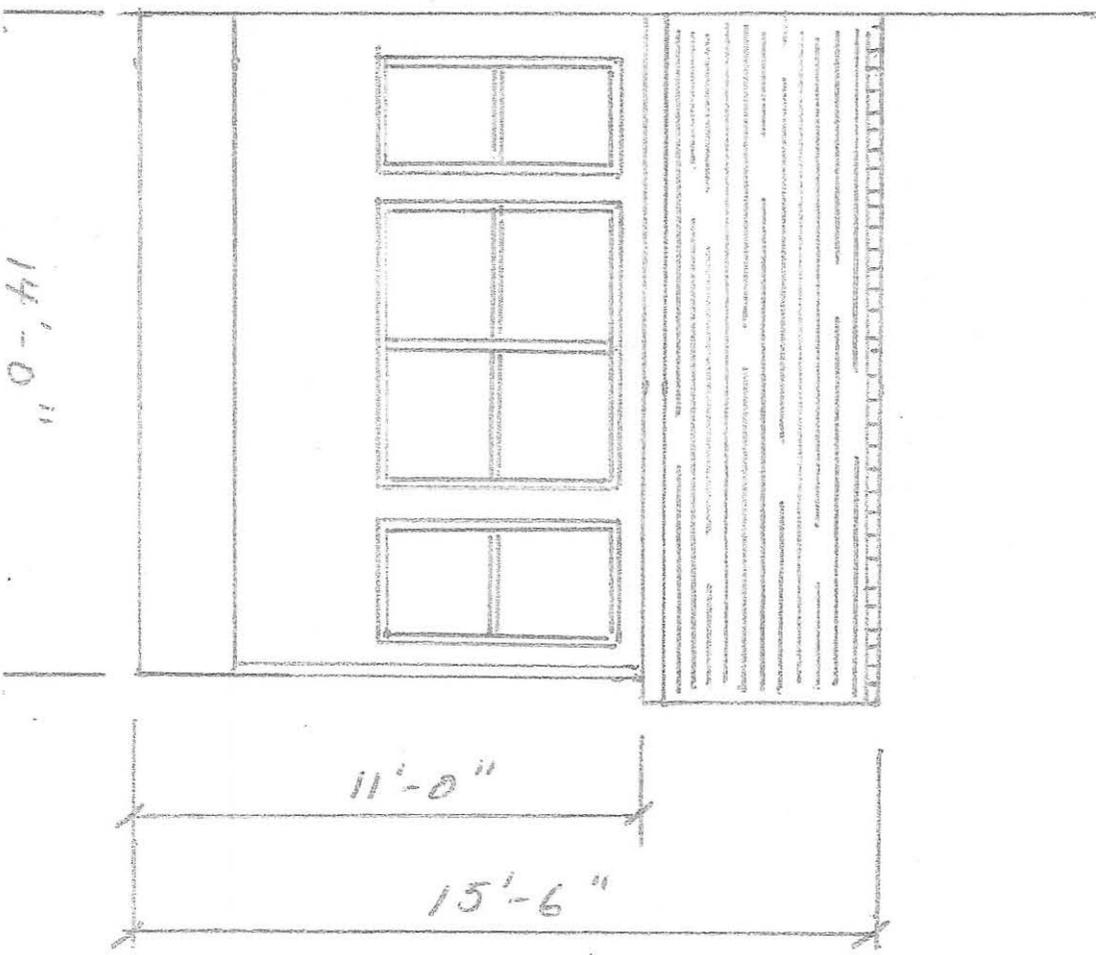
AMANTE LLC  
RON AMANTE  
203-241-5328

LORANT SUN ROOM  
11 COOK CIRCLE  
1/4" = 1'-0"  
REAR ELEVATION



AMANTE LLC  
RON AMANTE  
203-241-5328

EXISTING REAR WALL OF HOUSE



LORANT SUNROOM  
11' CORK CIRCLE  
1/4" = 1'-0"  
LEFT ELEVATION

AMANTE LLC  
RON AMANTE  
203-241-5328



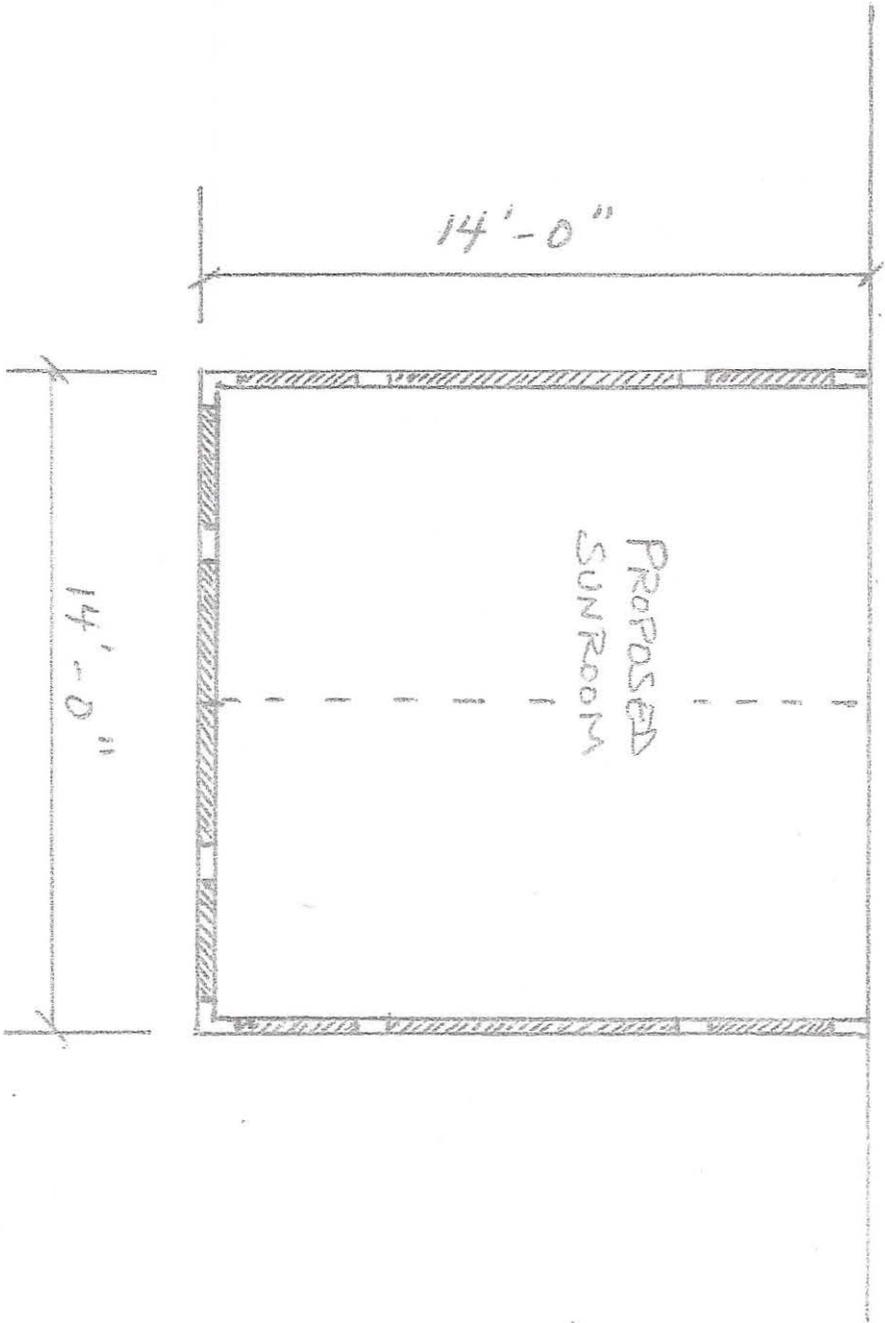
EXISTING REAR WALL OF HOUSE

LORRAI SUNROOM  
11 COOK CIRCLE  
1/4" = 1'-0"  
RIGHT ELEVATION

AMANTE LLC  
RON AMANTE  
203 - 241-5328

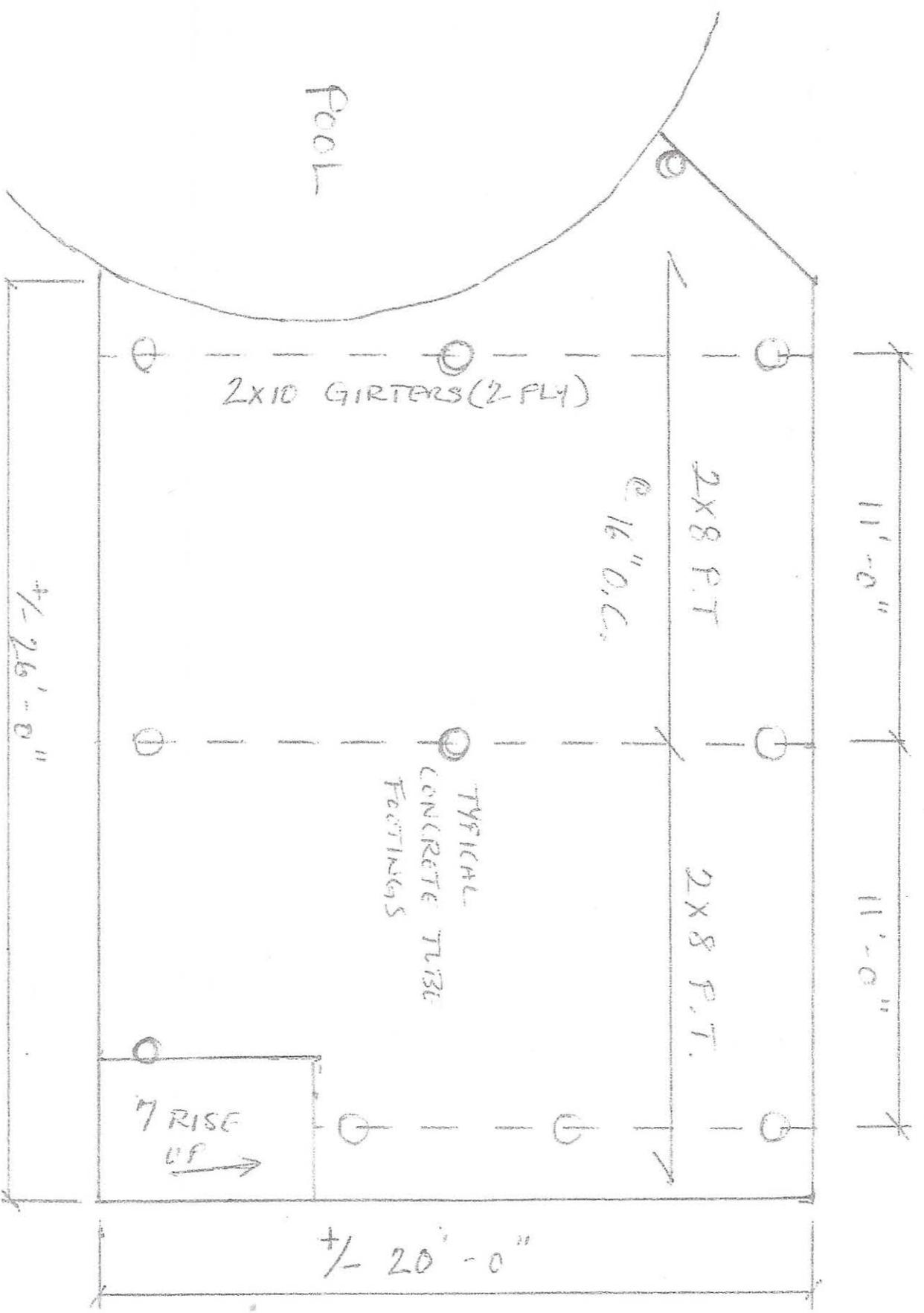
LORANT SUNROOM  
11 COOK CIRCLE  
1/4" = 1'-0"  
FLOOR PLAN

EXISTING REAR WALL OF HOUSE



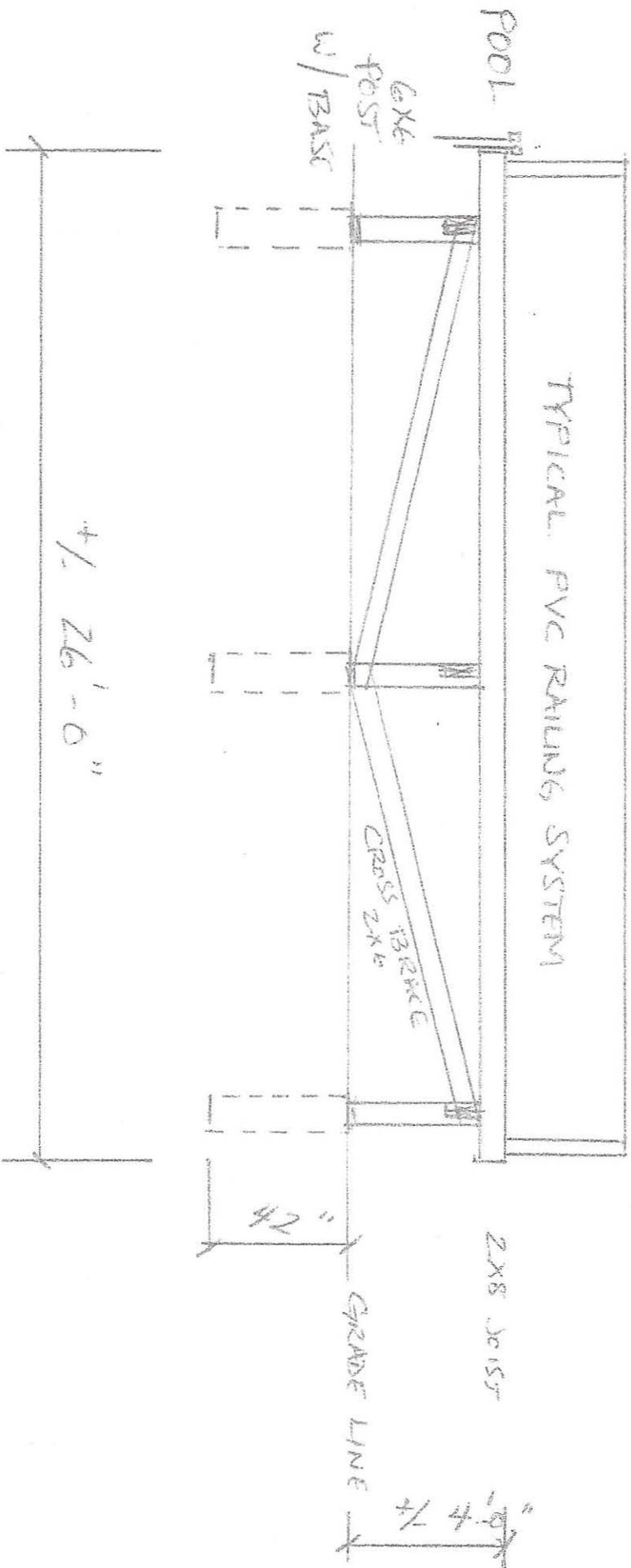
AMANTE LLC  
RON AMANTE  
203 - 241 - 5328

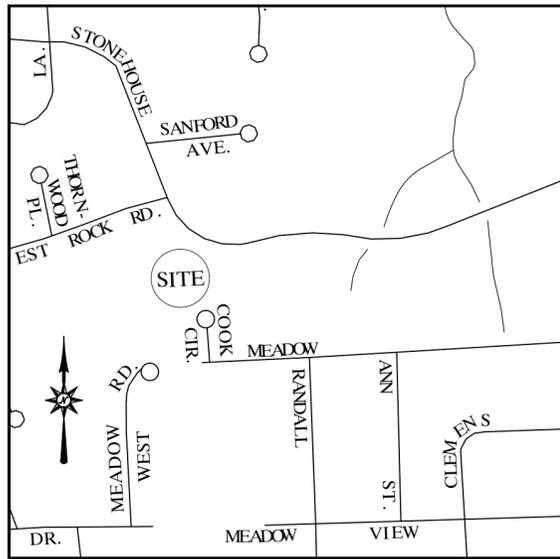
LOGANT DECK  
11 COCK CIRCLE  
1/4" = 1'-0"  
PLAN VIEW



AMANTE LLC  
RGN AMANTE  
203-241-5328

LORANT DECK  
W/ COOK CIRCLE  
ELEVATION TYPICAL  
1/4" = 1'-0"





Vicinity Map  
Scale: 1"=500'



N/F  
**Anna K. Yamamoto &  
Scott E. Branscomb**  
#165 Stonehouse Road  
(D-4/184)

N/F  
**Town of Trumbull**  
Stonehouse Road  
(D-/254)

N/F  
**Michael J. Picheco, Jr. &  
Kaitlyn M. Picheco**  
#9 Cook Circle  
(D-5/293)

**RESIDENCE ZONE A**

	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	21,780 SF	21,776 SF±	21,776 SF±	
Minimum Lot Frontage	125'	0.0'	0.0'	
<b>MINIMUM SETBACK</b>				
Setback From Front Property Line	50	76.4'±	76.4'±	
Setback From Side Property Lines	20	21.1'±	21.1'±	
Setback From Rear Property Lines	50	55.6'±	49.2'±*	
<b>MINIMUM FLOOR AREA</b>				
Floor Area - 2 Story	1,200 1st Floor-900 2nd Floor	1,200/1,920	1,396/1,920	
Maximum Height For A Building Or Structure	40'	<40'	<40'	
Maximum Building Lot Coverage As A Percentage Of Lot Area	25%	9.5% ±	13.0% ±	
Maximum Building Floor Area As A Percentage Of Lot Area	29%	14.3% ±	15.2% ±	

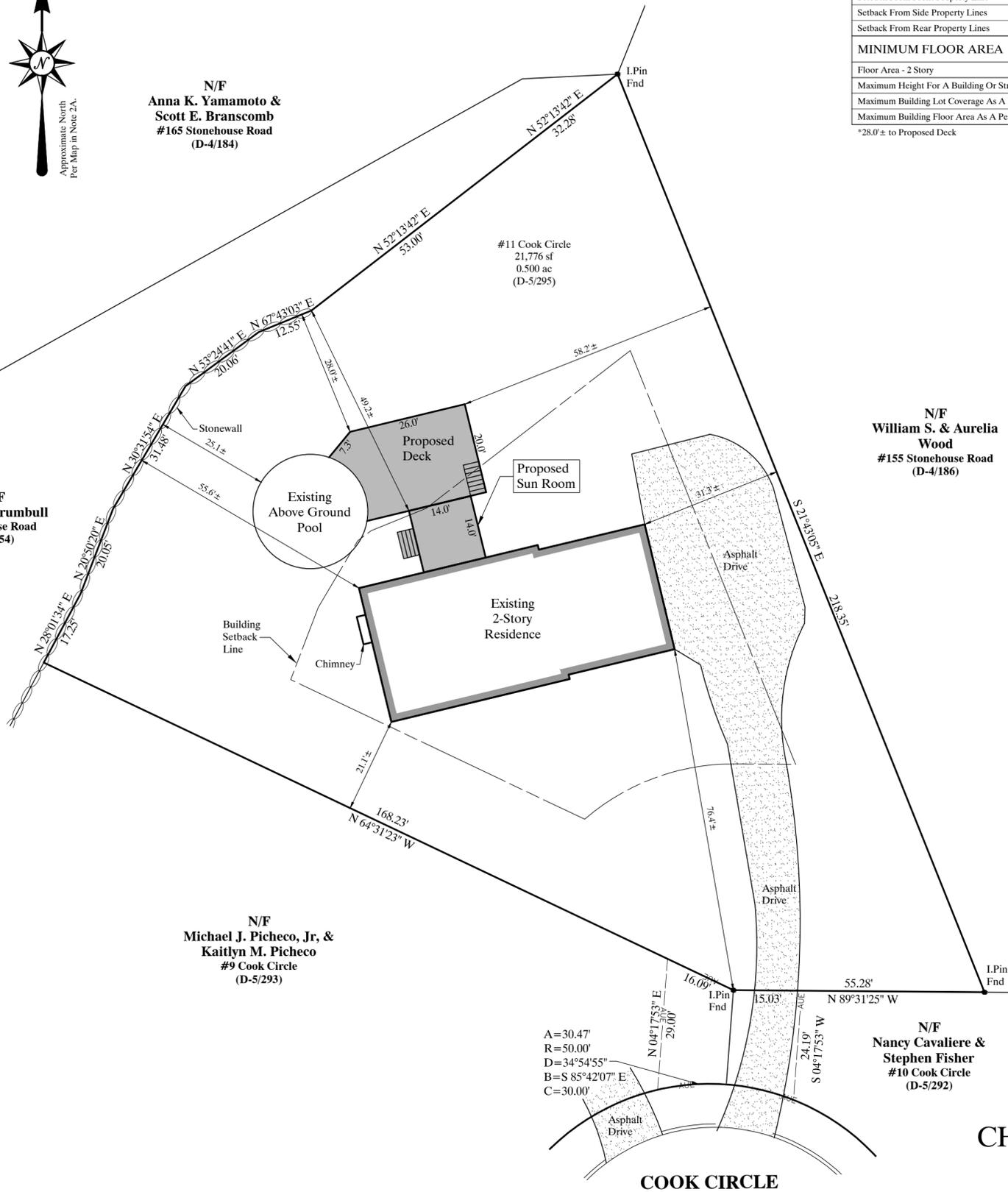
\*28.0'± to Proposed Deck

**NOTES:**

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.  
  
The intention of the plan is to show the location of a Sun Room and Deck. Not all features existing on the property are shown hereon.
- Reference is made to the following documents:  
  
A. RM 3214-"Resubdivision Map of Lot 3, Prepared for Mildred Cook, Stonehouse Road, in Trumbull, Connecticut, Dated: 7/12/05; Revised 12/14/05; Scale: 1"=20'; Prepared by Spath-Bjorklund Associates, Inc."
- The underground utilities shown, if any, have been located from visible field survey information. No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal/public service facilities. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate agencies.
- Distances shown ± from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
- Zoning information shown on this map must be reviewed and confirmed by the appropriate Town of Trumbull authorities prior to use.
- Property is served by public water and sanitary sewer.
- Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.
- The property is located in Zone X per FEMA Flood Map #09001C0288F; Panel 288 of 626; Effective Date: 6/18/2010.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.

N/F  
**William S. & Aurelia  
Wood**  
#155 Stonehouse Road  
(D-4/186)

N/F  
**Nancy Cavaliere &  
Stephen Fisher**  
#10 Cook Circle  
(D-5/292)



A=30.47'  
R=50.00'  
D=34°54'55"  
B=S 85°42'07" E  
C=30.00'

**COOK CIRCLE**

**DATA ACCUMULATION PLAN**  
PREPARED FOR  
**CHRISTOPHER R. & ELISSA B. LORANT**  
#11 COOK CIRCLE  
TRUMBULL, CONNECTICUT



LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	WATER SERVICE
	GAS LINE
	FINISHED FLOOR
	GARAGE FLOOR
	BUILDING SETBACK LINE
	CATCH BASIN
	EXISTING IRON PIN/PIPE
	MAILBOX
	UTILITY POLE

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Michael S. Shevlin, Jr. PLS #70339

NO.	DATE	DESCRIPTION	DATE:	SCALE:	DRAFTER:	JOB NUMBER:	FILE NUMBER:
1	9-8-20	PROPOSED FEATURES	5-20-2020	1"=20'	MSS	3120	3120
		REVISIONS					
			165 Oyster Road-Fairfield, CT 203.218.5840		593 Main Street-Monroe, CT		ShevlinLS.com



A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)

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2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) \_\_\_\_\_ SECTION(S) \_\_\_\_\_ PARAGRAPH(S) \_\_\_\_\_

SUBPARAGRAPH(S) \_\_\_\_\_

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

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NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: \_\_\_\_\_

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5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

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**B. APPEAL FROM ORDER OF THE ZONING ENFORCEMENT OFFICER**

1. List the date of the Cease and Desist Order being appealed (and submit copy of the letter):

\_\_\_\_\_

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations regarding your appeal:

ARTICLE(S) \_\_\_\_\_ SECTION(S) \_\_\_\_\_ PARAGRAPH(S) \_\_\_\_\_

SUBPARAGRAPH(S) \_\_\_\_\_

3. Explain and state the basis for appeal of the decision of the Zoning Enforcement Officer:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**C. APPROVAL FOR LOCATION OF GASOLINE STATION/LICENSE**

1. Approval of Location is for the following:

- a) Gasoline Station \_\_\_\_\_
- b) Limited Repairer's License \_\_\_\_\_
- c) General Repairer's License \_\_\_\_\_

2. Indicate below if this application is a license renewal, and give a brief history of the uses of the property:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. What are the proposed hours of operation? \_\_\_\_\_

4. Will any vehicles being repaired be stored outside? \_\_\_\_\_

If yes, please specify the number of vehicles to be stored outside, location, and duration that they will be stored:

\_\_\_\_\_  
\_\_\_\_\_

5. Applications pertaining to gasoline station location and/or new construction must include a site plan showing location of buildings, pumps, exits and entrances, signs, lights, and landscaping.

6. Applications pertaining to licenses must be accompanied by Connecticut Motor Vehicle Department forms to be signed by the Board.

# RESIDENTIAL HOUSE

1362 HUNTINGTON TPKE  
TRUMBULL, CT 06611

ALEXANDRA CASABIANCA  
08.31.2020

## EXISTING VIEWS/ 3D PERSPECTIVES



## PROPOSED 3D PERSPECTIVES



### SCHEDULE OF DRAWINGS

R 1.0 COVER SHEET- 3D PERSPECTIVES

#### GENERAL NOTES

- A 1.0 EXISTING/ DEMOLITION-  
BASEMENT. FIRST FLOOR PLAN  
SECOND FLOOR PLAN
- A 1.1 EXISTING/ DEMOLITION-  
FRONT ELEVATION. REAR ELEVATION  
RIGHT ELEVATION. LEFT ELEVATION
- A 2.0 PROPOSED-  
BASEMENT. FIRST FLOOR PLAN  
SECOND FLOOR PLAN
- A 2.1 PROPOSED-  
FRONT ELEVATION. REAR ELEVATION  
RIGHT ELEVATION. LEFT ELEVATION
- A 3.0 PROPOSED- ROOF PLAN  
PROPOSED- ROOF FRAMING PLAN  
SECOND FLOOR FRAMING PLAN  
TYPICAL SECTION DETAIL 1.

#### ALL WORK SHALL BE IN ACCORDANCE WITH THE:

- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE (NFPA70)
- ALONG WITH ALL REQUIRED TESTING AND APPROVALS

#### GENERAL NOTES:

1. THIS PROJECT HAS BEEN DESIGNED USING 2018 CONNECTICUT BUILDING CODE.
2. THE LOADS THAT HAVE BEEN USED IN STRUCTURAL DESIGN INCLUDE THE FOLLOWING:

LIVE LOADS:	
SLEEPING AREA	30 PSF
LIVING AREA	40 PSF
ATTIC WITHOUT STORAGE	10 PSF
ATTIC WITH STORAGE	20 PSF

#### SNOW LOAD:

GROUND SNOW LOAD	Pg	30 PSF
SNOW EXPOSURE CATEGORY	Co	1.0
THERMAL FACTOR	Ct	1.0
IMPORTANCE FACTOR		1.0
FLAT ROOF SNOW LOAD	Pf=0.7	30 PSF
SNOW DRIFT CONDITIONS IN ACCORDANCE WITH THE COVERING CODE.		

#### WIND LOAD:

ULTIMATE WIND SPEED 120 MPH, EXPOSURE B, IMPORTANCE FACTOR 1.0.  
WIND PRESSURES AND DISTRIBUTIONS IN ACCORDANCE WITH SECTION 1609  
DESIGN WIND PRESSURE FOR COMPONENT AND CLADDING IN ACCORDANCE WITH SECTION 1609.6.5.

3. THE GENERAL CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL OPENINGS. (COORDINATE WITH APPLICABLE TRADES). THE CONTRACTOR SHALL PROVIDE FOR ALL OPENINGS, ANY DEVIATION FROM OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR APPROVAL PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ELEVATIONS NOT SHOWN AND FOR EXACT LOCATIONS OF ALL ARCHITECTURAL DETAILS. THE CONTRACTOR SHALL COMPARE THE STRUCTURAL AND ARCHITECTURAL DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMPLETION OF THE SHOP DRAWINGS.
5. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.
6. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
7. COMPLETE SHOP DRAWINGS AS REQUIRED FOR THE STRUCTURAL WORK SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION, IN ACCORDANCE WITH THE SPECIFICATION, SUCH REVIEW BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR CORRECT FABRICATION AND CONSTRUCTION OF THE WORK. ALLOW (10) BUSINESS DAYS FOR REVIEW FROM THE TIME SUBMITTALS ARE RECEIVED IN OUR OFFICE. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR MATERIALS PURCHASED PRIOR TO REVIEW OF SHOP DRAWINGS.
8. ANY DEVIATION FROM, ADDITION TO, SUBSTITUTION FOR, OR MODIFICATION TO THE STRUCTURE OR ANY PART OF THE STRUCTURE DETAILED ON THESE DRAWINGS SHALL BE SUBMITTED IN WRITING TO THE ENGINEER FOR REVIEW, SHOP DRAWINGS THAT ARE SUBMITTED FOR REVIEW DO NOT CONSTITUTE «IN-WRITING» UNLESS IT IS CLEARLY NOTED THAT SPECIFIC CHANGES ARE BEING SUGGESTED.
9. THE STRUCTURAL DRAWINGS ARE NOT TO BE SCALED FOR DETERMINATION OF QUANTITIES, LENGTHS, OR FIT OF MATERIALS.
10. THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHODS OF CONSTRUCTION UNLESS SO STATED OR NOTED. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE WORKMEN AND OTHER PERSONS DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SHORING OF ALL STRUCTURAL WORK AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONDITION WHICH, IN HIS OPINION, MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS IN THE STRUCTURE.
12. CONSTRUCTION MATERIALS SHALL NOT BE STORED ON FLOORS IN EXCESS OF THE DESIGN LIVE LOADS WHICH ARE INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENFORCE THIS REQUIREMENT. IMPACT SHALL BE AVOIDED WHEN PLACING MATERIALS ON FLOORS OR ROOFS.

#### FOUNDATIONS:

1. EXCAVATION FOR FOUNDATIONS SHALL BE TAKEN TO FIRM UNDISTURBED SOIL, DRY AND FREE FROM FROST OR LOOSE MATERIALS. EXCAVATIONS SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. CONTRACTOR TO PROVIDE TEMPORARY PROTECTION AS REQUIRED FOR FOUNDATIONS EXPOSED TO WATER OR FREEZING.
2. BACK FILL BELOW GRADE SHALL BE GRANULAR, FREE DRAINING, STRUCTURALLY SOUND, FREE FROM DELETERIOUS AND ORGANIC MATERIAL. AND MEETING THE GRADATION RECOMMENDED BY THE GEOTECHNICAL ENGINEER. SUCH FILL SHALL BE PLACED IN NO MORE THAN (12) INCH THICK LIFTS, IN THE LOOSE STATE, AND COMPACTED TO NO LESS THAN 95% OF ITS MAXIMUM DRY DENSITY, AS DETERMINED BY MODIFIED PROCTOR DENSITY TEST.
3. ALL FOOTINGS MUST BE MINIMUM OF (42) INCHES BELOW FINISH GRADE.
4. A QUALIFIED SOIL TECHNICIAN SHALL PERFORM SUFFICIENT IN PLACE DENSITY TESTS DURING FILL OPERATIONS TO VERIFY THAT PROPER LEVELS OF COMPACTION ARE ATTAINED AND THE FOOTINGS ARE BEARING ON THE PROPER MATERIALS.
5. CONCRETE FOR SLAB ON GRADE SHALL BE PLACED OVER 2 INCHES CLEAN UNIFORM SAND. A CONTINUOUS 6 MIL POLYETHYLENE MOISTURE BARRIER OVER 4 INCHES LAYER OF CLEAN UNIFORM SAND, ALL SEAMS SHALL BE LAPPED 12 INCHES AND TAPED.
6. THE CONTRACTOR SHALL SUBMIT DRAWINGS SHOWING THE PROPOSED CONTROL AND CONSTRUCTION JOINTS FOR ALL AREAS FOR REVIEW PRIOR TO POURING ANY CONCRETE THIS INCLUDES WALLS, TOPPING AND SLAB ON GRADE. JOINTS IN CONCRETE FOUNDATION WALLS SHALL BE LOCATED SO THAT NO SINGLE POUR IS LONGER THAN 40 FEET. A JOINT SHALL BE LOCATED WITHIN 3'-0" FROM ANY CORNER.

#### CAST IN PLACE CONCRETE:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318" BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
2. ALL CONCRETE EXPOSED TO EARTH OR WEATHER SHALL HAVE 4% - 6% ENTRAINED AIR.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A-615. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, GRADE 65, AND SHALL BE SUPPLIED IN SHEETS ONLY, WELDED REINFORCEMENT SHALL CONFORM TO ASTM A706.
4. REINFORCEMENT SHALL BE FABRICATED BY THE CONTRACTOR AND ALL ACCESSORIES, CHAIRS, SPACER BARS AND SUPPORTS REQUIRED TO SECURE THE REINFORCEMENT SHALL BE FURNISHED PRIOR TO CONCRETE PLACEMENT.
5. CLASS "B" TENSION LAP SPLICES, HOOKS AND BENDS IN REINFORCING SHALL CONFORM TO ACI 318 UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
6. ALL CONCRETE SHALL BE NORMAL WEIGHT, READY MIX, AND SHALL DEVELOP MINIMUM STRENGTH AT 28 DAYS AS FOLLOWS:
 

FOUNDATION	3000 PSI
WALLS	3000 PSI
SLAB ON GRADE	4000 PSI
7. NO CALCIUM CHLORIDE OR ADMIXTURE CONTAINING MORE THAN 1% CHLORIDE BY WEIGHT OF ADMIXTURE SHALL BE USED IN CONCRETE.
8. ALL KEYS IN CONCRETE WALLS SHALL BE 2" X 4" UNLESS NOTED OTHERWISE.
9. PROVIDE CLEAR CONCRETE COVER TO REINFORCEMENT AS FOLLOWS:
 

FOOTING (AGAINST EARTH)	3"
COLUMN & PIERS (VERTICAL BARS)	2"
WALLS INTERIOR FACE	3/4"
WALLS EXTERIOR FACE #5 & SMALLER	1 1/2"
WALLS EXTERIOR FACE #6 & LARGER	2"
SLAB INTERIOR	3/4"
SLAB EXTERIOR	1 1/2"
SLAB ON GRADE	1/3 X THK FROM TOP SURFACE.
10. MAXIMUM ALLOWABLE SLUMP FOR CONCRETE SHALL NOT EXCEED 4".

#### WOOD:

1. ALL STRUCTURAL FRAMING SHALL BE DOUGLAS FIR-LARCH VISUALLY GRADED AS FOLLOWS:
  - 2" THICK - 4" WIDE CONSTRUCTION (Fb = 1000 PSI. E=1,600,000 PSI)
  - 2" TO 4" THICK - 5" & WIDER NO. 2 OR BETTER (Fb = 1000 PSI. E=1,600,000 PSI)
  - 5" & THICKER - 5" & WIDER NO. 1 OR BETTER (Fb = 1200 PSI. E=1,600,000 PSI)
2. PROVIDE 2X CROSS BRIDGING NOT OVER 7'-0" ON CENTER FOR ALL WOOD JOISTS WHERE DEPTH IS EQUAL TO OR MORE THAN 5 TIMES THICKNESS. AND 2x BLOCKING BETWEEN JOISTS AT SUPPORT. STANDARD GRADE LUMBER MAY BE USED FOR BRIDGING. BLOCKING AND WALL STUDS.
3. PROVIDE 2X MID HEIGHT BRIDGING BETWEEN WALL STUDS.
4. PROVIDE SOLID BLOCKING BETWEEN JOISTS UNDER ALL LOAD BEARING PARTITIONS RUNNING PERPENDICULAR TO JOISTS. PROVIDE DOUBLE JOISTS UNDER PARTITIONS RUNNING PARALLEL TO JOISTS.
5. PROVIDE WEB STIFFENERS BOTH SIDES OF TJI AT ALL SUPPORTS.
6. TIMBER CONNECTORS CALLED FOR ON THE DRAWINGS ARE AS MANUFACTURED BY THE SIMPSON COMPANY. CONNECTORS BY OTHER MANUFACTURERS MAY BE USED IF THE LOAD CAPACITY IS EQUAL TO OR GREATER THAN THE CONNECTOR SPECIFIED. USE MANUFACTURER'S FURNISHED NAILS AND BOLTS.
7. SHEATHING FOR ROOF AND WALLS SHALL BE APA GRADE TRADEMARK C-D INTERIOR WITH EXTERIOR GLUE AND SHALL CONFORM TO AMERICAN PLYWOOD ASSOCIATION STANDARD (PSI), LATEST EDITION
8. FASTEN ALL WOOD MEMBERS WITH COMMON NAILS ACCORDING TO THE BUILDING CODE.

#### LAMINATED VENEER LUMBER:

1. LAMINATED VENEER LUMBER CALLED OUT ON THE PLANS ARE TRADEMARK MICROLAM AS PRODUCED BY THE TRUS-JOIST CORPORATION. LAMINATED VENEER LUMBER PRODUCED BY OTHER MANUFACTURERS MAY BE USED PROVIDED THE SAME RATED STRESSES AND MEMBER SIZES EQUAL OR EXCEED THOSE SHOWN ON THE PLANS. AND PRIOR APPROVAL IS GIVEN BY THE ENGINEER.
2. ALL LAMINATED VENEER LUMBER SHALL BE DESIGNED AND MANUFACTURED TO THE STANDARDS SET FORTH IN THE NER-126 REPORT.
3. ALL VENEERS SHALL BE DOUGLAS-FIR OF 1/10" OR 1/8" THICKNESS AND SHALL BE LAMINATED IN A CONTINUOUS PRESS WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER.
4. ALLOWABLE UNIT STRESSES REQUIRED OR DRY CONDITIONS OF USE FOR VENEER LAMINATED LUMBER SHALL BE AS FOLLOWS:
 

BENDING	2600 PSI
COMPRESSION PARALLEL TO GRAIN	2460 PSI
HORIZONTAL SHEAR	285 PSI
COMPRESSION PERPENDICULAR TO GRAIN	750 PSI
5. LAMINATED VENEER LUMBER MEMBER SIZES SHOWN ARE NET; OTHER MEMBER SIZES ARE NOMINAL.
6. LEAD HOLES FOR LAG SCREWS SHALL BE BORED AS FOLLOWS:

A) THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK. AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF UNTHREADED SHANK.

B) THE LEAD HOLE FOR THE THREADED PORTION SHALL HAVE A DIAMETER EQUAL 60% TO 75% OF THE SHANK DIAMETER AND A LENGTH EQUAL TO AT LEAST THE LENGTH OF THE THREADED PORTION. THE LARGER PERCENTILE IN EACH RANGE SHALL APPLY TO LAG SCREWS OF GREATER DIAMETERS.

PROJECT NAME:

ALEXANDRA CASABIANCA

1362 HUNTINGTON TPKE  
TRUMBULL, CT 06611

DRAWING TITLE:

PROPOSED 3D PERSPECTIVES  
EXISTING 3D PERSPECTIVES

GENERAL NOTES:

NGY DESIGN INC.

ALINA KATAGANOVA  
RASUL DOKSHOROV



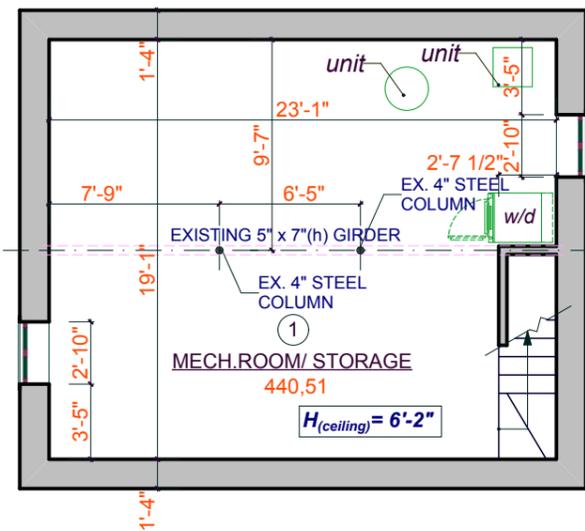
SHEET:

R 1.0

FLOOR	ID	DIM.	FLOOR AREA (sq.f.)
EXISTING HOUSE			
BASEMENT			
MECH.ROOM/ STORAGE	①		440,51
SUB TOTAL			440,51

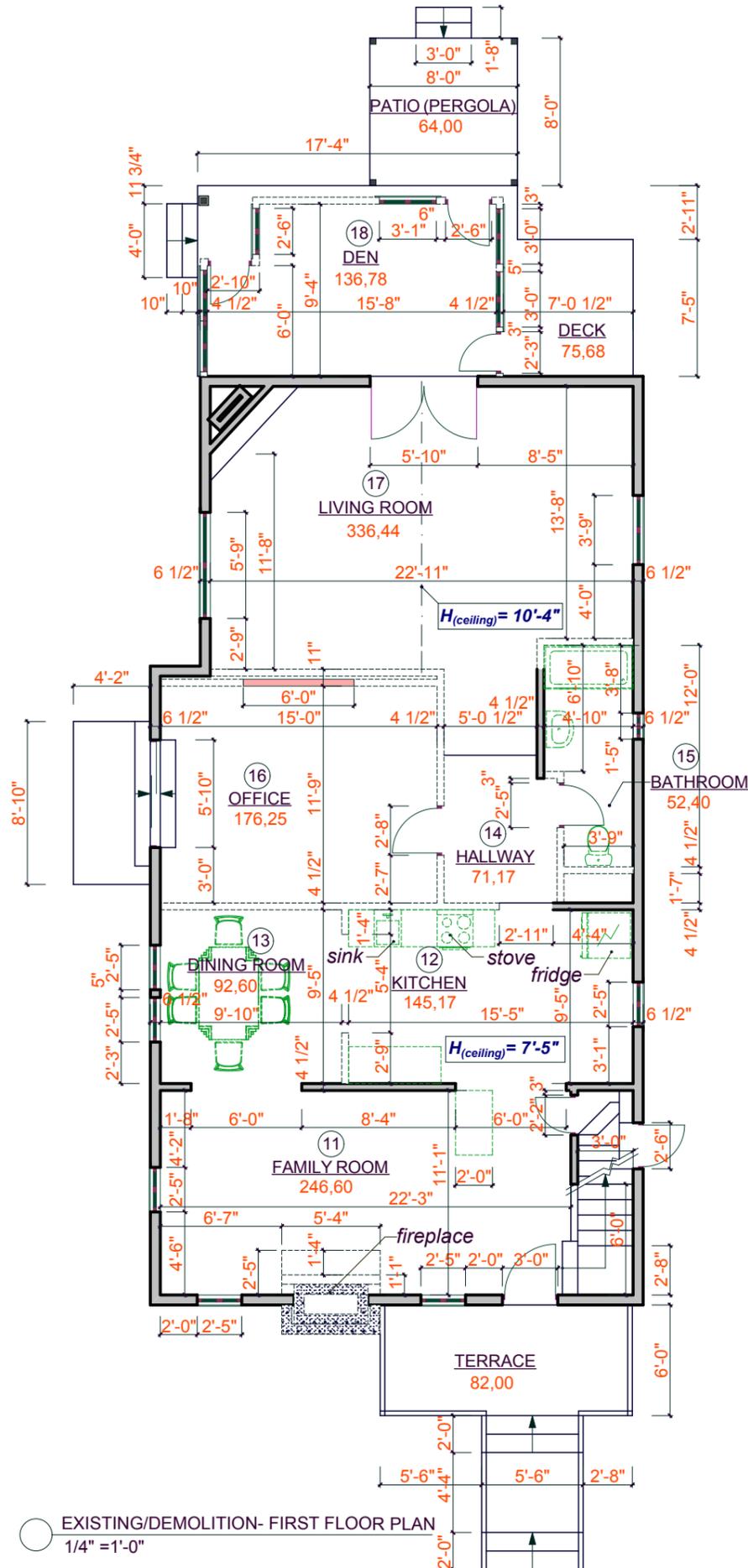
FIRST FLOOR PLAN			
DECK			75,68
PATIO (PERGOLA)			64,00
TERRACE			82,00
FAMILY ROOM	⑪	11'-1" x 22'-3"	246,60
KITCHEN	⑫	15'-5" x 9'-5"	145,17
DINING ROOM	⑬	9'-10" x 9'-10"	92,60
HALLWAY	⑭		71,17
BATHROOM	⑮		52,40
OFFICE	⑯		176,25
LIVING ROOM	⑰		336,44
DEN	⑱		136,78
SUB TOTAL			1257,41

SECOND FLOOR PLAN				
MASTER BEDROOM			⑳	326,58
CLOSET			㉑	18,18
BATHROOM			㉒	54,00
SUB TOTAL				398,76

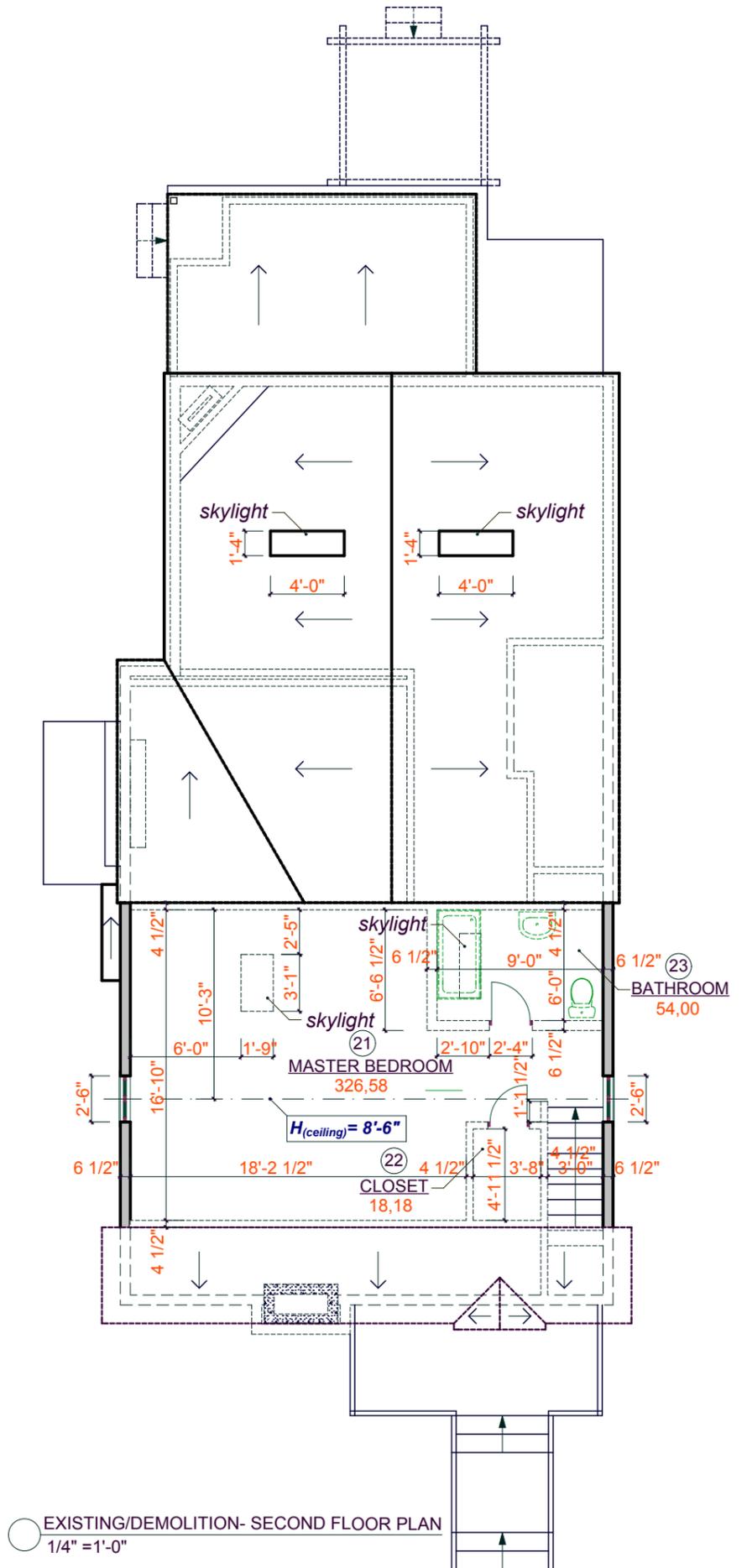


○ EXISTING/DEMOLITION- BASEMENT  
1/4" = 1'-0"

LEGEND:	
	-EXISTING TO REMAIN
	-EXISTING TO BE REMOVED

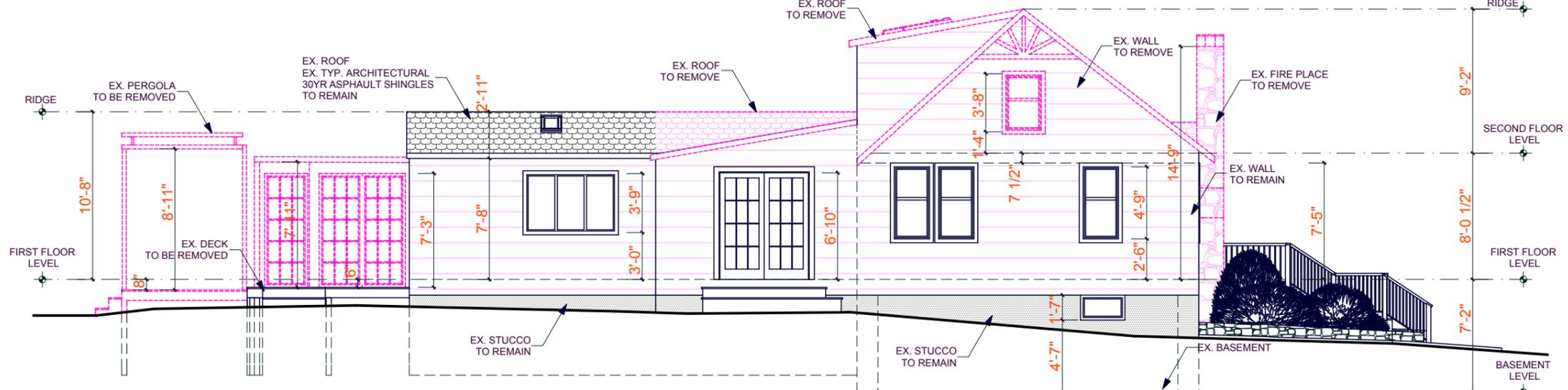


○ EXISTING/DEMOLITION- FIRST FLOOR PLAN  
1/4" = 1'-0"

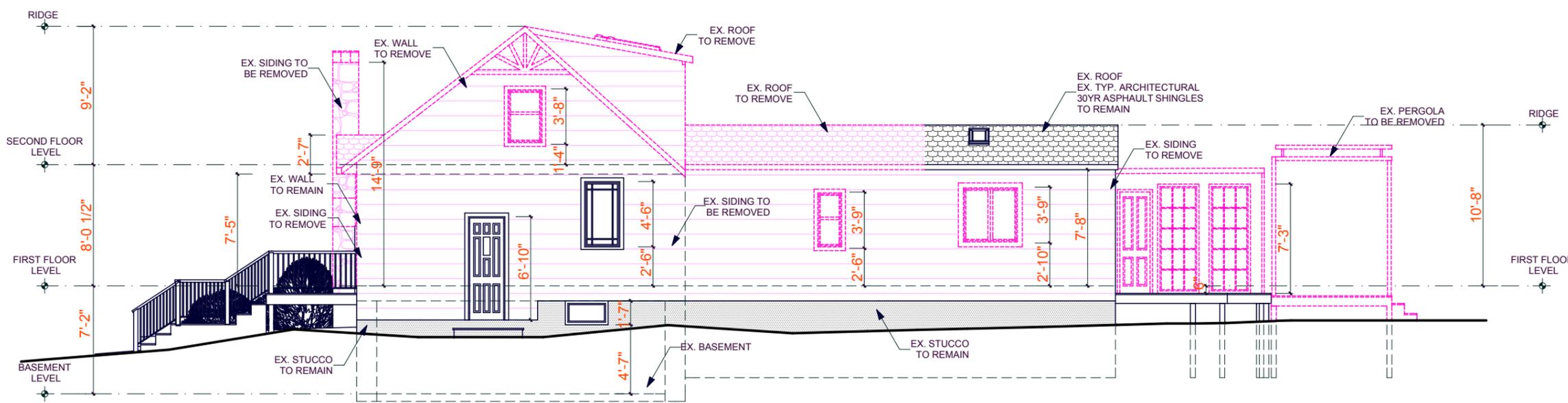


○ EXISTING/DEMOLITION- SECOND FLOOR PLAN  
1/4" = 1'-0"

PROJECT NAME: ALEXANDRA CASABIANCA	DRAWING TITLE: EXISTING/DEMOLITION- BASEMENT FIRST FLOOR PLAN SECOND FLOOR PLAN	NOTES:	DATE: 08.31.2020		SHEET: A 1.0
1362 HUNTINGTON TPKE TRUMBULL, CT 06611			SCALE: 1/4"=1'-0"		
			DRAWN BY: As Noted ALINA KATAGANOVA RASUL DOKSHOROV		



EXISTING/DEMOLITION- LEFT ELEVATION  
1/4" = 1'-0"



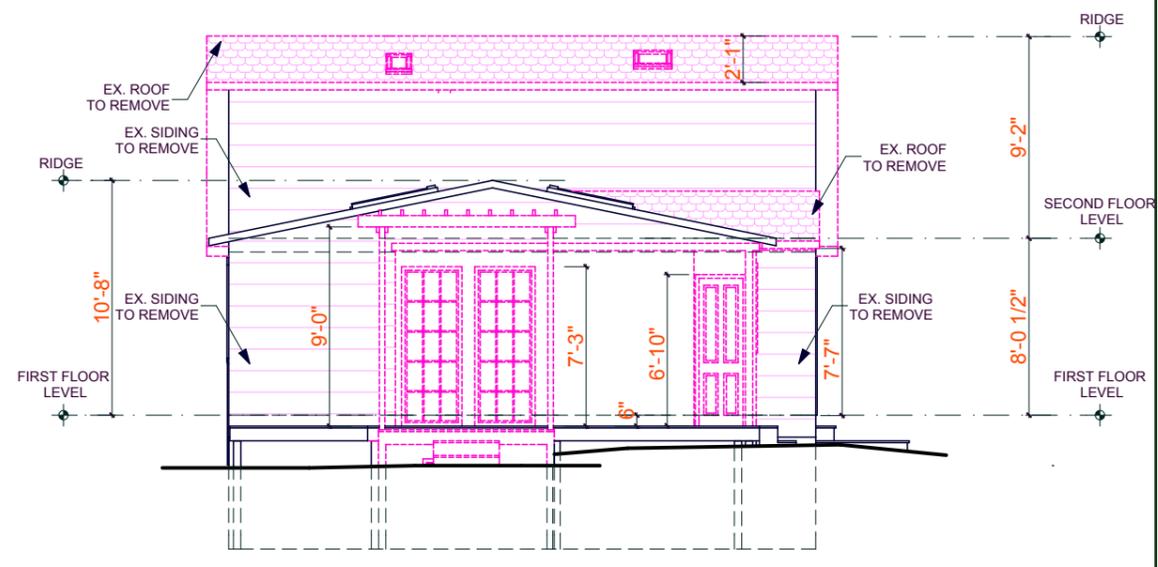
EXISTING/DEMOLITION-RIGHT ELEVATION  
1/4" = 1'-0"

**LEGEND:**

	-EXISTING TO REMAIN
	-EXISTING TO BE REMOVED
	-EXISTING TO BE REMOVED
	-EXISTING TO REMAIN
	-EXISTING TO BE REMOVED



EXISTING/DEMOLITION- FRONT ELEVATION  
1/4" = 1'-0"



EXISTING/DEMOLITION- REAR ELEVATION  
1/4" = 1'-0"

PROJECT NAME:  
ALEXANDRA CASABIANCA  
  
1362 HUNTINGTON TPKE  
TRUMBULL, CT 06611

DRAWING TITLE:  
EXISTING/DEMOLITION-  
  
FRONT ELEVATION  
REAR ELEVATION  
RIGHT ELEVATION  
LEFT ELEVATION

NOTES:

DATE: 08.31.2020  
SCALE: 1/4"=1'-0"  
DRAWN BY: As Noted  
ALINA KATAGANOVA  
RASUL DOKSHOROV

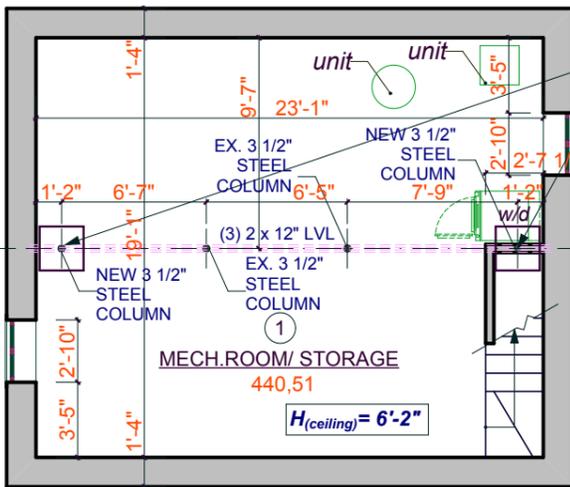


SHEET:  
  
A 1.1

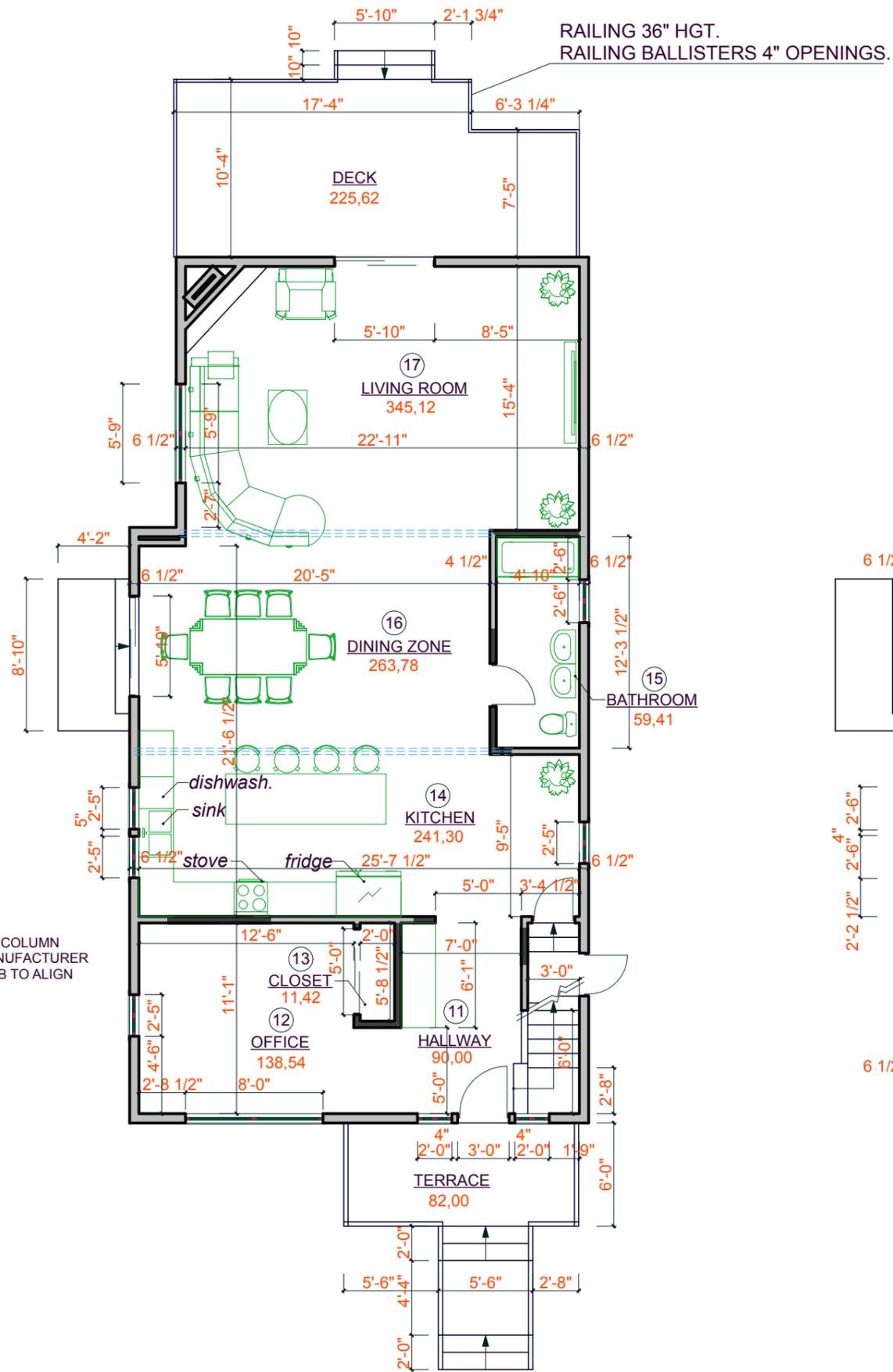
FLOOR	ID	DIM.	FLOOR AREA (sq.f.)
PROPOSED HOUSE			
BASEMENT			
MECH.ROOM/ STORAGE	①		440,51
SUB TOTAL			440,51

FIRST FLOOR PLAN			
DECK			225,62
TERRACE			82,00
HALLWAY	⑪		90,00
OFFICE	⑫	11'-1" x 12'-6"	138,54
CLOSET	⑬	5'-8 1/2" x 2'-0"	11,42
KITCHEN	⑭	25'-7 1/2" x 9'-5"	241,30
BATHROOM	⑮	12'-3 1/2" x 4'-10"	59,41
DINING ZONE	⑯		263,78
LIVING ROOM	⑰		345,12
SUB TOTAL			1149,57

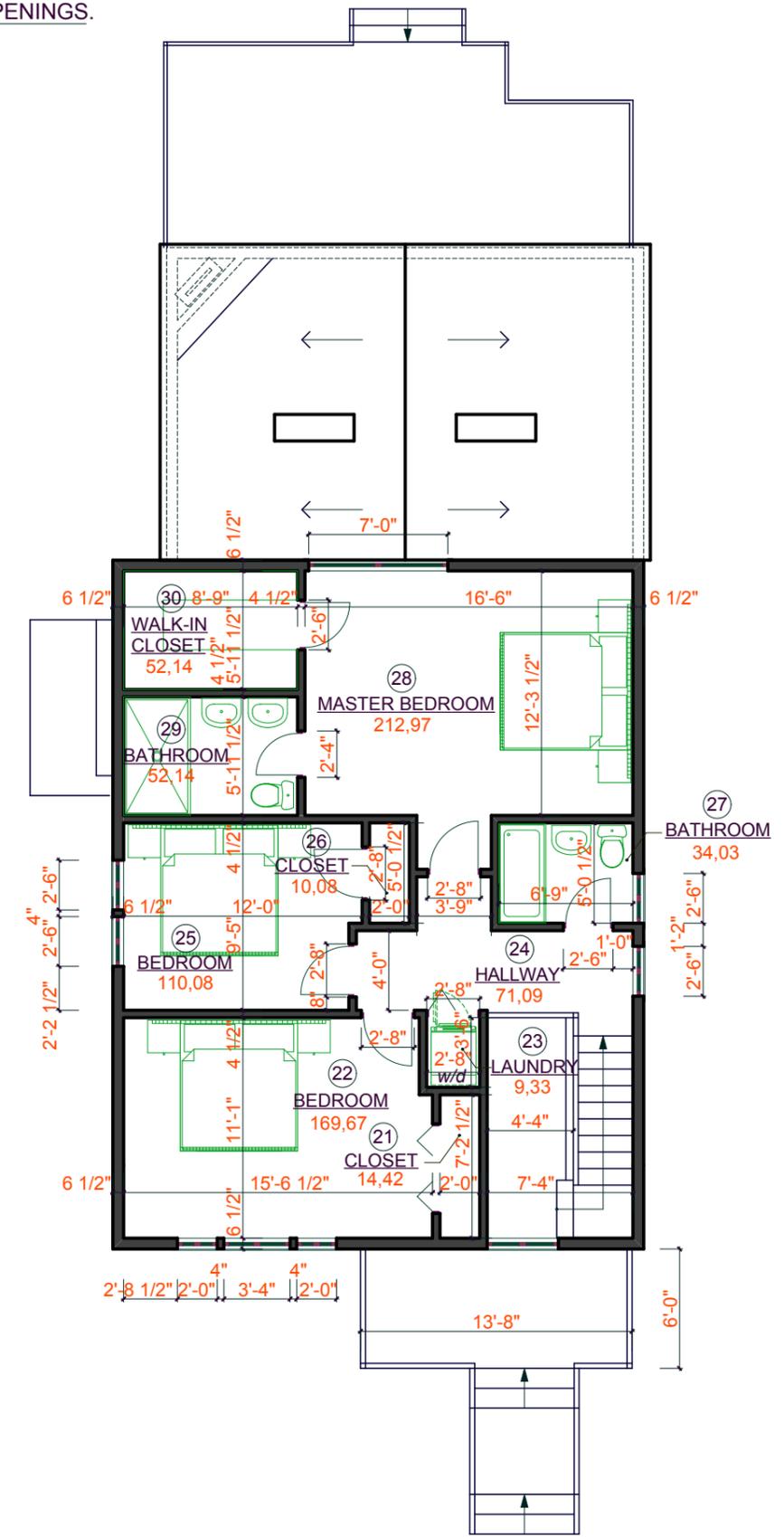
SECOND FLOOR PLAN			
CLOSET	⑳	7'-2 1/2" x 2'-0"	14,42
BEDROOM	㉑		169,67
LAUNDRY	㉒	2'-8" x 3'-6"	9,33
HALLWAY	㉓		71,09
BEDROOM	㉔		110,08
CLOSET	㉕	5'-0 1/2" x 2'-0"	10,08
BATHROOM	㉖	5'-0 1/2" x 6'-9"	34,03
MASTER BEDROOM	㉗	12'-3 1/2" x 16'-6"	212,97
BATHROOM	㉘	8'-9" x 5'-11 1/2"	52,14
WALK-IN CLOSET	㉙	8'-9" x 5'-11 1/2"	52,14
SUB TOTAL			735,95



TYP. 3 1/2" DIA. STEEL COLUMN  
 SCHEDULE 40 PPE MANUFACTURER  
 WITH ASTM 53 GARDE B TO ALIGN  
 WITH POST ABOVE  
 TYP.  
 PROVIDE FOOTING  
 UNDER COLUMN  
 2'-0 x 2'-0 x 1'-0  
 # 5 @ 12" O.C.  
 3" FROM BOTTOM



PROPOSED- FIRST FLOOR PLAN



PROPOSED- SECOND FLOOR PLAN

PROPOSED- BASEMENT  
 1/4" = 1'-0"

LEGEND:	
	-EXISTING TO REMAIN
	-NEW WALLS

PROJECT NAME: ALEXANDRA CASABIANCA 1362 HUNTINGTON TPKE TRUMBULL, CT 06611	DRAWING TITLE: PROPOSED- BASEMENT FIRST FLOOR PLAN SECOND FLOOR PLAN	NOTES: 1. ALL DIMENSIONS TO BE FROM STUD FRAMING, UNLESS OTHERWISE NOTED 2. ALL NEW PARTITIONS TO BE 2x4 WOOD STUDS, UNLESS OTHERWISE NOTED 3. ALL NEW EXTERIOR WALLS TO BE 2x6 WOOD STUDS, UNLESS OTHERWISE NOTED	DATE: 08.31.2020 SCALE: 1/4"=1'-0" DRAWN BY: As Noted ALINA KATAGANOVA RASUL DOKSHOROV	 SHEET: <b>A 2.0</b>
---	--	---	--	----------------------------





1362 Huntington Turnpike  
Trombull, Connecticut  
Google  
Street View



Google

1351 Huntington Turnpike

Trumbull, Connecticut

Google

Street View



Google

Imagery © 2017 Google

1370 Huntington Turnpike

Trumbull, Connecticut



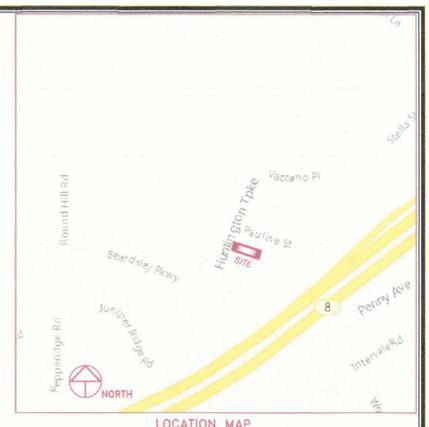
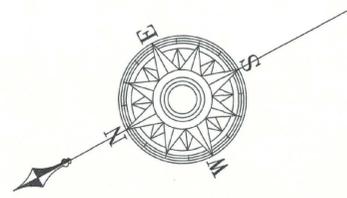
Street View



Google

STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED		EXISTING CONDITIONS		PROPOSED		AS-BUILT	
	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor
Minimum Lot Area (Sq. Ft.)	43,680		8,343± SF					
Minimum Lot Frontage (Ft.)	150'		54.00'					
Minimum Floor Area (Sq.Ft.)	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor
1 Story	1400	---	1450 SF	N/A				
1 1/2 Story	1150	500	N/A	N/A				
2 Story	1000	800	N/A	N/A				
Maximum Height for a Building or Structure	35'		16.6'					
Minimum Front Yard (Ft.)	50'		49.5'					
Minimum Side Yard (Ft.)	20'		4.6'					
Minimum Rear Yard (Ft.)	50'		43.5'					
Maximum Lot Coverage	---		---					

BUILDING ZONE: AA



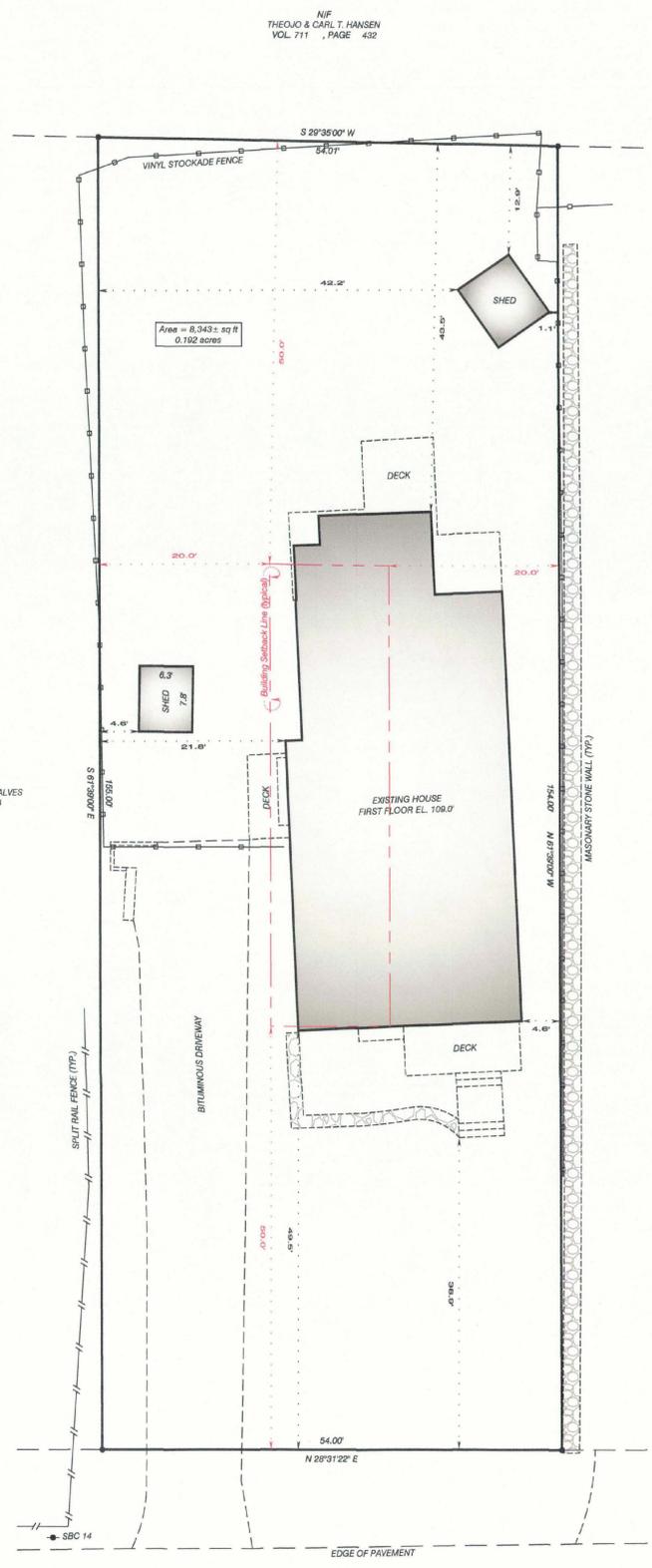
LOCATION MAP  
(Approx. Scale: 1"=500')

**GENERAL NOTES:**

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.

**MAP REFERENCES:**

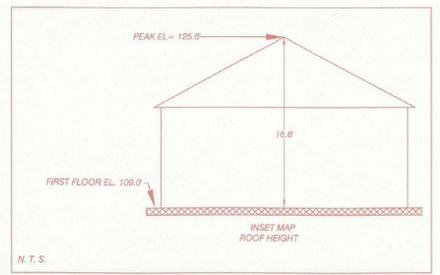
- RECORD MAP #91.
- RECORD MAP #281.
- CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF TRUMBULL "HUNTINGTON TURNPIKE FROM THE BRIDGEPORT TOWNSHIP NO. EASTERLY TO NICHOLS AVENUE ROUTE NO. 65. DATED DEC. 31, 1936. SCALE 1"=40'.



NIP  
LINDOMAR DE AMORIM GONCALVES  
VOL. 1788 , PAGE 806

NIP  
ELLEN SPYCHALLA  
VOL. 1491 , PAGE 380

**HUNTINGTON TURNPIKE**



<p><b>LAND SURVEYING SERVICES, LLC</b> 135 FAIRCHILD AVENUE FAIRFIELD, CONNECTICUT 06825 TEL. (203) 522-4177 FAX. (203) 615-0123 EMAIL: info@nealjain.com</p>	<p><b>TITLE BLOCK</b> ASSESSORS MAP # J111 , PARCEL # 00028 ZONE: AA APPLICANT: SAME AS OWNER</p>	<p>IMPROVEMENT LOCATION SURVEY PREPARED FOR <b>CASABIANCA LLC</b> 1362 HUNTINGTON TURNPIKE, TRUMBULL, CONNECTICUT</p> <p>SCALE: 1"= 10' DATE: SEP. 08, 2020</p>					
	<p>DISCUSSIVE TITLE: To the best of my knowledge and belief this map is substantially correct as noted hereon: NEAL J. JAIN L.S. # 18739</p>		<table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	DESCRIPTION	REVISIONS	
DATE	DESCRIPTION	REVISIONS					

Application #: \_\_\_\_\_

Date: \_\_\_\_\_

ZONING BOARD OF APPEALS

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- A. Variance of the Trumbull Zoning Regulations   X
- B. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_
- C. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

2. Location of Subject Premises:

House and Street: 15 Elberta Avenue

Assessor's Map No. G/09 Parcel No. 223 Lot No. \_\_\_\_\_

Trumbull Land Records: Volume(s) 1721 Page(s) 744

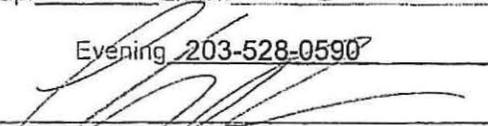
Zoning District: R-A

3. Name of Applicant Daniel Burzynski

Street Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd

City Fairfield ST CT Zip. 06824 Email: Chris@russorizio.com

Phone: Day 203-528-0590 Evening 203-528-0590

SIGNATURE OF APPLICANT   
(If agent, state capacity)

4. Owner of Record: Mathieu P Begin

Street Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd

City: Fairfield ST: CT Zip. 06824 Email: Chris@russorizio.com

SIGNATURE OF OWNER OF RECORD 

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:  
 Setback (front, side, rear)  
 Floor Area  
 Lot Area  
 Lot Coverage  
 Damage Reconstruction  
 Parking  
 Extension of enlargement of non-conforming use or building  
 Other (explain)  
Lot frontage  
\_\_\_\_\_  
\_\_\_\_\_
2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested: II 1.3.5  
ARTICLE(S) III (Exhibit) SECTION(S) \_\_\_\_\_ PARAGRAPH(S) \_\_\_\_\_  
SUBPARAGRAPH(S) \_\_\_\_\_
3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:  
See Attached  
\_\_\_\_\_  
\_\_\_\_\_

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: See Attached  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:  
See Attached  
\_\_\_\_\_



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa H. Wambolt  
(\*Also Admitted in NY)

July 15, 2020

Doug Wenz  
Zoning Enforcement Officer  
Planning & Zoning Department  
5866 Main Street  
Trumbull, CT 06611

**Re: ZBA Application for property located at 15 Elberta Avenue**

Dear Mr. Wenz:

Please accept the following revised responses as part of the variance application to the Trumbull Zoning Board of Appeals for the property located at 15 Elberta Avenue (the "Site") in the Residence A Zone:

**Section of Zoning Regulation for Variance and Description of Proposal**

1. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Trumbull Zoning Regulations ("Zoning Regulations") to reduce the minimum lot size from 21,780 SF to 7,086 SF for proposed Lot "A";
2. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot size from 21,780 SF to 7,141 SF for proposed Lot "B";
3. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 50' for both proposed Lots "A" & "B";
4. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum front yard from 50' to 28.5' for both proposed Lots "A" & "B";
5. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum side yard from 20' to 10.5' on one side setback and 11.2' on the other side setback for both proposed Lots "A" & "B";

1 Post Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

6. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to increase the maximum floor area ratio from 0.29 to 0.378 for proposed Lot "A"; and
7. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to increase the maximum floor area ratio from 0.29 to 0.376 for proposed Lot "B".

### **Proposed Development**

The Applicant proposes to subdivide the Site into two (2) building lots within the Residence A Zone. The Site currently contains an existing single-family dwelling, which will be demolished, and the Applicant proposes to construct a new two-story, single-family dwelling on each of the proposed lots. Each dwelling will contain Four (4) bedrooms and Three (3) full baths. The construction will mirror the abutting dwelling constructed at 11 Elberta Avenue, where the Applicant resides. The Applicant is locating the proposed dwellings further from the street than the existing dwelling to bring the Site into greater conformity and also to match the street line setbacks of abutting dwellings to create a uniform setback on the block. The proposed side yard and rear setbacks are in conformity with the neighborhood, which features a number of lots of similar lot area. However, the Site is unique in that it abuts a large-scale assisted living community at Middlebrook Farms to its rear. In addition, the proposed floor area of the dwellings at slightly under 2,800 S.F. is in keeping with the character of the neighborhood and it is certainly reasonable.

### **Hardship**

Granting the Applicant said variances will not substantially affect the comprehensive zoning plan of the Town of Trumbull and adherence to the strict letter of the Trumbull Zoning Regulations will cause an unusual hardship to the Applicant as the Applicant is proposing to subdivide the Site into two (2) lots, which are in conformity with lots on Elberta Avenue and to construct single-family dwellings, which are also in conformity with the setback location and size of other dwellings on Elberta Avenue. In fact, the Applicant proposes to construct dwellings, which are more conforming as to street line setback than the existing dwelling, which is by far the most dilapidated dwelling on the street. Its demolition will be an immediate approval to the neighborhood. The abutting properties on the south side of Elberta Avenue, as well as many other lots on the street, have the exact same lot dimensions as the proposed lots. The new construction dwelling will continue the recent trend of new construction on Elberta Avenue, which will increase property values on the street. The proposed dwellings will also be located in the center of the lots for a more even and standard buffer than many of the lots on Elberta Avenue, which tend to have dwellings very close to one side property line.

The Applicant has made revisions to the plans originally submitted with the Application to reduce or eliminate a number of variances. First, the Applicant increased the minimum front yard from 27.1' to 28.5'. The original proposed front yard was greater than the existing front yard on the Site and in conformity with the neighborhood and the currently proposed front yard only increases from that benefit further. It is also important to note that the Applicant proposes a minimum front yard of 28.5' from the street property line to the proposed steps to the dwelling, but the actual distance from the street property line to the actual dwelling is 32.1'. Similarly, the Applicant now proposes to increase the side property line setback for both proposed lots on one side properties from 10.3' to 10.5' and on the other side from 10.3' to 11.2', which will create further separation between the dwellings in greater conformity than most of the neighborhood.

Further, the revised plans submitted by the Applicant, through a reduction of the proposed dwellings, eliminated the necessity for a minimum rear yard setback for both proposed lots. It also reduced the variance for maximum floor ratio from 0.406 to 0.378 for proposed Lot "A" and from 0.403 to 0.376 for proposed Lot "B". Again, the original plans were in conformity with the neighborhood, but the proposed development of the dwellings is now in greater conformity with the Regulations as well.

For the reasons stated above, the Applicant respectfully requests approval for the stated variances at the Site.

Sincerely,



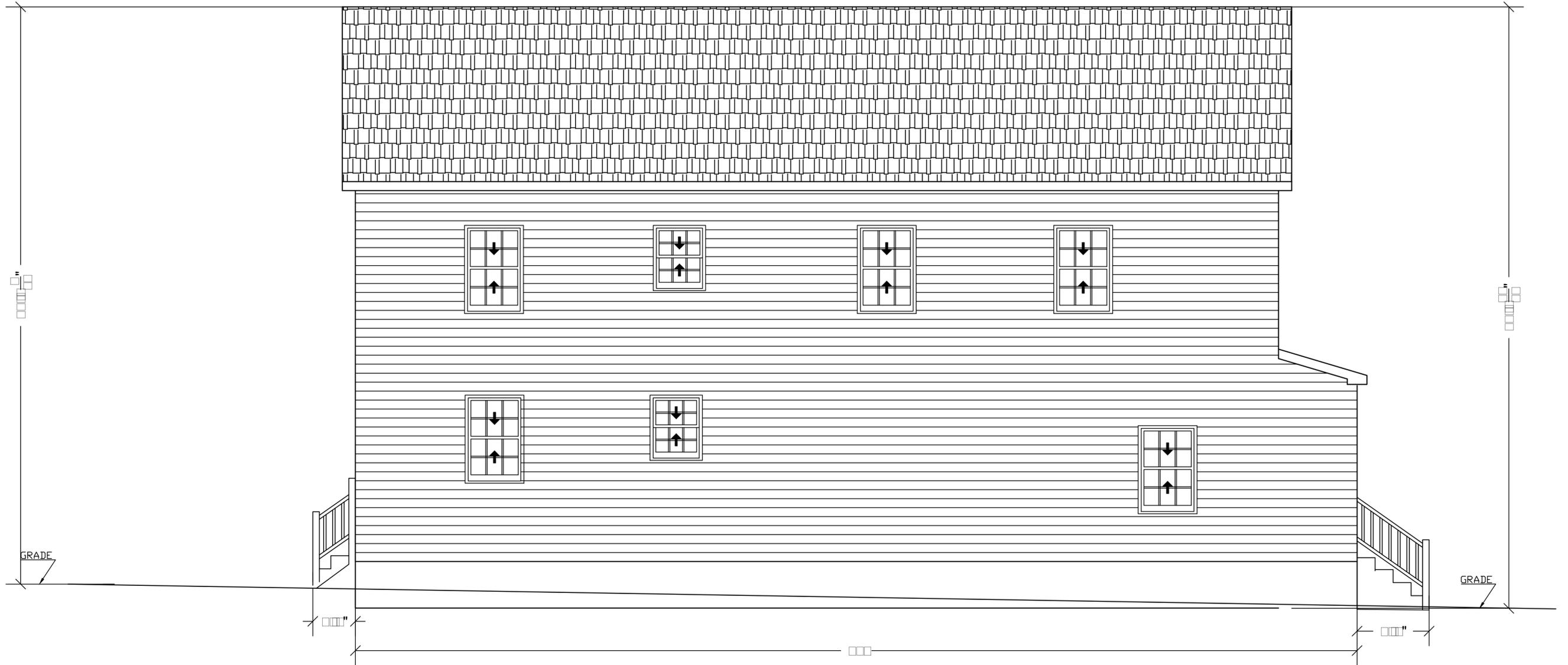
Raymond Rizio

Proprety Owners within 150' of 15 Elberta Avenue

Location	Owner	Co-Owner	Mailing Address	City	State	Zip Code
2770 RESERVOIR AVENUE	WHEELER PETER T		2770 RESERVOIR AVENUE	TRUMBULL	CT	06611
2790 RESERVOIR AVENUE	MONTINI AURORA		2790 RESERVOIR AVE	TRUMBULL	CT	06611
9 ELBERTA AVENUE	FRANKLIN KEVIN G	FRANKLIN NOREEN B	9 ELBERTA AVENUE	TRUMBULL	CT	06611
11 ELBERTA AVENUE	BURZYNSKI DANIEL J		11 ELBERTA AVE	TRUMBULL	CT	06611
2750 RESERVOIR AVENUE	KRE-BSL HUSKY TRUMBULL LLC	C/O BENCHMARK SENIOR LIVING	201 JONES RD 3RD FL W	WALTHAM	MA	2451
8 ELBERTA AVENUE	HATCH JOHN A		1118 CLEARVIEW PARKWAY	METARIE	LA	70001
15 ELBERTA AVENUE	BEGIN MATHIEU P		15 ELBERTA AVENUE	TRUMBULL	CT	06611
17 ELBERTA AVENUE	KITCHENER CHRISTOPHER EST	C/O RICHARD KITCHENER EXECUTOR	614 MOOSE HILL RD	MONROE	CT	06468
19 ELBERTA AVENUE	BARBERO JAY J &	BARBERO JUDY L	19 ELBERTA AVE	TRUMBULL	CT	06611
2840 RESERVOIR AVENUE	PEREZ MIGUEL & JESSICA		2840 RESERVOIR AVENUE	TRUMBULL	CT	06611
10 ELBERTA AVENUE	ELEFThERIADIS MARGARET & SAVVAS		10 ELBERTA AVENUE	TRUMBULL	CT	06611
16 ELBERTA AVENUE	TUCKER IRENAEUS N &	PIETRYKA SARAH E	16 ELBERTA AVE	TRUMBULL	CT	06611
18 ELBERTA AVENUE	FAN TINGTING		18 ELBERTA AVENUE	TRUMBULL	CT	06611
22 ELBERTA AVENUE	ANNIS JENIFER L & ERIC R		22 ELBERTA AVENUE	TRUMBULL	CT	06611



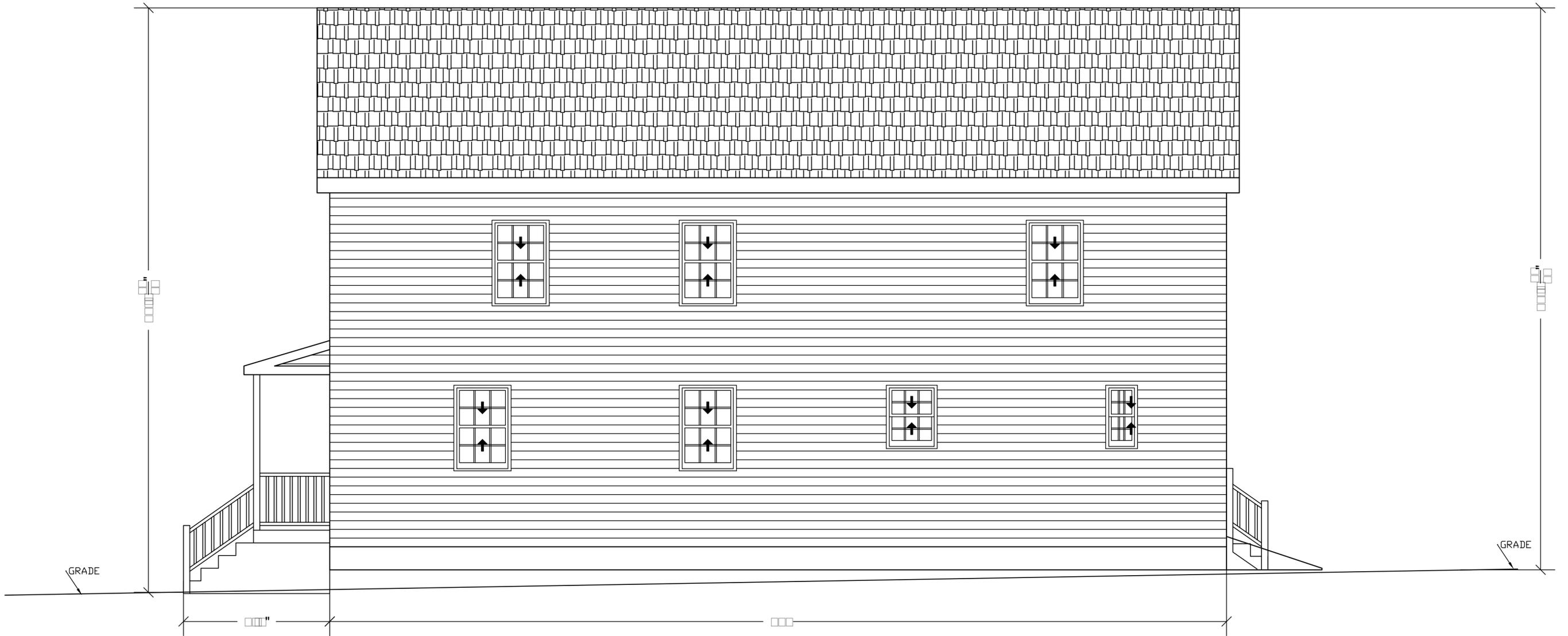
PROPOSED FRONT  
ELEVATION  
15 ELBERTA AVE.  
TRUMBULL CT



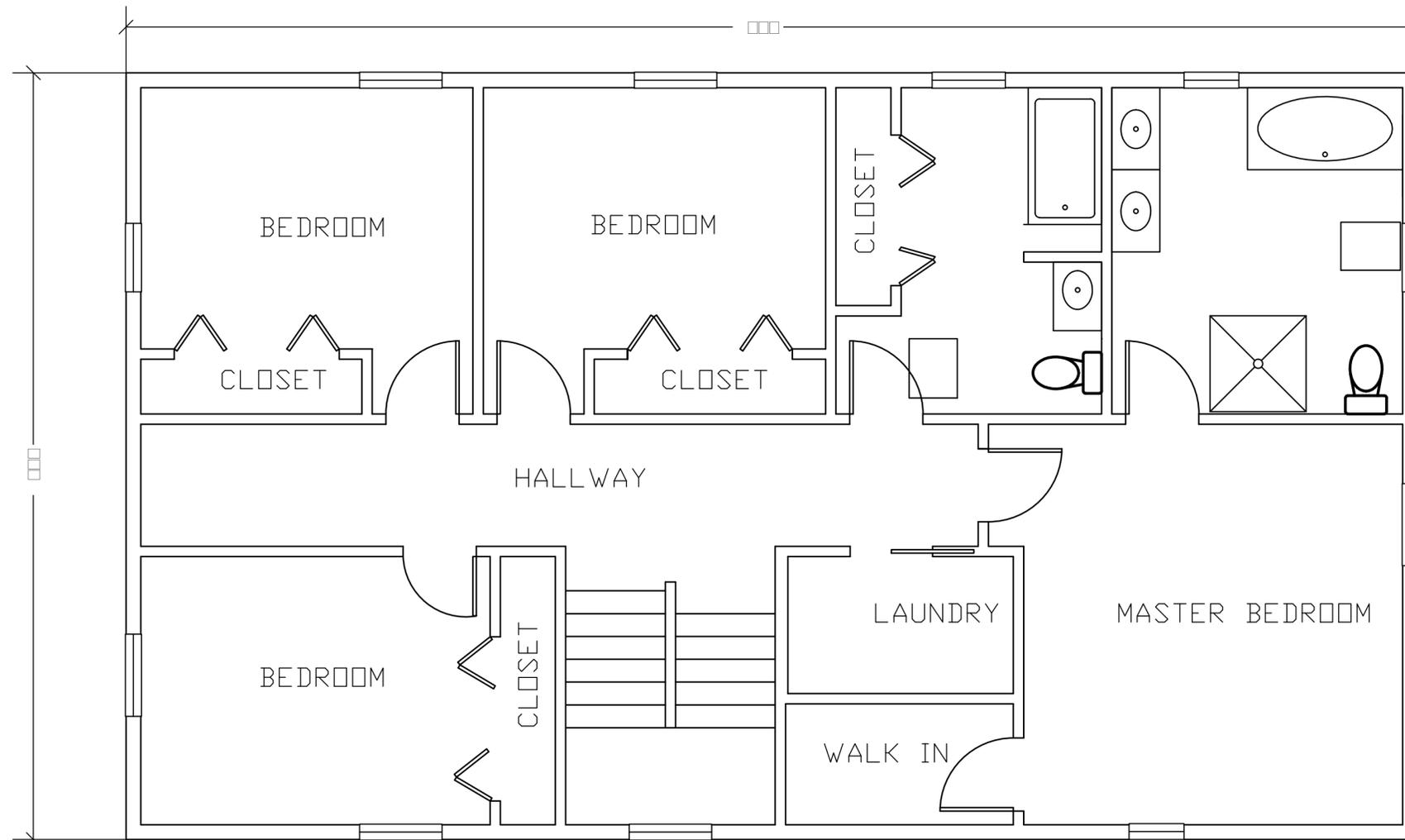
PROPOSED SIDE  
ELEVATION  
15 ELBERTA AVE.  
TRUMBULL CT



PROPOSED REAR  
ELEVATION  
15 ELBERTA AVE.  
TRUMBULL CT



PROPOSED SIDE  
ELEVATION  
15 ELBERTA AVE.  
TRUMBULL CT



PROPOSED SECOND FLOOR  
15 ELBERTA AVE.  
TRUMBULL CT

October 1, 2020

Zoning Board of Appeals Application to Split Lot

TO: ZBA Commission

RE: Lot Split

Application #20-30

On upcoming agenda I see the owner(s) of 15 Elberta Ave have applied to split their small lot into two parcels, requiring 6 variances for one lot and 7 variances for the second, of Town Zoning regulations..

Two areas specifically cited within Statutes, with respect to Waivers and Zoning Boards of Appeal

- 1) Waivers are only granted in cases where the hardship has been imposed by conditions outside the property owner's control
- 2) Financial considerations do not constitute a legal hardship that would warrant a variance.

The property owner(s) are aware of existing zoning regulations and have created an artificial hardship by attempting to split their existing lot for purely financial gain. An area cited specifically for which a waiver shall not be granted.

I am against this application and urge you to deny this application and any others that come before you similar in nature..

Thank you.  
Tracy Vonick  
155 Killian Ave  
Trumbull

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ROGER KERGARAVAT  
89 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

PETER & LAURA YARUSAVAGE  
80 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

MARILYN MCCARTHY  
86 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

RALPH BERSHEFSKY  
88 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CHRIS & ALEXANDRA  
98 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

SARAH TURECHEK  
108 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

DAVID & SARA FOWLER  
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

PATRICIA CORDA  
124 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CHRIS & ANNE TRACEY  
82 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ERIN DAMATO  
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

DANIELLE MCCAIN  
72 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CAROL & NELSON LADUE  
78 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JEFF LUND  
81 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

KYLE & LAURA MARSDEN KISH  
87 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JOE CUNEO  
101 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

FRANK & PATRICIA LAPEGNA  
84 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

SPIRO & MICHAEL MALISORY  
114 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ELIZABETH IRWIN  
124 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CLAUDIA MONTOYA  
125 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

KATHLEEN RICHARSON  
127 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

COREY OSOBA  
134 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

TIMOTHY KILLIAN  
142 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JASON FRANGENES  
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

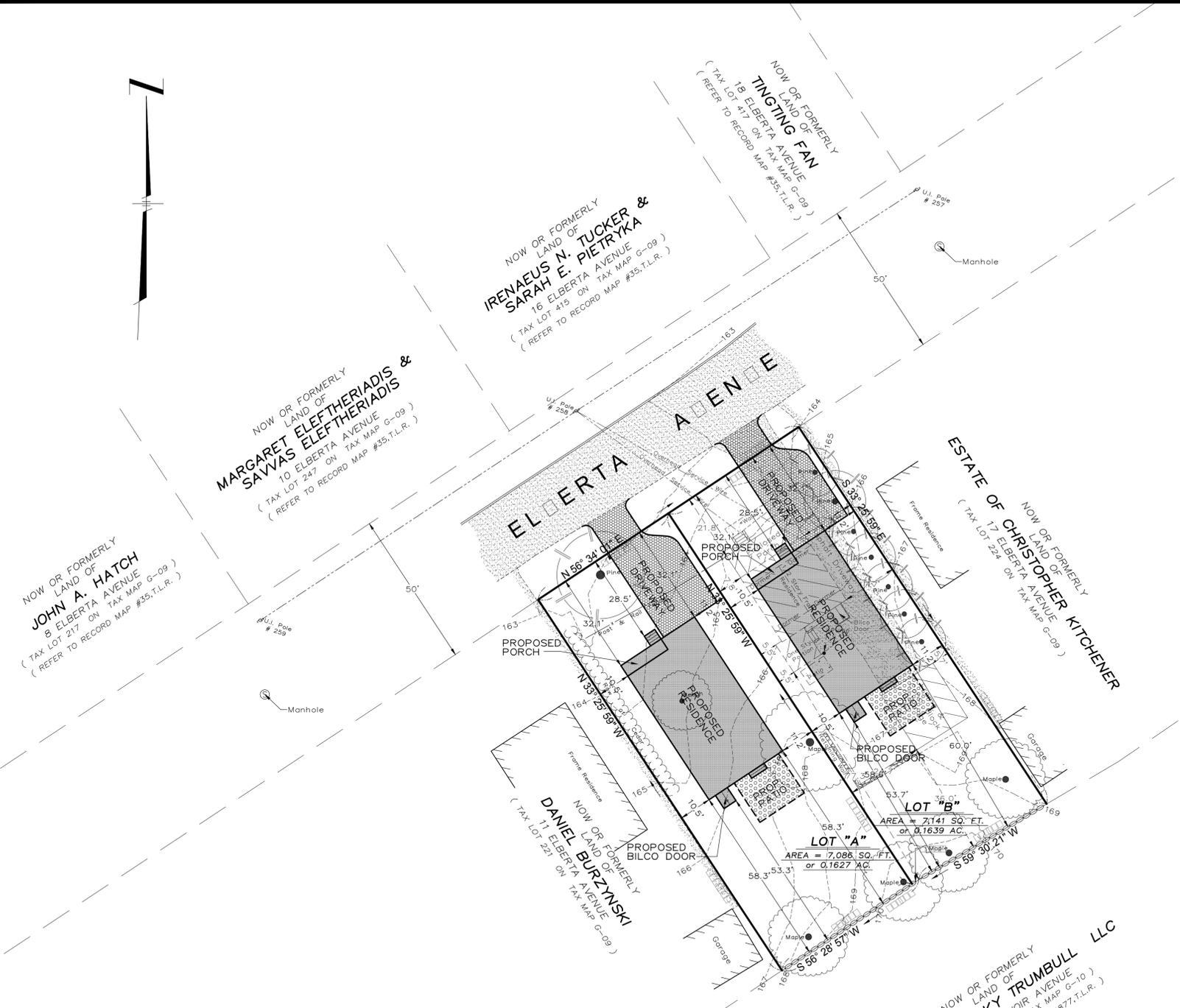
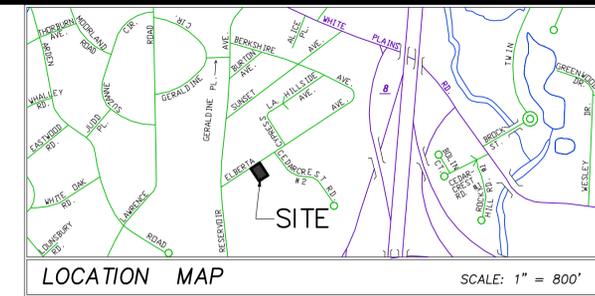
Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

HILARY MAYO  
144 KILLIAN AVENUE



**LOT "A"**

STANDARDS FOR RESIDENCE A ZONE	REQUIREMENTS MAX. / MIN.	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
MINIMUM LOT SIZE	0.50 AC. 21,780 SQ. FT.	0.1627 AC. 7,086 SQ. FT.	0.1627 AC. 7,086 SQ. FT.	
MINIMUM ROAD FRONTAGE (feet)	150	50'	50'	
MINIMUM FLOOR AREA (square feet)				
1 Story	1 <sup>st</sup> Floor 1200	-	-	
1.5 Story	1 <sup>st</sup> Floor 900	-	-	
	2 <sup>nd</sup> Floor 500	-	-	
2 Story	1 <sup>st</sup> Floor 900	-	1,366.3	
	2 <sup>nd</sup> Floor 800	-	1,316.0	
MAXIMUM BUILDING HEIGHT (feet)	40'(g)	-	27±	
MINIMUM YARDS (feet in depth)				
Front	50'	-	32.1' To Res 28.5' To Steps	
Side	20'	-	10.5'	
Rear	50'	-	53.3'	
MAXIMUM BUILDING COVERAGE	25 %	-	21.11 %	
MAXIMUM FLOOR AREA RATIO	.29 Principal Building	-	0.378	

a) Also applies to pre-existing nonconforming residence uses except as otherwise specifically provided in these regulations.  
 b) Frontage requirement applies to entire area zoned Planned Residential Conservation Zone (PRCZ).  
 c) No principal building within the PRCZ shall be within fifty (50') feet of a boundary line of a PRCZ. The front setback in PRCZ is the distance measured from the closest part of the building located to the edge of the pavement.  
 d) The maximum building coverage shall be (15%) percent of the land located in the PRCZ.  
 e) To be specified by the Planning and Zoning Commission under Article II, Section 3. (Effective 3/4/60).  
 f) May be increased to 45 feet walk-out basements. See Article II, Section 3.1.8 July 25, 2008.  
 g) See Section 3.3 of this Article II.

**PROPOSED BUILDING COVERAGE:**  
 RESIDENCE, STEPS, BILCO & PORCH ..... 1,496.2 SQ. FT. = 21.11 %  
**PROPOSED LOT COVERAGE:**  
 TOTAL PROPOSED BUILDING COVERAGE ..... 1,496.2 SQ. FT.  
 DRIVEWAY ..... 628 SQ. FT.  
 TOTAL PROPOSED LOT COVERAGE ..... 2,124.2 SQ. FT. = 29.98 %

**LOT "B"**

STANDARDS FOR RESIDENCE A ZONE	REQUIREMENTS MAX. / MIN.	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
MINIMUM LOT SIZE	0.50 AC. 21,780 SQ. FT.	0.1639 AC. 7,141 SQ. FT.	0.1639 AC. 7,141 SQ. FT.	
MINIMUM ROAD FRONTAGE (feet)	150	50'	50'	
MINIMUM FLOOR AREA (square feet)				
1 Story	1 <sup>st</sup> Floor 1200	-	-	
1.5 Story	1 <sup>st</sup> Floor 900	905.9	-	
	2 <sup>nd</sup> Floor 500	420.7	-	
2 Story	1 <sup>st</sup> Floor 900	-	1,366.3	
	2 <sup>nd</sup> Floor 800	-	1,316.0	
MAXIMUM BUILDING HEIGHT (feet)	40'(g)	18.16	18.16	
MINIMUM YARDS (feet in depth)				
Front	50'	21.8'	32.1' To Res 28.5' To Steps	
Side	20'	5.5'	10.5'	
Rear	50'	77.3'	53.7'	
MAXIMUM BUILDING COVERAGE	25 %	19.23 %	20.95 %	
MAXIMUM FLOOR AREA RATIO	.29 Principal Building	0.186	0.376	

a) Also applies to pre-existing nonconforming residence uses except as otherwise specifically provided in these regulations.  
 b) Frontage requirement applies to entire area zoned Planned Residential Conservation Zone (PRCZ).  
 c) No principal building within the PRCZ shall be within fifty (50') feet of a boundary line of a PRCZ. The front setback in PRCZ is the distance measured from the closest part of the building located to the edge of the pavement.  
 d) The maximum building coverage shall be (15%) percent of the land located in the PRCZ.  
 e) To be specified by the Planning and Zoning Commission under Article II, Section 3. (Effective 3/4/60).  
 f) May be increased to 45 feet walk-out basements. See Article II, Section 3.1.8 July 25, 2008.  
 g) See Section 3.3 of this Article II.

**EXISTING BUILDING COVERAGE:**  
 RESIDENCE & PORCHES ..... 973.9 SQ. FT.  
 DETACHED GARAGE ..... 399.1 SQ. FT.  
 TOTAL EXISTING BUILDING COVERAGE ..... 1,373.0 SQ. FT. = 19.23 %  
**EXISTING LOT COVERAGE:**  
 TOTAL EXISTING BUILDING COVERAGE ..... 1,373.0 SQ. FT.  
 DRIVEWAY ..... 1,131 SQ. FT.  
 TOTAL EXISTING LOT COVERAGE ..... 2,504.0 SQ. FT. = 35.07 %

FINISH FLOOR ELEVATION = 168.02  
 PEAK OF ROOF ELEVATION = 186.18  
 DETACHED GARAGE FLOOR ELEVATION = 166.81  
 HEIGHT OF RESIDENCE = 186.18-168.02 = 18.16 FEET

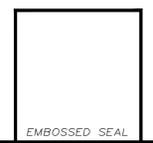
**PROPOSED BUILDING COVERAGE:**  
 RESIDENCE, STEPS, BILCO & PORCH ..... 1,496.2 SQ. FT. = 20.95 %  
**PROPOSED LOT COVERAGE:**  
 TOTAL PROPOSED BUILDING COVERAGE ..... 1,496.2 SQ. FT.  
 DRIVEWAY ..... 628 SQ. FT.  
 TOTAL PROPOSED LOT COVERAGE ..... 2,124.2 SQ. FT. = 29.75 %

- NOTES:**
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996.
  - THE TYPE OF SURVEY PERFORMED IS A BUILDING LOCATION MAP, ZONING. THE MAIN PURPOSE OF THIS SURVEY IS TO SHOW THE INFORMATION NECESSARY TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH THE APPLICABLE ZONING SETBACK REQUIREMENTS. AS SUCH, IT MAY BE NECESSARY TO DEPICT ONLY A PORTION OF THE PROPERTY. THE ONLY IMPROVEMENT THAT NEED BE SHOWN IS THE EXISTING OR PROPOSED BUILDING RELATING TO THE MATTER OF ZONING COMPLIANCE BEING ADDRESSED.
  - THE BOUNDARY DETERMINATION IS BASED UPON THE DEPENDENT RESURVEY METHOD.
  - THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS. VERTICAL DATA CONFORMS TO A CLASS T-2 STANDARDS, REFERS TO APPROXIMATE
  - THE SUBJECT PROPERTY IS SHOWN AS TAX LOT 223 ON ASSESSOR'S MAP G-09.
  - THE SUBJECT PROPERTY IS LOCATED IN 'A' RESIDENCE ZONE. NAVD 88 DATUM.
  - THE SUBJECT PROPERTY IS OWNED BY MATHIEU P. BEGIN REFER TO RECORD DEED VOL. 1721, PG. 744 ON FILE IN THE OFFICE OF THE TRUMBULL TOWN CLERK.

**MAP REFERENCE:**  
 RECORD MAP # 34.T.L.R. ENTITLED "PROPERTY OF E.J. HAWLEY TRUMBULL, CONN. SCALE 1" = 50' AUGUST 1917" CERTIFIED SUBSTANTIALLY CORRECT BY PALMER & GOODSELL, SURVEYORS.  
 RECORD MAP # 35.T.L.R. ENTITLED "MAP OF PROPERTY FOR E.J. HAWLEY SITUATED IN TRUMBULL, CT. SURVEYED JULY 25, 1920 SCALE 1" = 50'". CERTIFIED SUBSTANTIALLY CORRECT BY W.C. MOREHOUSE SURVEYOR.  
 RECORD MAP # 2877.T.L.R. ENTITLED "PROPERTY SURVEY CEDARCREST WOODS RESERVOIR AVENUE & CEDARCREST ROAD TRUMBULL, CONNECTICUT SCALE 1" = 40' JANUARY 5, 1998" CERTIFIED SUBSTANTIALLY CORRECT BY ROBERT A. JACKSON, JR. L.S. #11347 FOR MILONE & MACBROOM, INC. SHEET 1 OF 1.

**TOTAL AREA = 14,227 SQ. FT.  
 or 0.3266 AC.**

THIS SURVEY WAS PREPARED FOR A SPECIFIED PURPOSED. ANY USE OTHER THAN THAT WHICH IT WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARER'S DECLARATION NULL AND VOID.  
 UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY ARE NOT SHOWN.  
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OR SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.  
 THE DECLARATION SHOWN RUNS TO THE PERSON, OR PERSONS FOR WHOM THE SURVEY WAS PREPARED FOR. THE DECLARATION IS NOT TRANSFERABLE.  
 THE SURVEY AND DECLARATION SHOWN HEREON IS NULL AND VOID WITHOUT THE LICENSED SURVEYORS LIVE SIGNATURE OR EMBOSSED SEAL.



**PROPOSED LAYOUT  
 RE-SUBDIVISION SURVEY  
 MAP OF PROPERTY**

PREPARED FOR  
**Daniel J. Burzynski**  
 15 ELBERTA AVENUE  
 TRUMBULL, CONNECTICUT

SCALE: 1" = 20'      DEC. 9, 2019

GRAPHIC SCALE  
 0 10 20 40  
**WALTER H. SKIDD - LAND SURVEYOR LLC**  
 To the best of my knowledge and belief this map is substantially correct as noted hereon.  
 WALTER H. SKIDD, L.S. Conn. Reg. # 14663  
 1992 STRATFIELD ROAD - FAIRFIELD, CONN.  
 TELEPHONE (203) 373-0401



Application #: \_\_\_\_\_

Date: 8/26/2020

**ZONING BOARD OF APPEALS**

**RECEIVED**

SEP 09 2020

By ZBA # 20-37  
PLANNING & ZONING

**APPLICATION FOR HEARING:**

1. The purpose of this application is for the following:

- A. Variance of the Trumbull Zoning Regulations ✓
- B. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_
- C. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

2. Location of Subject Premises:

House and Street: 15 Magnolia Rd

Assessor's Map No. 1232 Parcel No. D06-186 Lot No. 11

Trumbull Land Records: Volume(s) \_\_\_\_\_ Page(s) \_\_\_\_\_

Zoning District: A

3. Name of Applicant: Brittany + Domingos Vaz, JR

Street Address: 15 Magnolia Rd

City: Trumbull ST: CT Zip: 06611 Email: Falcone 247@gmail.com

Phone: Day 203-246-6230 Evening 203-906-8207

SIGNATURE OF APPLICANT Brittany Vaz  
(If agent, state capacity)

4. Owner of Record: Domingos Jr + Brittany Vaz

Street Address: 15 Magnolia Rd

City: Trumbull ST: CT Zip: 06611 Email: Falcone 247@gmail.com

SIGNATURE OF OWNER OF RECORD Brittany Vaz

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)

\_\_\_\_\_  
\_\_\_\_\_

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) \_\_\_\_\_ SECTION(S) \_\_\_\_\_ PARAGRAPH(S) \_\_\_\_\_  
SUBPARAGRAPH(S) \_\_\_\_\_

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

\_\_\_\_\_  
\_\_\_\_\_

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

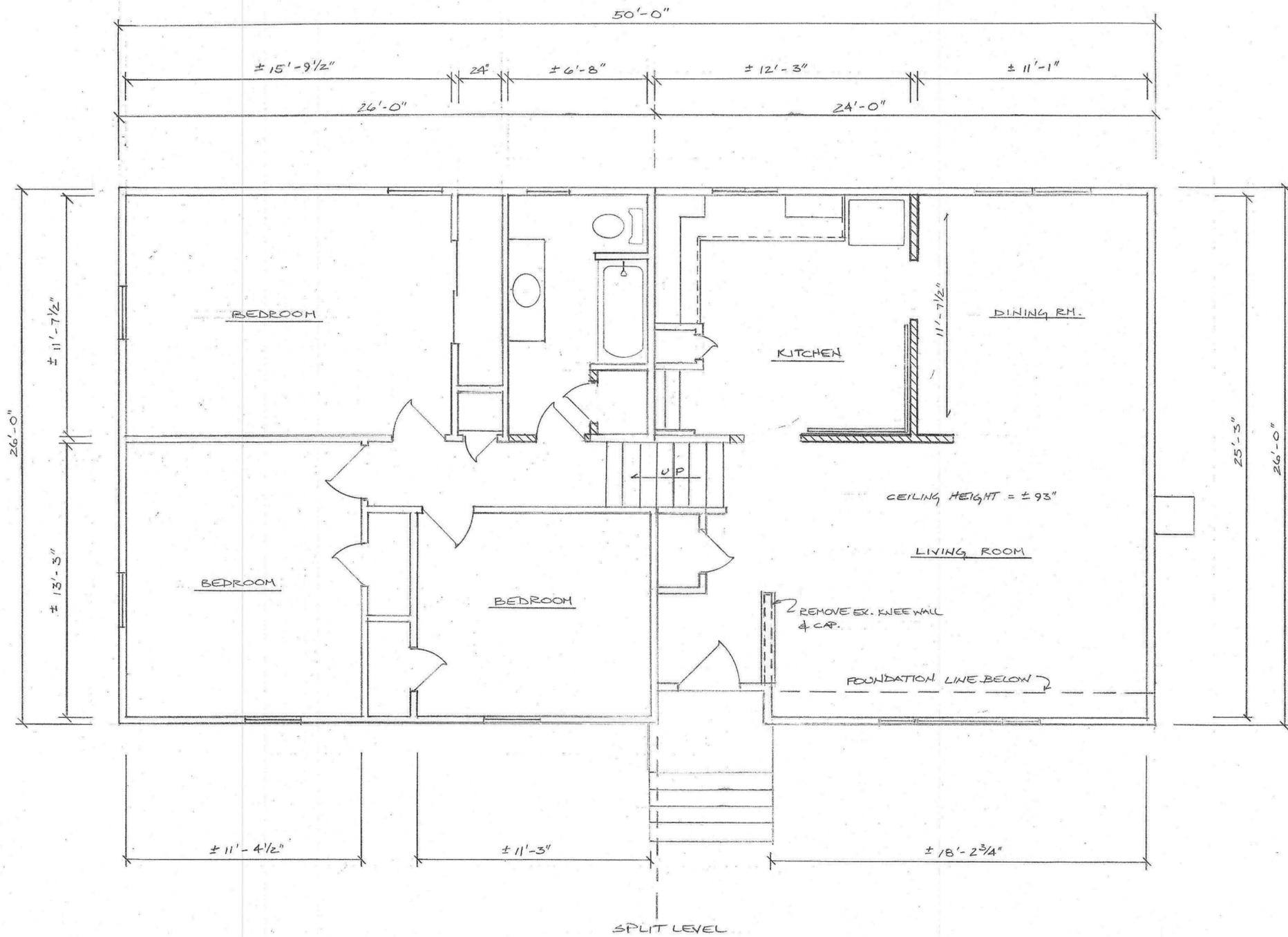
4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE:

Second story addition over existing first floor

\_\_\_\_\_  
\_\_\_\_\_

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

existing house built prior to current zoning regulations.

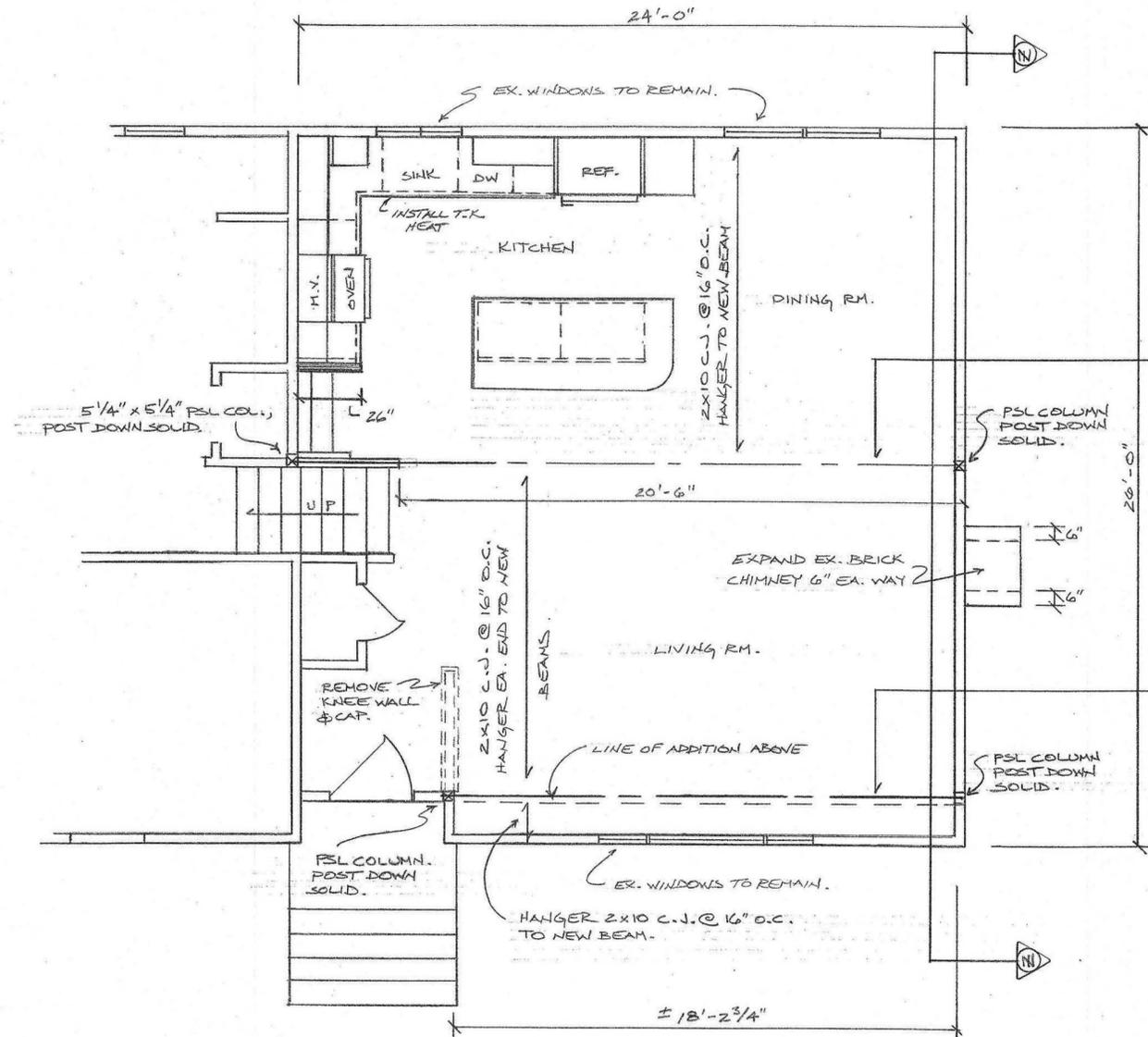


EXISTING FLOOR PLAN

▨ - INDICATES WALLS OR PORTIONS OF WALLS TO BE REMOVED.



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC 18 JONASZ RD. NORWALK, CT. 06854		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY:
DATE: 10.10.19		REVISED:
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611		
EXISTING FLOOR PLAN		DRAWING NUMBER 1



(3) 1 3/4" x 9 1/4" LVL w/ (2) 7/8" x 9 1/4" STEEL PLATE FLITCHED BEAM. (INSTALLED FLUSH)  
2 ROWS OF 1/2" DIA. CARRIAGE BOLTS @ 24" O.C.

(3) 1 3/4" x 9 1/4" LVL w/ (2) 3/4" x 9 1/4" STEEL PLATE FLITCHED BEAM (FLUSH INSTALLATION).  
2 ROWS OF 1/2" CARRIAGE BOLTS @ 24" O.C.

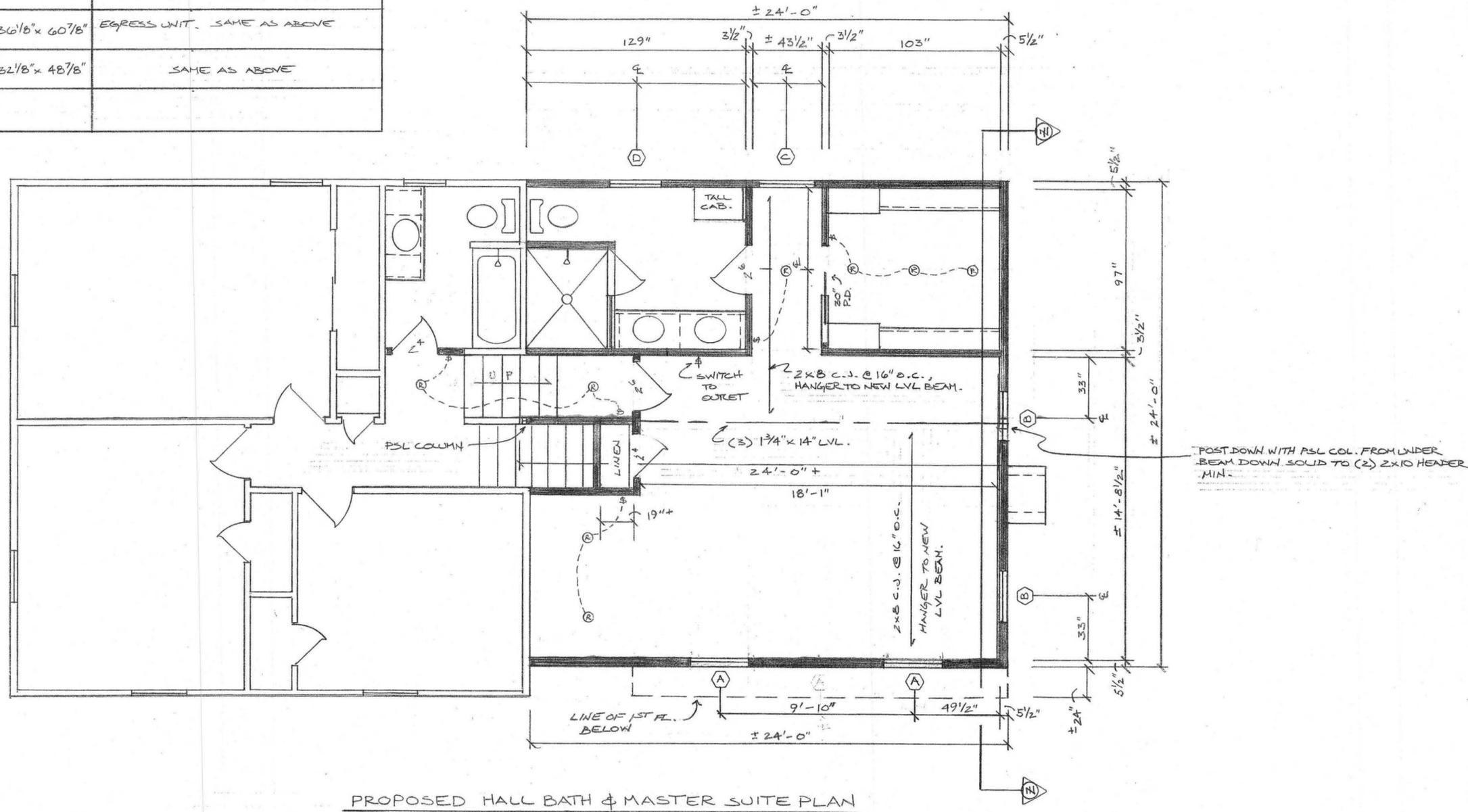
PROPOSED FLOOR PLAN

— INDICATES NEW WALL OR PORTION OF WALL CONSTRUCTION.



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC. 78 JUHASE RD. NORWALK, CT. 06854		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10.10.19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TROMBULL, CT. 06611		
PROPOSED 1ST FLOOR PLAN		DRAWING NUMBER 2

WINDOW SCHEDULE - ANDERSEN 400 SERIES OR EQUAL				
QTY.	MANF. #	R.O.	REMARKS	
2	TW2842	34 1/8" x 52 7/8"	TILT WASH DBL. HUNG WINDOWS. WHITE EXT. WOOD INT., WHITE SCREEN & HDN., CLEAR GLASS. 2X6 JAMB	
2	TW2842	34 1/8" x 52 7/8"	SAME AS ABOVE.	
1	TW210410	36 1/8" x 60 7/8"	EGRESS UNIT. SAME AS ABOVE	
1	TW26310	32 1/8" x 48 7/8"	SAME AS ABOVE	



PROPOSED HALL BATH & MASTER SUITE PLAN



— INDICATES NEW WALL OR PORTION OF WALL CONSTRUCTION.  
 NOTE: EXACT LOCATION OF ALL OUTLETS, SWITCHES & LIGHTS TO BE DETERMINED IN FIELD AND AS PER CONNECTICUT BUILDING CODE REQUIREMENTS.

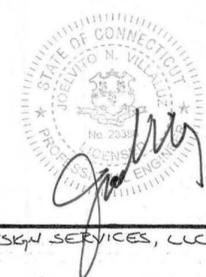
BLITZ ARCHITECTURAL DESIGN SERVICES, LLC 18 JONAS RD. NORWALK, CT. 06854		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10-10-19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611		
NEW HALL BATH & MASTER SUITE PLAN		DRAWING NUMBER 3



REAR ELEVATION



FRONT ELEVATION



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC 18 JUHASZ RD. NORWALK, CT. 06854		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10-10-19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611		
FRONT & REAR ELEVATIONS		DRAWING NUMBER 4



RIGHT SIDE ELEVATION

LEFT SIDE ELEVATION



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC 18 JUMASZ RD. NORWALK, CT. 06854		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10-10-19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611		
RIGHT & LEFT SIDE ELEVATIONS		DRAWING NUMBER 5



ROOFING:  
1/2" PLYWOOD SHEATHING, TARPAPER,  
SHINGLES TO MATCH EXISTING

2x12 RIDGE BEAM. POST DOWN SOLID  
@ EACH END TO (3) 1 3/4" x 14" L.V.L.  
USE PSL COL. OR COMMON LUMBER.

2x8 RAFTERS 16" O.C.  
PITCH TO MATCH EXISTING ROOF.  
SEE PG. 8 FOR ALL DETAILS

(3) 1 3/4" x 14" L.V.L., POST  
DOWN SOLID AT EA. END.  
SEE PLAN & PG. 8 DETAILS.

HURRICANE CLIPS  
(SEE PG. 8)

HURRICANE CLIPS (SEE PG. 8)

2x8 C.J. 16" O.C. HANGER  
TO NEW FLUSH BEAM.  
SPRAY FOAM INSULATE FOR  
CODE R-VALUE.

2x8 C.J. 16" O.C. HANGER  
TO NEW FLUSH BEAM  
SPRAY FOAM INSULATE FOR CODE  
R-VALUE.

WALL CONSTRUCTION:  
(TYP)

WALL CONSTRUCTION:  
2x6 STUDS 16" O.C. W/ R-20 INSULATION.  
1/2" PLYWOOD SHEATHING, TYVEK HOUSEWRAP,  
SIDING TO MATCH EXISTING.  
(SEE PG. 8 FOR DETAILS)

2x8 RAFTERS 16" O.C.,  
1/2" PLYWOOD, TARPAPER,  
SHINGLES TO MATCH EXISTING.  
PITCH TO MATCH EXISTING.  
PROVIDE FLASHING

2x10 16" O.C. HANGER TO  
BEAM. SPRAY FOAM  
INSULATE.

CONTINUOUS  
SOFFIT VENT

EXISTING  
2x4  
WALL

SEE PG. 8 FOR STRAPPING DETAILS.

(3) 1 3/4" x 9 1/4" LVL  
W/ 2 - 3/4" x 9 1/4" STEEL  
PLATE FLITCHED BEAM.  
2 - ROWS OF 1/2"  
CARRIAGE BOLTS @  
24" O.C.  
POST DOWN SOLID AT  
EACH END.  
(SEE PLAN)

(3) 1 3/4" x 9 1/4" LVL W/  
2 - 7/8" x 9 1/4" STEEL PLATE  
FLITCHED BEAM  
2 - ROWS OF 1/2" CARRIAGE BOLTS  
@ 24" O.C.  
POST DOWN SOLID AT EA. END  
(SEE PLAN)

2x10 C.J. 16" O.C.  
HANGER AT EACH END TO  
FLUSH BEAMS.

2x10 C.J. JOISTS 16" O.C.  
HANGER TO FLUSH BEAM.

EXISTING 2x4  
WALL

LIVING RM.

DINING RM.

GRADE

EXISTING FOUNDATION

EXISTING FOUNDATION

GRADE

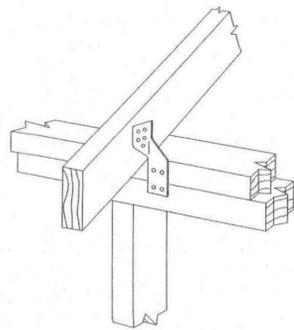
24'-0"

EXISTING BASEMENT

SECTION - (3)



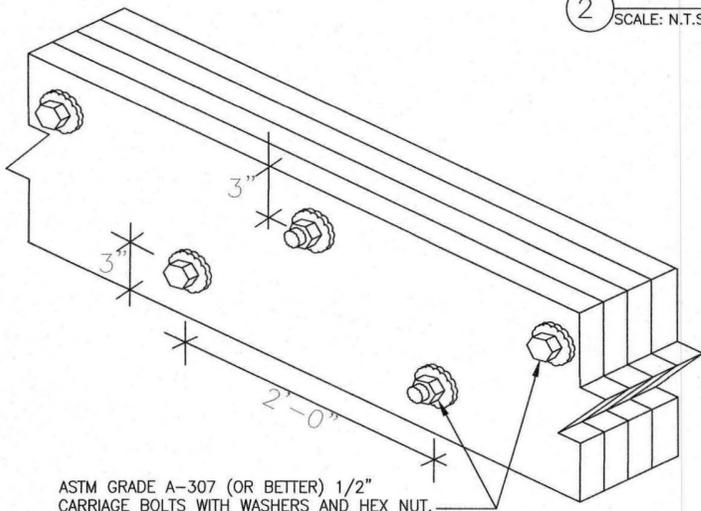
BLTZ ARCHITECTURAL DESIGN SERVICES, LLC. 10 JONASZ RD. NORWALK, CT. 06854		
SCALE: 1/2" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10-10-19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611		
BUILDING SECTION OF ADDITION.		DRAWING NUMBER 7



SIMPSON H2.5

**1 TYP. H2.5 INSTALLATION DETAIL**

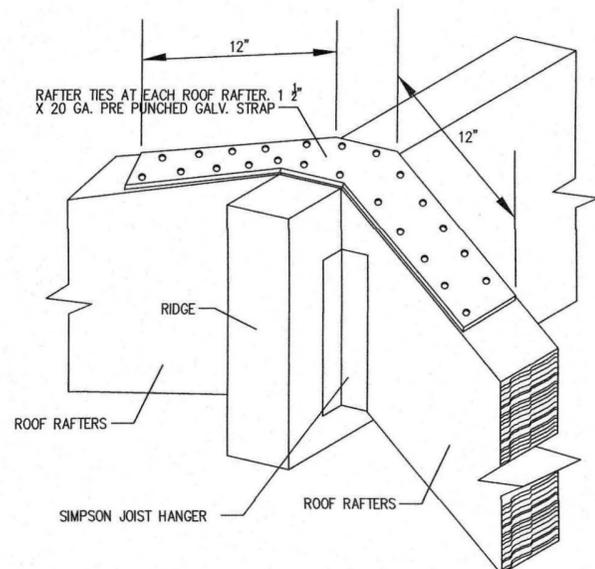
SCALE: N.T.S.



ASTM GRADE A-307 (OR BETTER) 1/2" CARRIAGE BOLTS WITH WASHERS AND HEX NUT.

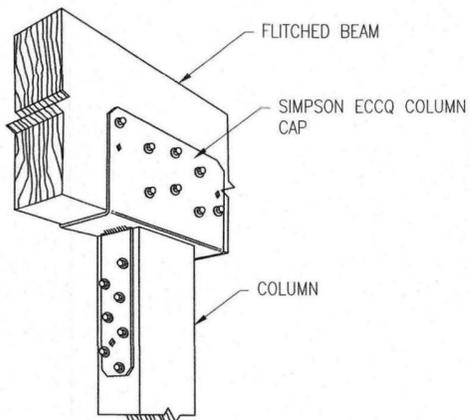
**3 TYP. BOLTING PATTERN FOR FLITCHED BEAM**

SCALE: N.T.S.



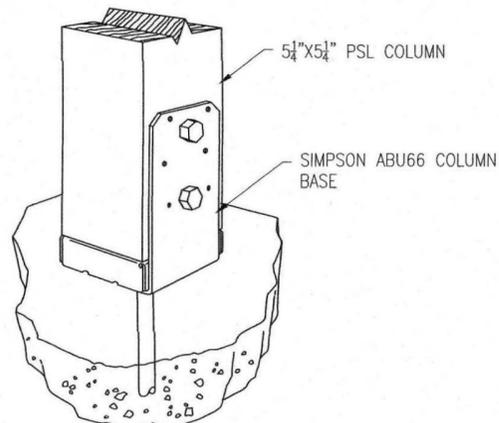
**5 RAFTER TO RAFTER CONN., TYP. @ EACH RAFTER**

SCALE: N.T.S.



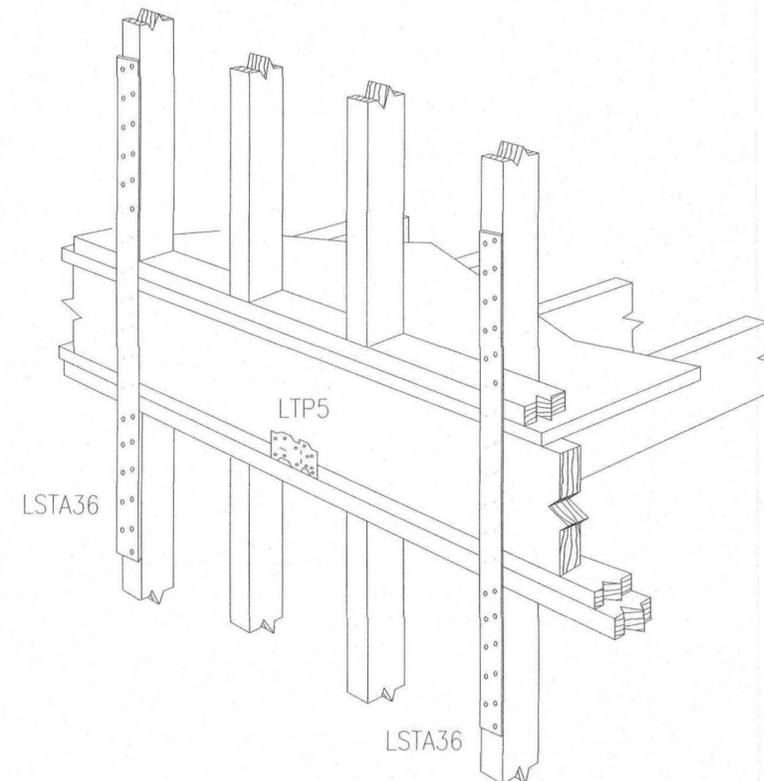
**2 TYP. COLUMN TO END OF BEAM CONNECTION DETAIL**

SCALE: N.T.S.



**4 TYP. COLUMN BASE**

SCALE: N.T.S.



**6 TYP. FLOOR TO FLOOR CONNECTION**

SCALE: N.T.S.

- NOTES:
1. SIMPSON LSTA36 TO BE SPACED AT 48" O.C.
  2. SIMPSON LTP5 TO BE LOCATED BETWEEN LSTA36.
  3. STRAP CAN BE INSTALLED OVER SHEATHING BUT SHOULD BE ALIGNED WITH STUDS.

**GENERAL NOTES:**

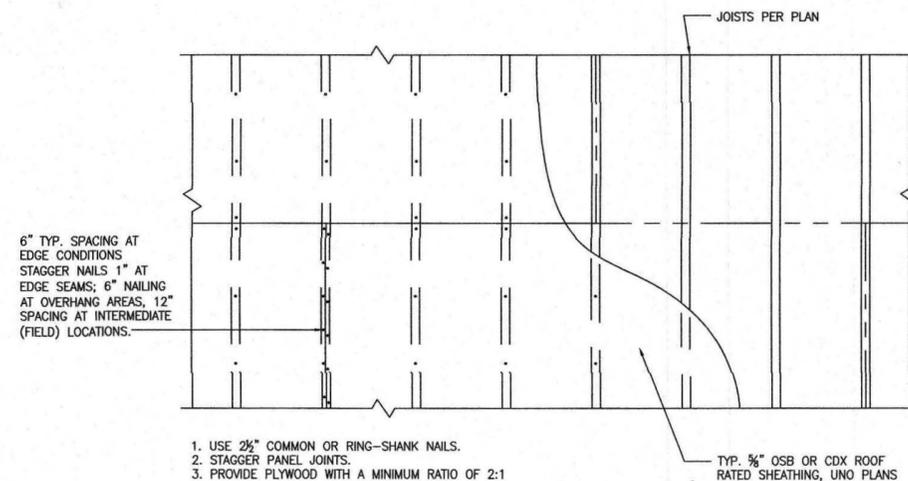
1. All plans are drawn to and work shall comply with IRC 2015 Building Code and local zoning regulations. These plans are prepared for the proposed second floor addition.
2. The Owner or his representative is to process the Building Permit. The Contractor is to arrange for all required inspections by the city.
3. Owner reserves the right to reject any or all bids and may choose not to include one or more parts of this Project.
4. All Specified products shall be installed per Manufacturer's specifications and details. If conflict is discovered consult Design Engineer.
5. All work shall be performed in the best and most professional manner by the contractors skilled in their respective trades.
6. Contractor to insure all materials are kept under cover and dry. Protect against exposure to weather and contact with damp or wet surfaces. Stack lumber as well as Plywood and other panels; provide for air circulation within and around stacks and under temporary coverings including polyethylene and similar materials.
7. The Contractor shall keep the premises and surrounding area free from accumulation of waste material or rubbish caused by operation under contract. At completion of the work, the Contractor shall remove from and about the project waste material, rubbish, the Contractor's tools, construction equipment, machinery and surplus materials.

**FRAMING & CONSTRUCTION NOTES:**

1. All dimensions are to face of stud or face of concrete, unless otherwise noted.
2. The contractor shall be responsible to the ways and means of supporting the existing framing/structure when constructing the proposed second floor.
3. All Laminated Veneer Lumbar shall be manufactured by Trus Joist MacMillan or approved equal.
4. All lumber to comply with PS 20 "American Softwood Lumber Standard" and with applicable grading rules of inspection agencies certified by ALSC's Board of Review. All new framing lumber to be Southern Yellow Pine "no. 2" Grade or better.
5. All steel shall comply with ASTM A36.

**STRUCTURAL NOTES:**

1. SOME INFORMATION NOT SHOWN FOR CLARITY. NORTH IS APPROXIMATE.
2. EXISTING BUILDING LOCATION, ORIENTATION & ASSOCIATED EQUIPMENT LOCATIONS ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED THROUGH FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING STRUCTURES, EQUIPMENT LOCATIONS AND SITE DETAILS PRIOR TO ALL FABRICATION & CONSTRUCTION.
3. ALL BOLTS SHALL BE 1/2" ASTM A325 BOLTS UNLESS OTHERWISE STATED.
4. CONTRACTOR VERIFY EQUIPMENT MANUFACTURER, MODEL #, DIMENSIONS, MOUNTING HOLES LOCATION, AND WEIGHT WITH AMICI POWER SOLUTIONS, INC. PRIOR TO STEEL FABRICATION.
5. CONTRACTOR SHALL MAKE ALL NECESSARY PRECAUTIONS & SECURE ALL PERMITS REQUIRED FOR WELDING ON ROOF.
6. TAKE ALL NECESSARY PRECAUTION FOR WELDING GALVANIZED STEEL IN ACCORDANCE WITH AWS RECOMMENDATIONS FOR WELDING ZINC COATED STEELS. RECOAT CONNECTION PRIOR TO CONNECTING FRAME. CONTRACTOR SHALL CONTACT CHRIS ELLIOT OF ERETE DEVELOPMENT INC. (20 INDUSTRIAL ROAD FAIRFIELD, NJ 07004 - 201-522-1921) FOR THE DESIGN, FABRICATION AND METHOD OF ATTACHEMENT OF THE STEALTH PANELS.



1. USE 2 1/2" COMMON OR RING-SHANK NAILS.
2. STAGGER PANEL JOINTS.
3. PROVIDE PLYWOOD WITH A MINIMUM RATIO OF 2:1

**7 TYP. DIAPHRAGM SHEATHING AT FLOOR OR ROOF**

SCALE: N.T.S.



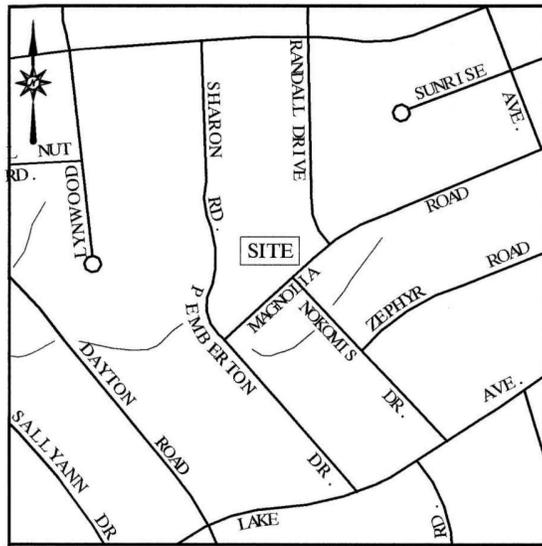
BLITZ ARCHITECTURAL DESIGN SERVICES, LLC  
18 JUHASZ ROAD  
NORWALK, CT 06854

SCALE: AS NOTED	APPROVED BY:	DRAWN BY:
DATE: 5-22-2016		REVISED:

MR. & MRS. DOMINICK VAZ  
15 MAGNOLIA ROAD  
TRUMBULL, CT 06611

TYPICAL STRUCTURAL DETAILS

DRAWING NUMBER  
8



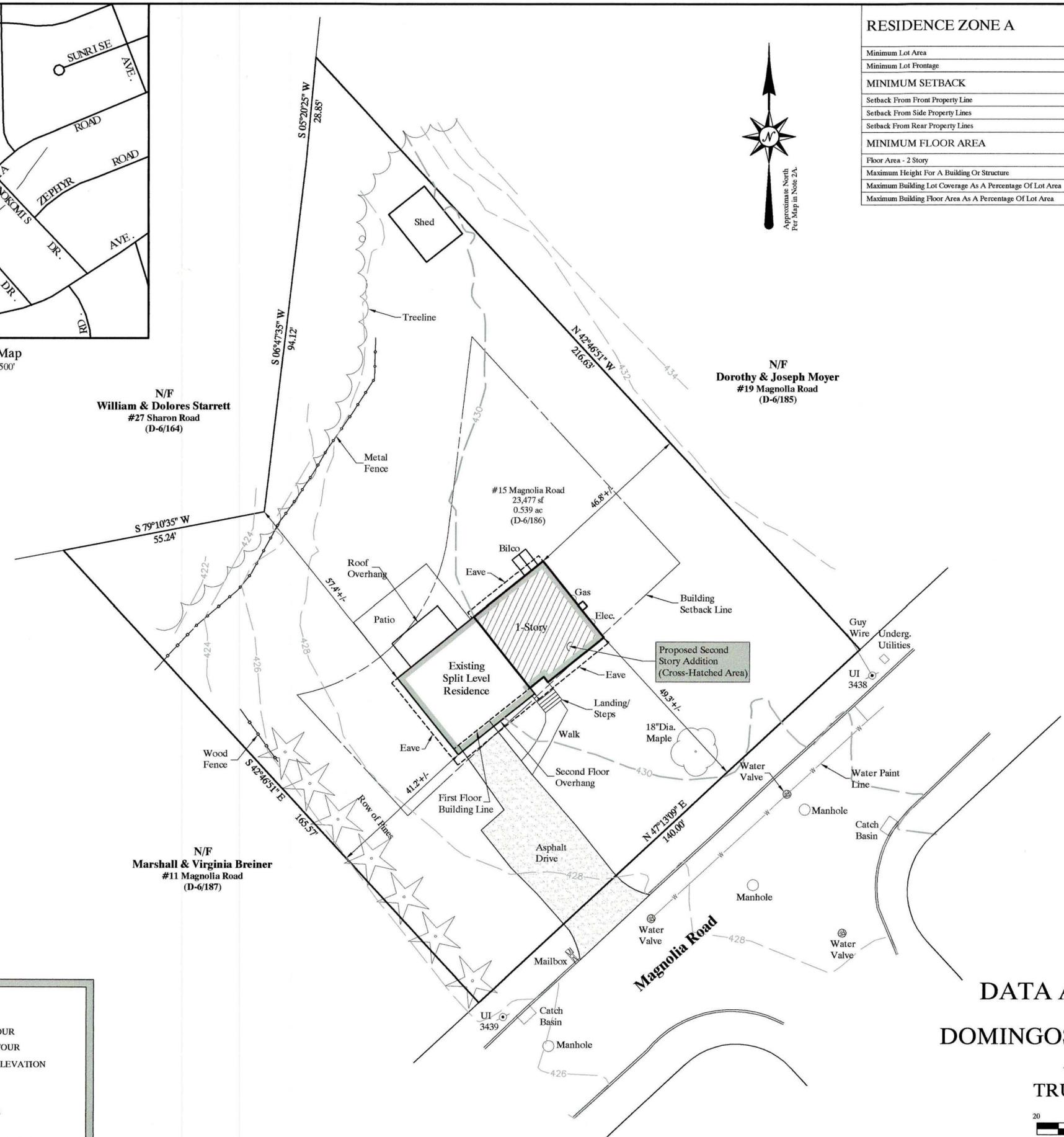
Vicinity Map  
Scale: 1"=500'

RESIDENCE ZONE A	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	21,780 SF	23,477 SF±	23,477 SF±	
Minimum Lot Frontage	125'	140.00'	140.00'	
<b>MINIMUM SETBACK</b>				
Setback From Front Property Line	50	49.3'±	49.3'±	
Setback From Side Property Lines	20	41.2'±	41.2'±	
Setback From Rear Property Lines	50	57.4'±	57.4'±	
<b>MINIMUM FLOOR AREA</b>				
Floor Area - 2 Story	1,200 1st Floor-900 2nd Floor	1,312	1,930	
Maximum Height For A Building Or Structure	40'	<40'	<40'	
Maximum Building Lot Coverage As A Percentage Of Lot Area	25%	7.0% ±	7.0% ±	
Maximum Building Floor Area As A Percentage Of Lot Area	29%	5.6% ±	8.2% ±	



**NOTES:**

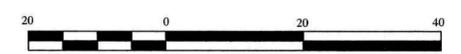
- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.  
  
The intention of the plan is to show the location of a proposed pool. Not all features existing on the property are shown hereon.
- Reference is made to the following documents:  
  
A. RM 1232-"Highlawn Park; Subdivision in Trumbull, Conn.; for Oxford Land Development Co., Inc.; March 21, 1964; scale: 1"=100'; by Frank C. Penny."
- The underground utilities shown, if any, have been located from visible field survey information. No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal/public service facilities. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate agencies.
- Distances shown ± from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
- Zoning information shown on this map must be reviewed and confirmed by the appropriate Town of Trumbull authorities prior to use.
- Property is served by public water and sanitary sewer.
- Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.
- The property is located in Zone X per FEMA Flood Map #09001C0288F; Panel 288 of 626; Effective Date: 6/18/2010.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- Elevations are based on the Town of Trumbull Topographical maps



LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	WATER SERVICE
	GAS LINE
	FINISHED FLOOR
	GARAGE FLOOR
	BUILDING SETBACK LINE
	CATCH BASIN
	EXISTING IRON PIN/PIPE
	MAILBOX
	UTILITY POLE

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY  
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON  
 Michael S. Shevlin, Jr. PLS # 3639

**DATA ACCUMULATION PLAN**  
 PREPARED FOR  
**DOMINGOS VAZ JR. & BRITTANY VAZ**  
 #15 MAGNOLIA ROAD  
 TRUMBULL, CONNECTICUT



DATE:	8-7-20	SCALE:	1"=20'	DRAFTER:	MSS	JOB NUMBER:	4820	FILE NUMBER:	
NO.		DATE	DESCRIPTION	<b>SHEVLIN</b> 165 Oyster Road-Fairfield, CT 593 Main Street-Monroe, CT 203.218.5840 ShevlinL.com					
REVISIONS									

Application #: \_\_\_\_\_

Date: \_\_\_\_\_

**ZONING BOARD OF APPEALS**

**RECEIVED**

AUG 12 2020

By ZBA # 20-33  
PLANNING & ZONING

**APPLICATION FOR HEARING:**

1. The purpose of this application is for the following:

- A. Variance of the Trumbull Zoning Regulations X
- B. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_
- C. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

2. Location of Subject Premises:

House and Street: 480 Church Hill Road

Assessor's Map No. G/08 Parcel No. 37 Lot No. \_\_\_\_\_

Trumbull Land Records: Volume(s) 1222 Page(s) 109

Zoning District: Residence A Zone

3. Name of Applicant: Domingos Moura

Street Address: c/o Chris Russo, Esq., Russo & Rizio, LLC, 10 Sasco Hill Rd

City: Fairfield ST: CT Zip: 06824 Email: Chris@russorizio.com

Phone: Day 203-528-0590 Evening 203-528-0590

SIGNATURE OF APPLICANT \_\_\_\_\_  
(If agent, state capacity)

4. Owner of Record: Domingos Moura & Jose M Moura

Street Address: c/o Chris Russo, Esq., Russo & Rizio, LLC, 10 Sasco Hill Rd

City: Fairfield ST: CT Zip: 06824 Email: Chris@russorizio.com

SIGNATURE OF OWNER OF RECORD \_\_\_\_\_

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:  
 Setback (front, side, rear)  
 Floor Area  
 Lot Area  
 Lot Coverage  
 Damage Reconstruction  
 Parking  
 Extension of enlargement of non-conforming use or building  
 Other (explain)

Lot frontage

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) II & III (Exhibit) SECTION(S) 1.3.5 PARAGRAPH(S) \_\_\_\_\_

SUBPARAGRAPH(S) \_\_\_\_\_

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

No

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: See Attached

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

See Attached



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David A. Aurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

August 12, 2020

Doug Wenz  
Zoning Enforcement Officer  
Planning & Zoning Department  
5866 Main Street  
Trumbull, CT 06611

**Re: ZBA Application for property located at 480 Church Hill Road**

Dear Mr. Wenz:

Please accept the following responses as part of the variance application to the Trumbull Zoning Board of Appeals for the property located at 480 Church Hill Road (the "Site") in the Residence A Zone:

**Section of Zoning Regulation for Variance and Description of Proposal**

1. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Trumbull Zoning Regulations (the "Regulations") to reduce the minimum lot frontage from One hundred and twenty-five and 00/00 feet (125') to One hundred eleven and 79/00 feet (111.79') for each of the proposed Lots A & B on the submitted plan;

**Proposed Development**

The Applicant proposes to subdivide the Site into two (2) building lots within the Residence A Zone. The Site, in its entirety, contains 53,001 SF, which is significantly more than double the lot area requirement in the Residence A Zone. The lot is irregularly shaped with uneven sides, which creates its large size. Its depth goes far beyond neighboring lots.

The Applicant now proposes to subdivide the Site into two (2) building lots. The first lot contains an existing single-family dwelling with only One thousand seven hundred and seventeen square feet (1,717 SF) of living area. It is an extremely small home with an existing lot coverage of only Eight and a half percent (8.5%) Both lots will be conforming with a significant excess as to lot area. The existing dwelling will not be altered. As depicted on the plans, the existing building and the proposed dwelling will meet all setback requirements. In fact, the front yard setback will be more than double the requirement in the Residence A Zone. Each proposed lot will also have a lot coverage well below one-third of the maximum percentage permitted in the Residence A Zone.

1 Post Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

The only requested variance relates to the proposed lot frontage of each of the proposed lots of One hundred eleven and 79/00 feet (111.79'). The irony is the requested variance is even more conforming than most of the surrounding properties. Within two hundred feet of the Site, there are properties on both sides of Church Hill Road, with lot frontages of approximately, 50', 85.60', 100' and 102'. The frontages only get smaller heading north on Church Hill Road into the residential neighborhood from the Site.

### **Hardship**

Granting the Applicant said variances will not substantially affect the comprehensive zoning plan of the Town of Trumbull and adherence to the strict letter of the Trumbull Zoning Regulations will cause an unusual hardship to the Applicant as the Applicant is actually proposing to subdivide the Site into two (2) lots, which are more conforming than many of the surrounding properties with regards to lot frontage. Nearby lots on both sides of Church Hill Road have smaller frontages than the proposed lots, some as many as half the length. Therefore, the proposed variances will not have a detrimental impact on the neighborhood. Under the proposed subdivision, in fact, both proposed lots will be conforming and have a significant excess as to lot area. The Site is uniquely oversized for the area due to its irregular shape and depth. The existing and proposed dwellings will have a front setback from Church Hill Road more than double the requirement in the Residence A Zone and a lot coverage less than one-third of the permitted maximum. The proposed variances will not have a detrimental impact on the neighborhood, their property values, or the surrounding environment.

For these above-stated reasons, the Applicant respectfully requests approval for the stated variances at the Site.

Sincerely,

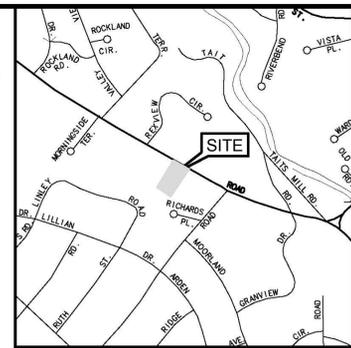


Raymond Rizio



**ABBREVIATIONS**

APPROX. APPROXIMATE  
 B.C.L.C. BITUMINOUS CONCRETE LIP  
 BIT. BITUMINOUS CONCRETE  
 CONC. CONCRETE  
 ELEV. ELEVATION  
 EXIST. EXISTING  
 F.F. FIRST FLOOR ELEVATION  
 H.C.C. HANDICAP CURB CUT  
 INV. INVERT  
 MIN. MINIMUM  
 R. RADIUS  
 SCH. SCHEDULE  
 T/C TOP OF CONCRETE  
 TYP. TYPICAL



LOCATION MAP  
NOT TO SCALE

**LEGEND**

EXISTING	PROPOSED
650	650
671.5	671.5
CONTOURS	CONTOURS
SPOT ELEVATION	SPOT ELEVATION
PROPERTY LINE	PROPERTY LINE
BUILDING SETBACK	BUILDING SETBACK
WATERCOURSE	WATERCOURSE
TREE LINE	TREE LINE
STONE WALL	STONE WALL
LEDGE	LEDGE
STRUCTURE	STRUCTURE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
15" RCP STORM	24" RCP
8" SANITARY	8" PVC
SANITARY SEWER PIPE	SANITARY SEWER PIPE
MANHOLE	MANHOLE
CATCH BASIN	CATCH BASIN
CATCH BASIN/DRYWELL	CATCH BASIN/DRYWELL
WATER	WATER
GAS	GAS
SANITARY LATERAL	SAN
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
FILTER FABRIC FENCE/HAYBALES	FILTER FABRIC FENCE/HAYBALES
MUD TRACKING BED	MUD TRACKING BED



RESIDENCE ZONE A ZONING STANDARDS

STANDARDS	REQUIRED	EXISTING	LOT A	LOT B
MINIMUM LOT SIZE	0.500 ACRE (21,780 SQ. FT.)	1.217± ACRE (53,001 SQ. FT.)	0.6146 ACRE (26,775 SQ. FT.)	0.6022 ACRE (26,236 SQ. FT.)
MINIMUM ROAD FRONTAGE	125'	120'	111.79'	111.79'
MINIMUM YARDS:				
FRONT	50'	113.2'	113.2'	114.9'
SIDE	20'	58'	20'	20'
REAR	50'	96.1'	44'	109.8'
MAXIMUM BUILDING HEIGHT	35'	< 35'	< 35'	< 35'
MAXIMUM LOT COVERAGE	25%	8.5%	4.2%	7.6%

NOT FOR CONSTRUCTION  
FOR REVIEW AND APPROVAL BY PUBLIC AGENCIES ONLY



**Pereira Engineering, LLC**  
 CIVIL & ENVIRONMENTAL  
 345 Isinglass Road  
 Huntington, CT 06484  
 Phone: (203) 944-9944  
 Fax: (203) 944-9945  
 homepage: www.pereiraeng.com  
 email: pereiraengineering@sbglobal.net

CERTIFICATION		REVISIONS		DES
NO.	BY	DATE	REVISIONS	REMARKS

DES: JCP  
 DWN: ADB  
 CKD: JCP

PREPARED FOR  
**JOSE M. & DOMINGOS G. MOURA**  
 FOR PROPERTY LOCATED AT  
**480 CHURCH HILL ROAD**  
**TRUMBULL, CT**

**PROJECT TITLE**  
**SITE PLAN**  
 SCALE: AS SHOWN

COPYRIGHT © 2004  
 DATE: MARCH 3, 2004  
 C SHEET 1 OF 1  
 CAD REF. NO. 0172SP01

G:\0172\0172SP01.dwg, SPO1, 3/3/2007, 10:03:09 AM, pgs. 1-1

October 1, 2020

Zoning Board of Appeals Application to Split Lot

TO: ZBA Commission

RE: Lot Split

Application #20-33

On upcoming agenda I see the owner(s) of 480 Church Hill Rd have applied to split their small lot into two parcels, requiring a frontage variances, of Town Zoning regulations.

Two areas specifically cited within Statutes, with respect to Waivers and Zoning Boards of Appeal

- 1) Waivers are only granted in cases where the hardship has been imposed by conditions outside the property owner's control
- 2) Financial considerations do not constitute a legal hardship that would warrant a variance.

The property owner(s) are aware of existing zoning regulations and have created an artificial hardship by attempting to split their existing lot for purely financial gain. An area cited specifically for which a waiver shall not be granted.

I am against this application and urge you to deny this application and any others that come before you similar in nature..

Thank you.  
Tracy Vonick  
155 Killian Ave  
Trumbull

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ROGER KERGARAVAT  
89 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

PETER & LAURA YARUSAVAGE  
80 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

MARILYN MCCARTHY  
86 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

RALPH BERSHEFSKY  
88 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CHRIS & ALEXANDRA  
98 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

SARAH TURECHEK  
108 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

DAVID & SARA FOWLER  
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

PATRICIA CORDA  
124 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CHRIS & ANNE TRACEY  
82 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ERIN DAMATO  
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

DANIELLE MCCAIN  
72 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CAROL & NELSON LADUE  
78 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JEFF LUND  
81 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

KYLE & LAURA MARSDEN KISH  
87 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JOE CUNEO  
101 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

FRANK & PATRICIA LAPEGNA  
84 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

SPIRO & MICHAEL MALISORY  
114 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ELIZABETH IRWIN  
124 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CLAUDIA MONTOYA  
125 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

KATHLEEN RICHARSON  
127 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

COREY OSOBA  
134 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

TIMOTHY KILLIAN  
142 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JASON FRANGENES  
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

HILARY MAYO  
144 KILLIAN AVENUE

Application #: 20-24

Date: July 15, 2020

ZONING BOARD OF APPEALS

**RECEIVED**

JUL 15 2020

By ZBA # 20-24  
PLANNING & ZONING

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

A. Variance of the Trumbull Zoning Regulations ✓

B. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_

C. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

2. Location of Subject Premises:

House and Street: 55 Woodlawn Drive

Assessor's Map No. \_\_\_\_\_ Parcel No. F08-299 Lot No. \_\_\_\_\_

Trumbull Land Records: Volume(s) \_\_\_\_\_ Page(s) \_\_\_\_\_

Zoning District. A

3. Name of Applicant: David Steeves

Street Address: 115 Puttins Creech rd

City: Trumbull ST: CT Zip: 06611 Email: Dsteeves611@msn.com

Phone: Day 203-470-8960 Evening \_\_\_\_\_

SIGNATURE OF APPLICANT [Signature]  
(If agent, state capacity)

4. Owner of Record: Donna Quinlan

Street Address: 55 Woodlawn Drive

City: Trumbull ST: CT Zip: 06611 Email: DonnaQuinlan2@hotmail.com

SIGNATURE OF OWNER OF RECORD [Signature]

Please complete the following sections which correspond to your answer  
In question #1 above:



Location:  
55 Woodlawn Drive  
Trumbull Ct 06611

Applicant Name:  
SVS Homes and Construction  
David Steeves  
115 Putting Green Rd  
Trumbull Ct 06611  
203-470-8960

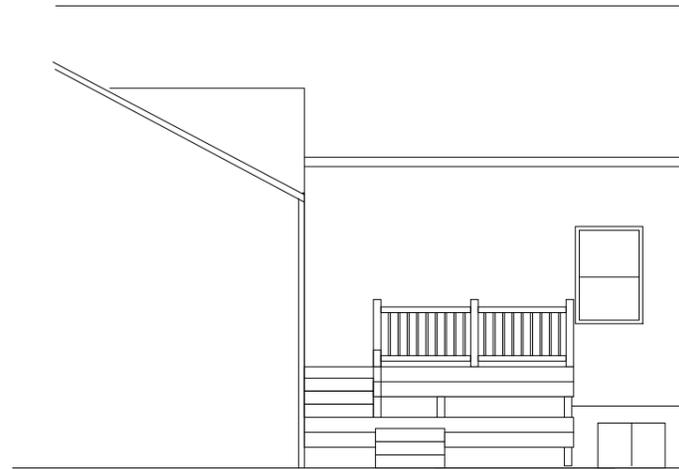
Owners of Record  
Donna Quinlan  
55 Woodlawn Drive  
Trumbull Ct 06611  
203-414-2863

Description of work:  
Build new deck over existing slate patio. Deck will be made using composite decking and railings.

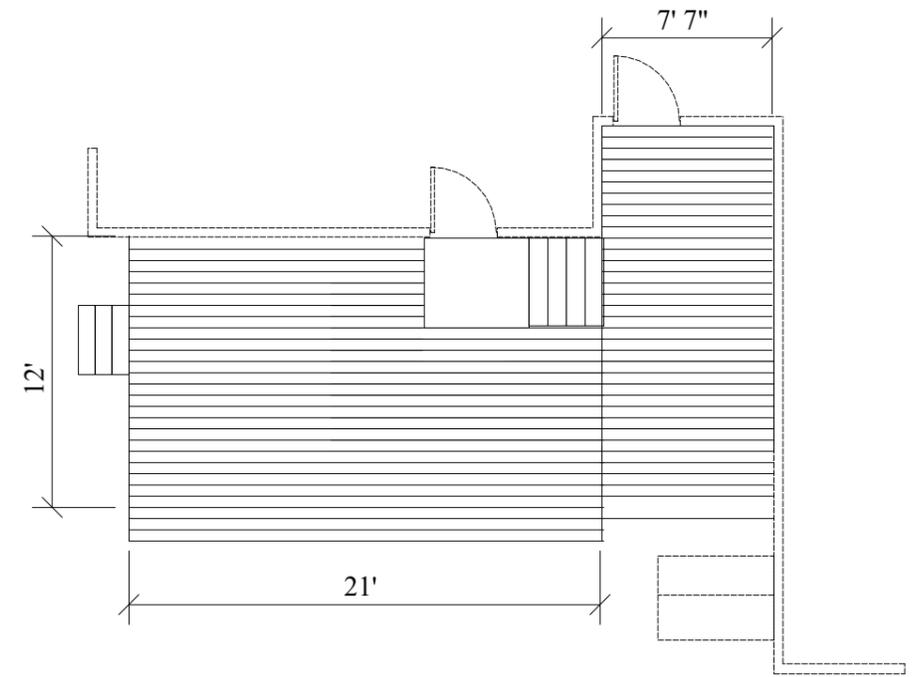
Date:  
June 14 2020

Prepared By:  
SVS Homes and Construction  
David Steeves  
115 Putting Green Rd  
Trumbull Ct 06611  
203-470-8960

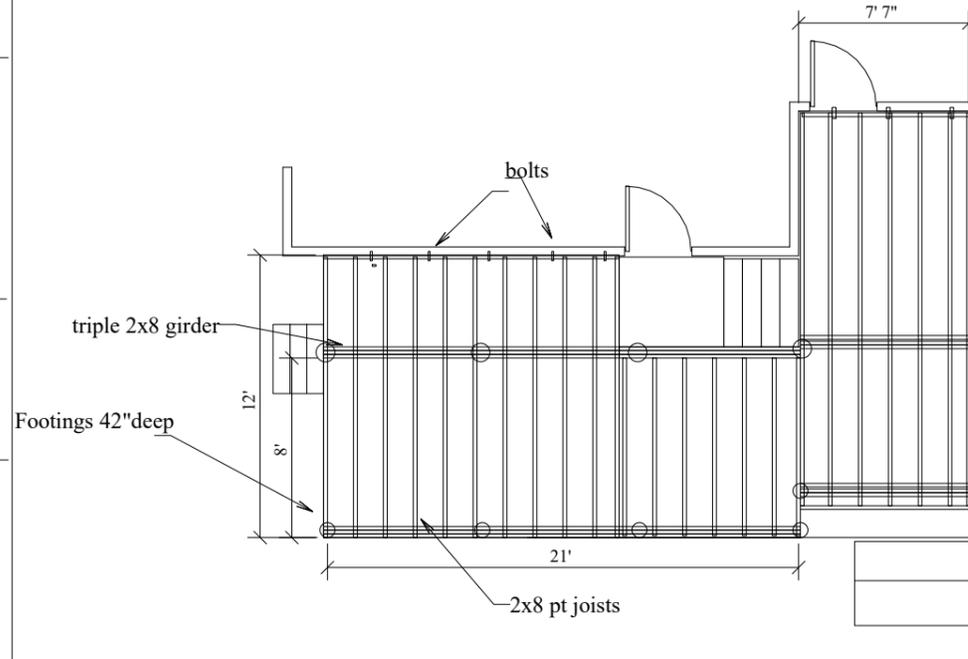
Scale  
1/8"=1'



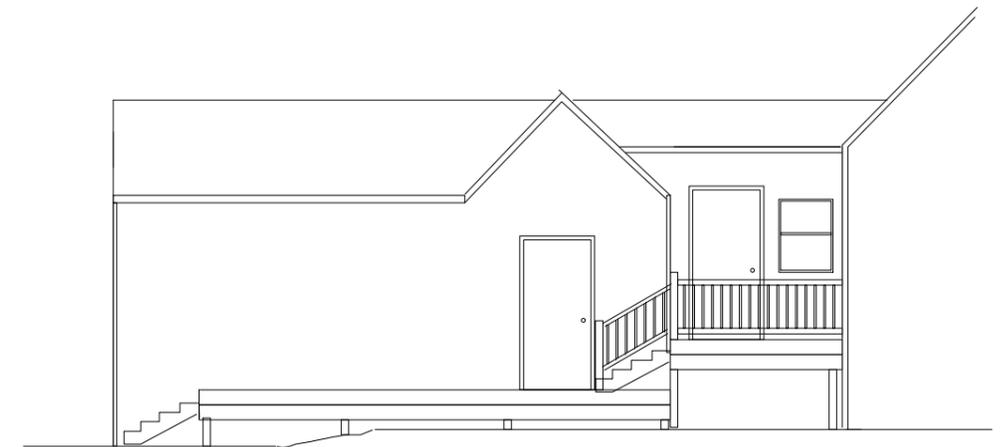
Proposed West Elevation



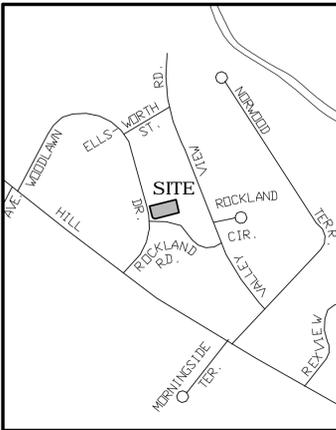
Proposed Deck



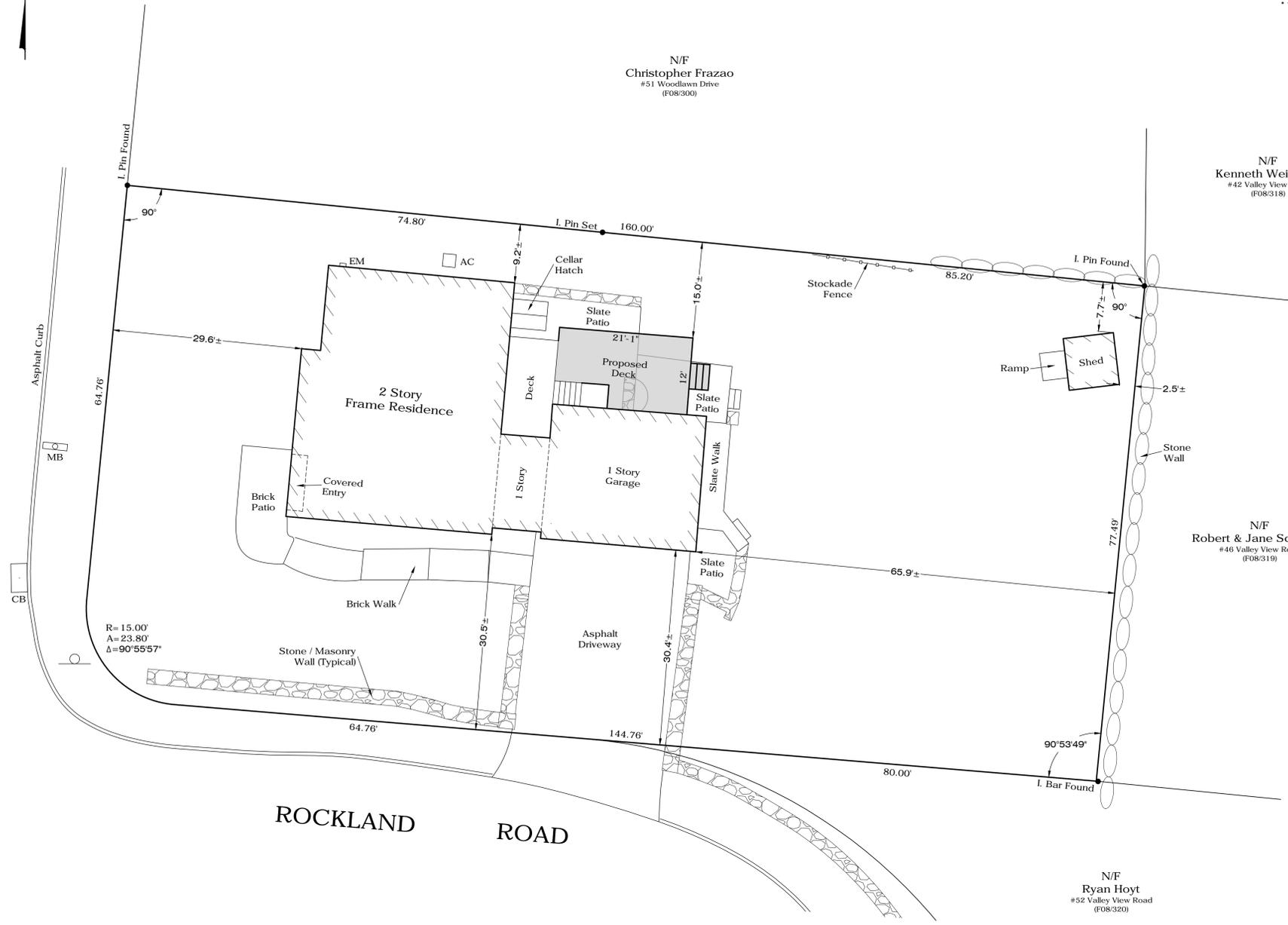
Framing Detail



Proposed South Elevation



WOODLAWN DRIVE



RESIDENCE A ZONE - LOT A	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	21,780	12,549±	12,549±	-
Minimum Lot Frontage	125	156.02'	156.02'	-
<b>MINIMUM SETBACK</b>				
Setback From Street Line	50	29.6±	29.6±	-
Setback From One Side Property Lines	20	9.2±	9.2± *	-
Setback From Rear Property Lines	50	65.9±	65.9±	-
<b>MINIMUM FLOOR AREA</b>				
Floor Area - One Story Building	1,200	-	-	-
Floor Area - Split Level Building	-	-	-	-
Floor Area - Two Or More Story Building Total Floor Area	1,700	2,606±	2,606±	-
Floor Area - Two Or More Story Building Ground Floor Area	900	1,858±	1,858±	-
Maximum Height For A Building Or Structure	40	22±	22±	-
Maximum Building Coverage As A Percentage Of Lot Area	25%	15.3%	15.3%	-
Maximum Building Floor Area As A Percentage Of Lot Area	29% (Principal)	20.8%	20.8%	-

\* 15.0'± To Proposed Deck

**NOTES:**

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.
- Reference is made to the following documents on file in the Fairfield Town Clerk's Office:
  - A. RM 400 - Map No. 4, Norwood Park Dev., Trumbull, Conn.; Scale: 1"= 100'; May 29, 1950.
  - B. Volume 1478 Page 675.
- The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation. Dial 811 or 1-800-922-4455.
- Property is located in FEMA Zone X. Per Flood Insurance Rate Map #09001C0XXXG, Effective Date: July 8, 2013; Panel XXX of 626.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.
- Proposed calculations are based on architectural plans submitted by the client. In some cases dimensions are scaled. It is the contractor's responsibility to adjust for siding that will be added to the structure with respect to coverage and setbacks. The surveyor assumes no responsibility for details that are not submitted for our review.

**LEGEND**

- HYDRANT
- MANHOLE
- GAS VALVE
- UTILITY POLE
- WATER VALVE
- LAMP POST
- CATCH BASIN
- ELECTRIC BOX
- SIGN
- MAILBOX
- EXISTING IRON PIN
- EXISTING CONCRETE MONUMENT
- STONE BOUND
- HEDGE
- STONEWALL
- WL — INLAND WETLANDS
- — METAL FENCE
- — WOOD FENCE

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY  
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Jason T. Spath Sr., L.S. #70136

**DATA ACCUMULATION PLAN**  
PREPARED FOR  
**JAMES & DONNA QUINLAN**  
#55 WOODLAWN DRIVE  
TRUMBULL, CONNECTICUT

1" = 10'

DATE: JULY 14, 2020	SCALE: 1" = 10'	DRAFTER: SJR	JOB NUMBER: 4920	PROJECT #: 4920
------------------------	--------------------	-----------------	---------------------	--------------------

**HC** THE HUNTINGTON COMPANY, LLC  
Consulting Engineers & Surveyors  
303 Linwood Avenue, Fairfield, CT  
203.259.1091

1/1



A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)

Use;

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) I; SECTION(S) 4.2;  
II SECTION(S) 1.3.1 PARAGRAPH(S) \_\_\_\_\_  
SUBPARAGRAPH(S) \_\_\_\_\_

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

There was no previous application regarding the current proposal.

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: See Attached

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

See Attached



Colin B. Connor  
 Elizabeth A. Falkoff\*  
 Robert G. Golger  
 Michael C. Jankovsky  
 David K. Kurata  
 Katherine M. Macol  
 Leah M. Parisi  
 William M. Petroccio\*  
 Raymond Rizio\*  
 Christopher B. Russo  
 Robert D. Russo  
 John J. Ryan  
 Vanessa R. Wambolt  
 (\*Also Admitted in NY)

August 14, 2020

Doug Wenz  
 Zoning Enforcement Officer  
 Planning & Zoning Department  
 5866 Main Street  
 Trumbull, CT 06611

**Re: ZBA Application for property located at 6567 Main Street**

Dear Mr. Wenz:

Please accept the following narrative as part of the variance application to the Trumbull Zoning Board of Appeals for the property located at 6567 Main Street (the "Site"):

**Section of Zoning Regulation for Variance and Description of Proposal**

1. A variance of Article I, Section 4.2 and Article II, Section 1.3 of the Trumbull Zoning Regulations to extend a nonconforming accessory vehicle service use to permit the installation of vacuum stations and to relocate an existing air pump in the Residence A Zone.

**Proposed Development**

The Applicant proposes to install four (4) vacuum stations at the base of off-street parking spaces located in the southeast corner of the Site. In addition, the Applicant proposes to relocate an existing air pump from the south side of the existing building to the very southeastern off-street parking space on the Site adjacent to a proposed vacuum pump. The Site has traditionally been used as a gasoline filling station and is well established. The Site is located on the corner of Main Street and Gisella Road and contains 59,423 square feet. A pump island with filling stations is located near the Main Street frontage with a canopy roof. A two-story wood frame building with a convenience store is located in the middle of the Site. The existing building is surrounded on three sides by an existing parking area.

No parking spaces will be lost on the Site due under the Application. The Applicant has proposed to install the vacuum stations and air pumps in a location farthest away from any residential properties. They will be in close proximity to Main Street and across Gisella Road from a vacant piece of land. Since purchasing the Site, the Applicant has put a tremendous amount of work into the Site and maintained the Site in great condition. As a nonconforming use

1 Post Road  
 Fairfield, CT 06824

Tel 203-255-9928  
 Fax 203-255-6618

in a residential zone, the Applicant has come before the ZBA to increase the offerings to Trumbull residents as modestly as possible. With little public transportation, Trumbull is a town that relies heavily on commuter vehicles. As such, the Site is an important resource to Trumbull residents located on one of its main thoroughfares. The Site is also in close proximity to one of Trumbull's premier commercial corridors. The Applicant has appeared before the ZBA to offer services for the vehicle needs of Trumbull residents. The Application proposes vacuum stations and an air pump, which are standard in gas stations. The Application will have not have any negative impact on surrounding properties as the request is extremely modest and as far away as possible from residential properties.

### **Hardship**

Granting the Applicant said variance will not substantially affect the comprehensive zoning plan of the Town of Trumbull and adherence to the strict letter of the Trumbull Zoning Regulations will cause an unusual hardship to the Applicant as the Applicant is merely offering an additional option of vehicle service to its customers on a Site with a well-established preexisting nonconforming gasoline filling station use. The Site is conveniently located along Main Street for residents of Trumbull. The Applicant is not increasing the floor area of the existing building, but merely extending a nonconforming use with an accessory offering of vacuum stations and an air pump to the principal gasoline service. An air pump is already located on the Site and is merely being relocated to be adjacent to one of the vacuum stations. The Applicant is only requesting the ability to provide a more thorough offering of its existing use within the developable area of the Site with no increased impact on the safety, traffic, or character of the surrounding neighborhood, particularly due to its location near the corner of Main Street and Gisella Road.

For the reasons stated above, the Applicant respectfully requests approval for the stated variance at the Site.

Sincerely,



Christopher Russo

Property Owners within 250' of 6567 Main Street

Parcel ID	Property Address	Owner Name	Mailing Address	Town	State	Zip Code
D03-165	10 JAMESTOWN ROAD	WINANS JUSTIN EDWARD & SHANNON LEIGH	10 JAMESTOWN ROAD	TRUMBULL	CT	06611
D03-166	14 JAMESTOWN ROAD	GOODHART NELLIE FERRANTE & DONNELLY GIA	9300 SANDY SPRING CIRCLE, APT P	HENRICO	VA	23294
D03-191	167 BROADWAY	PROVENZANO, MARK J.	5316 BEAR CORN RUN	PORT ORANGE	NJ	32128
D03-195	151 BROADWAY	DEGRUTTOLO, ANGELO & KATHRYN	151 BROADWAY	TRUMBULL	CT	06611
D03-193	145 BROADWAY	DEGRUTTOLO, ANGELO & KATHERINE	151 BROADWAY	TRUMBULL	CT	06611
D03-194	MAIN STREET, D/03/194	PROVENZANO, MARK	5316 BEAR CORN RUN	PORT ORANGE	NJ	32128
D03-195	6600 MAIN STREET	BLAKE, CHARLES C. & ADELAIDE	P.O. BOX 413	TRUMBULL	CT	06611
D03-242	14 GISELLA ROAD	DIVITO FAMILY LLC	38 HARVESTER RD	TRUMBULL	CT	06611
D03-243	6567 MAIN STREET	TRUMBULL SUPER STOP REALTY LLC	6567 MAIN STREET	TRUMBULL	CT	06611
D03-270	22123 ARGANESE PLACE	KEANE, FRANCES & CROUSE, DEBORAH	22123 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	1217 ARGANESE PLACE	FRANCIS, RITA E.	1217 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21225 ARGANESE PLACE	RODRIGUES, FERNANDO J. & NELSON M.	21225 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	12213 ARGANESE PLACE	MARTINEZ, KATHLEEN	17 ROCHAMBEAU ROAD	POMPTON PLAINS	NJ	07444-4000
D03-270	1111 ARGANESE PLACE	HARRITY, FREDERICK A.	1111 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22232 ARGANESE PLACE	CHIRIAC, IULIAN & CARMEN E.	22232 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21119 ARGANESE PLACE	BOSSIO MARY	21119 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21120 ARGANESE PLACE	SOUZA, CHARLES	21120 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22230 ARGANESE PLACE	LYON, SHARON	22230 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	1218 ARGANESE PLACE	KRIPLANI, APARNA & SAPNA	1218 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22229 ARGANESE PLACE	CRISANTI, JOHN A.	22229 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	11210 ARGANESE PLACE	PICCOLO, DONNA L. & JAFFE LEIGH	64 DEER RUN DRIVE	TRUMBULL	CT	06611
D03-270	1112 ARGANESE PLACE	MAGLIOCCO, SEBASTIAN	1112 ARGANESE PLACE UNIT 102	TRUMBULL	CT	06611
D03-270	1114 ARGANESE PLACE	RANDALL, LINDA	1114 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	1113 ARGANESE PLACE	GREEN, JOHN COLIN	1113 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22121 ARGANESE PLACE	MAIMON, ABRAHAM	11 REGENCY CIRCLE	TRUMBULL	CT	06611
D03-270	1216 ARGANESE PLACE	DEPWEG, IRMA JEAN	1216 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21117 ARGANESE PLACE	NEWTON, LINDA A.	19-N DIXON ST, UNIT 15	MILFORD	CT	06460
D03-270	21118 ARGANESE PLACE	SEIFERT, JUDITH W.	21118 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22231 ARGANESE PLACE	FUSARO, CARMINE	22231 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22122 ARGANESE PLACE	TAVELLA, CAROLANN	246 WEST AVENUE	MILFORD	CT	06461
D03-270	21227 ARGANESE PLACE	COUTO, ALCINO	16 FIELDSTONE DRIVE	SHELTON	CT	06484-2035
D03-270	12216 ARGANESE PLACE	LARRY J COHEN	PO BOX 174	TRUMBULL	CT	06611
D03-270	11211 ARGANESE PLACE	MROZEK, CHESTER & ESTHER L.	11211 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	11209 ARGANESE PLACE	MASSE, RONALD J. & SHARON L.	11209 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	11212 ARGANESE PLACE	IOVANNA, JOAN	10 RIVERSIDE AVE, APT 304	RIVERSIDE	CT	06878
D03-270	12214 ARGANESE PLACE	HENEGHAN, JANET K.	12214 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22124 ARGANESE PLACE	DIBERARDINO, WALTER & GABRIELLA	22124 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21226 ARGANESE PLACE	FLEWELLYN, PALMA & LISI, LINDA	21226 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21228 ARGANESE PLACE	MARCOCCIA, MARIA & DEMEIS, ENTRIO, DEMEIS IOLAND L/U	21228 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	12215 ARGANESE PLACE	LINDA P. MODUGNO & LISA P CLEMENTS	12215 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	1215 ARGANESE PLACE	MARINO, RITA	1215 ARGANESE PLACE	TRUMBULL	CT	06611
D04-208	22 GISELLA ROAD	AHERN, RICHARD P. & DAWN M.	22 GISELLA ROAD	TRUMBULL	CT	06611
D04-236	5 SARENEE CIRCLE	FITZGIBBONS, JAMES J. & JUDITH A.	5 SARENEE CIRCLE	TRUMBULL	CT	06611
D04-0259	6 SARENEE CIRCLE	TAHERI, BEHROUZ & AFSANEH	6 SARENEE CIRCLE	TRUMBULL	CT	06611
D04-260	MAIN STREET	TRUMBULL RIDGE VIEW ASSOCIATION INC.	P.O. BOX 81	MONROE	CT	06468

# 6567 MAIN STREET

**Location** 6567 MAIN STREET

**Mblu** D/03 / 00243/ 000/

**Acct#**

**Owner** TRUMBULL SUPER STOP  
REALTY LLC

**Assessment** \$457,100

**Appraisal** \$653,000

**PID** 4229

**Building Count** 1

**Fire District** L

## Current Value

Appraisal	
Valuation Year	Total
2015	\$653,000

Assessment	
Valuation Year	Total
2015	\$457,100

## Owner of Record

**Owner** TRUMBULL SUPER STOP REALTY LLC  
**Co-Owner**  
**Address** 6567 MAIN STREET  
TRUMBULL, CT 06611

**Sale Price** \$0  
**Book & Page** 1801/ 842  
**Sale Date** 12/27/2019  
**Instrument** 29

## Ownership History

Ownership History				
Owner	Sale Price	Book & Page	Instrument	Sale Date
TRUMBULL SUPER STOP REALTY LLC	\$0	1801/ 842	29	12/27/2019
TRUMBULL SUPER STOP LLC	\$1,450,000	1749/ 421		08/25/2017
GENE'S AUTOMOTIVE LLC	\$300,000	1053/ 374	W	08/25/2000

## Building Information

### Building 1 : Section 1

**Year Built:** 1949  
**Living Area:** 1,320

**Building Photo**

### Building Attributes

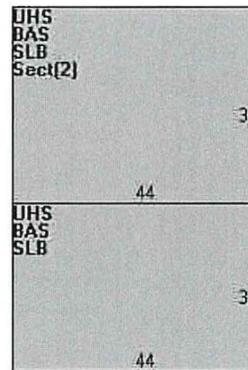
Field	Description
STYLE	Service Shop
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure	Gable
Roof Cover	Asphalt
Interior Wall 1	Drywall
Interior Wall 2	
Interior Floor 1	Concrete
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Forced Air
AC Type	Central
Bldg Use	Conv Store
1st Floor Use:	
Heat/AC	None
Frame Type	Masonry
Baths/Plumbing	Average
Ceiling/Walls	Ceil & Walls
Rooms/Prtns	Average
Wall Height	12
% Comn Wall	



D03-243 05/02/2015

(<http://images.vgsi.com/photos2/TrumbullCTPhotos/\00\01\72\50.JPG>)

### Building Layout



([http://images.vgsi.com/photos2/TrumbullCTPhotos//Sketches/4229\\_4229.j](http://images.vgsi.com/photos2/TrumbullCTPhotos//Sketches/4229_4229.j))

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,320	1,320
SLB	Slab	1,320	0
UHS	Unfinished Half Story	1,320	0
		3,960	1,320

### Building 1 : Section 2

Year Built: 2006  
 Living Area: 1,540

#### Building Attributes : Section 2 of 2

Field	Description
STYLE	Service Shop
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure	Gable

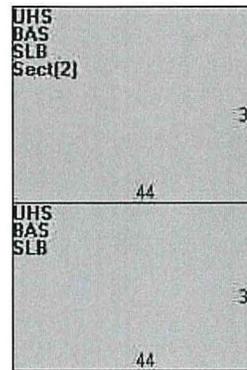
Roof Cover	Asphalt
Interior Wall 1	Minimum
Interior Wall 2	
Interior Floor 1	Concrete
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Hot Air-No Duc
AC Type	None
Bldg Use	Auto Repr
1st Floor Use:	
Heat/AC	None
Frame Type	Masonry
Baths/Plumbing	Average
Ceiling/Walls	Ceil & Min WL
Rooms/Prtns	Average
Wall Height	18
% Comn Wall	

### Building Photo



(<http://images.vgsi.com/photos2/TrumbullCTPhotos/default.jpg>)

### Building Layout



([http://images.vgsi.com/photos2/TrumbullCTPhotos/Sketches/4229\\_4229.](http://images.vgsi.com/photos2/TrumbullCTPhotos/Sketches/4229_4229.))

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,540	1,540
SLB	Slab	1,540	0
UHS	Unfinished Half Story	1,540	0
		4,620	1,540

### Extra Features

Extra Features			Legend
Code	Description	Size	Bldg #
CNP2	Gas Canopy	925 S.F.	1

### Land

### Land Use

### Land Line Valuation

**Use Code** 312  
**Description** Gas/Mart  
**Zone** A  
**Neighborhood** 255  
**Alt Land Appr** No  
**Category**

**Size (Acres)** 0.84  
**Frontage**  
**Depth**

**Outbuildings**

Outbuildings					Legend
Code	Description	Sub Code	Sub Description	Size	Bldg #
PAV1	Paving Asph.			7000 S.F.	1

**Valuation History**

Appraisal	
Valuation Year	Total
2018	\$653,000
2017	\$653,000
2016	\$653,000

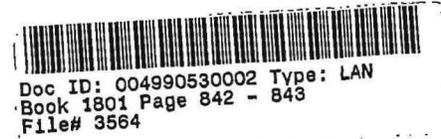
Assessment	
Valuation Year	Total
2018	\$457,100
2017	\$457,100
2016	\$457,100

Law Office William Raccio  
1960 Whitney Ave.  
Hamden, CT 06517

VOL 1801 PAGE 0842

3564

QUIT CLAIM DEED



TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME GREETING:

KNOW YE, THAT, **TRUMBULL SUPER STOP, LLC**, a Connecticut Limited Liability Company, having a principal place of business located of the Town of Trumbull, County of Fairfield, and State of Connecticut, herein designated as the Releasor, for **NO CONSIDERATION**, received to Releasor's full satisfaction from **TRUMBULL SUPER STOP REALTY LLC**, of the Town of Trumbull, County of Fairfield and State of Connecticut, herein designated as the Releasee, whose mailing address is **6567 Main Street, Trumbull, CT 06611**, do by these presents remise, release and forever Quit-Claim, unto the said Releasee, Releasee's successors and assigns forever, all the right, title, interest, claim and demand whatsoever as the said Releasors have or ought to have in and to:

All certain piece or parcel of land, with all the improvements thereon, situated in the Town of Trumbull, County of Fairfield, and State of Connecticut, known and designated as Lot No. 2 as shown on the certain map entitled "Subdivision Map of Section 1 Rolling Knolls, for James Leslie & Andrew D. Cretella" by Codespoti & Associates, Surveyors-Planners-Engineers, scale 1"= 60', gated June 10, 1987, last revised December 17, 1987 and on file in the Office of the Town Clerk of Trumbull as Map No. 2486, reference being made thereto for a more particular description of said premises.

**TO HAVE AND TO HOLD** the premises hereby remised, released and quit-claimed with all the appurtenances unto the Releasee and Releasee's heirs and assigns forever, so that neither the Releasors nor the Releasors' heirs or assigns nor any other person claiming under or through the Releasors shall hereafter have any claim, right or title in or to the premises or any part thereof, but therefrom the Releasors and it is by these presents, forever barred and excluded.

No Conveyance Tax Collected  
Mary Markham  
Town Clerk of Trumbull

IN WITNESS WHEREOF, the Releasor has caused this instrument to be executed this the <sup>13<sup>th</sup></sup> ~~4<sup>th</sup>~~ day of ~~September~~, 2019.

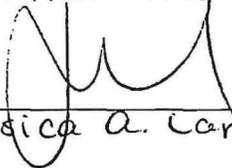
November

Signed, Sealed and Delivered  
in the Presence of:

Trumbull Super Stop, LLC

  
\_\_\_\_\_  
William M. Raccio

BY:   
\_\_\_\_\_  
Jay Nahlawi

  
\_\_\_\_\_  
Jessica A. Campo

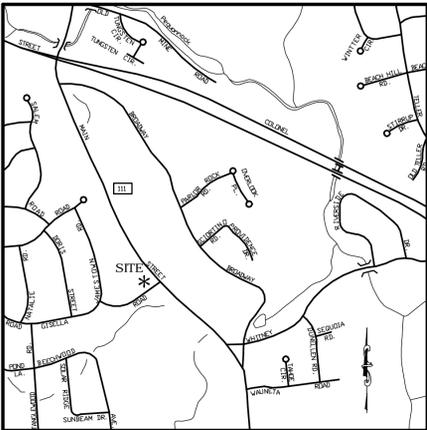
STATE OF CONNECTICUT            )  
  ) ss: Hamden  
COUNTY OF NEW HAVEN        )

On this the <sup>13<sup>th</sup></sup> ~~4<sup>th</sup>~~ day of ~~September~~ <sup>November</sup>, 2019, before me the undersigned officer, personally appeared Jay Nahlawi, who acknowledged himself to be the Managing Member of Trumbull Super Stop, LLC, and that he, as such Managing Member being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the Limited Liability Company by himself as Managing Member.

In witness whereof, I hereunto set my hand.

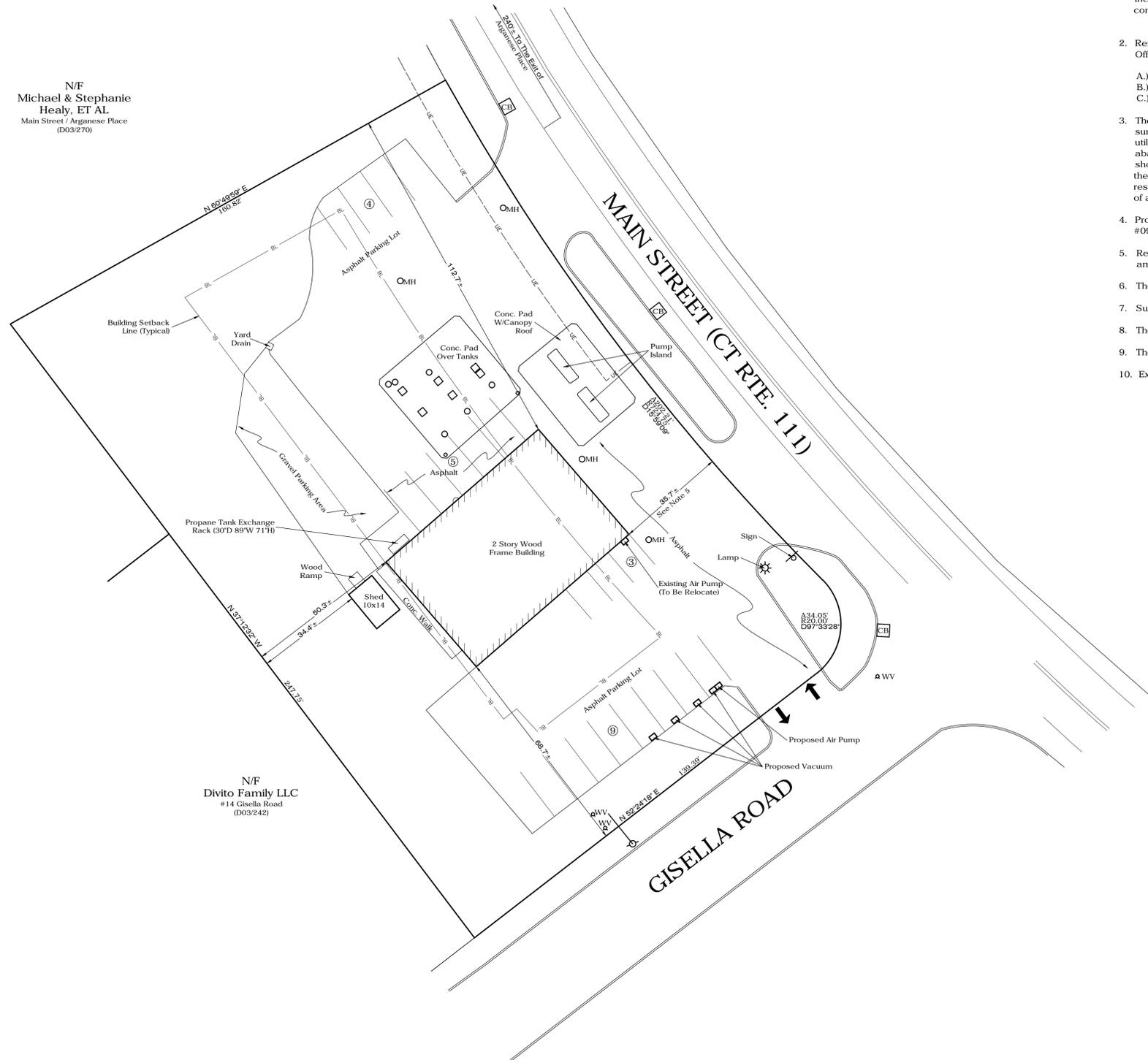
  
\_\_\_\_\_  
William M. Raccio  
Commissioner of the Superior Court

TOWN CLERK OFFICE, TRUMBULL, CT            DEC 27 2019  
RECEIVED FOR RECORD  
AT 3:08 P M. ATTEST   
TOWN CLERK  

N/F  
 Michael & Stephanie  
 Healy, ET AL  
 Main Street / Arganese Place  
 (D03270)

N/F  
 Divito Family LLC  
 #14 Gissella Road  
 (D03242)



- NOTES:**
- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors. It is a Improvement Location Survey based upon a Dependent Resurvey and conforms to Horizontal Accuracy Class A-2.
  - Reference is made to the following documents on file in the Trumbull Town Clerk's Office:  
 A.) RM 2486  
 B.) RM 2628  
 C.) Volume 1749 Page 421
  - The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation, Dial 811 or 1-800-922-4455.
  - Property is located in FEMA Zone X. Per Flood Insurance Rate Map #09001C0288F, Effective Date: June 18, 2010; Panel 288 of 626.
  - Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
  - The north arrow bearing is based on the map in Note 2A.
  - Survey error of closure is greater than 1/15,000
  - The total area of the parcel is 59,423 sf / 1.36 ac
  - The property is located in Residence Zone A. (0.50 Acre)
  - Existing Parking = 21 Spaces

Owner:  
 Assessors Map D-03, Parcel 243  
 Trumbull Super Stop, LLC  
 6567 Main Street  
 Trumbull, CT 06611

**IMPROVEMENT LOCATION SURVEY**  
 PREPARED FOR  
**TRUMBULL SUPER STOP, LLC**  
 #6567 MAIN STREET (CT RTE. 111)  
 TRUMBULL, CONNECTICUT



NOT VALID UNLESS EMBOSSED WITH SEAL OR  
 FIXED WITH THE LIVE STAMP OF THE SIGNATORY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS  
 SUBSTANTIALLY CORRECT AS NOTED HEREON

Jason T. Spath Sr., L.S. #70136

NO.	DATE	DESCRIPTION
7	7-28-20	Proposed Air/Vacuum
6	2-10-19	Attorney Comments
5	1-23-19	Town Comments
4	1-2-19	Attorney Comments
3	11-16-18	Revise Car Queue Lane
2	9-21-18	Proposed Car Wash
1	7-12-18	Add Propane Tank Exchange Rack

DATE:	4-10-18	SCALE:	1"=20'	DRAFTER:	JS	JOB NUMBER:	3618	PROJECT #:	3618
<b>HC</b>		THE HUNTINGTON COMPANY, LLC Consulting Engineers & Surveyors 303 Linwood Avenue, Fairfield, CT 203.259.1091					<b>1/1</b>		

October 1, 2020

Zoning Board of Appeals Application to Allow Non-Conforming Use

TO: ZBA Commission

RE: Vacuum Station

Application #20-34

On upcoming agenda I see the owner(s) of 6567 Main St have applied for a variance of Town Zoning regulations to allow a non-conforming usage of the property.

It is my understanding the current ZBA Commission has already denied any new non-conforming applications for this property. As this is essentially the same application reintroduced, I would suggest this application is Out Of Order and should be dismissed. If the Commission allows the application to proceed, there is no differentiation with which that has already been denied and this application should be denied as well.

The property owner(s) are aware of existing ZBA denials and should be denied again.

I am against this application.

Thank you.

Tracy Vonick  
155 Killian Ave  
Trumbull

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ROGER KERGARAVAT  
89 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

PETER & LAURA YARUSAVAGE  
80 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

MARILYN MCCARTHY  
86 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

RALPH BERSHEFSKY  
88 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CHRIS & ALEXANDRA  
98 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

SARAH TURECHEK  
108 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

DAVID & SARA FOWLER  
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

PATRICIA CORDA  
124 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CHRIS & ANNE TRACEY  
82 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ERIN DAMATO  
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

DANIELLE MCCAIN  
72 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CAROL & NELSON LADUE  
78 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JEFF LUND  
81 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

KYLE & LAURA MARSDEN KISH  
87 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JOE CUNEO  
101 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

FRANK & PATRICIA LAPEGNA  
84 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

SPIRO & MICHAEL MALISORY  
114 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ELIZABETH IRWIN  
124 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CLAUDIA MONTOYA  
125 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

KATHLEEN RICHARSON  
127 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

COREY OSOBA  
134 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

TIMOTHY KILLIAN  
142 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JASON FRANGENES  
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

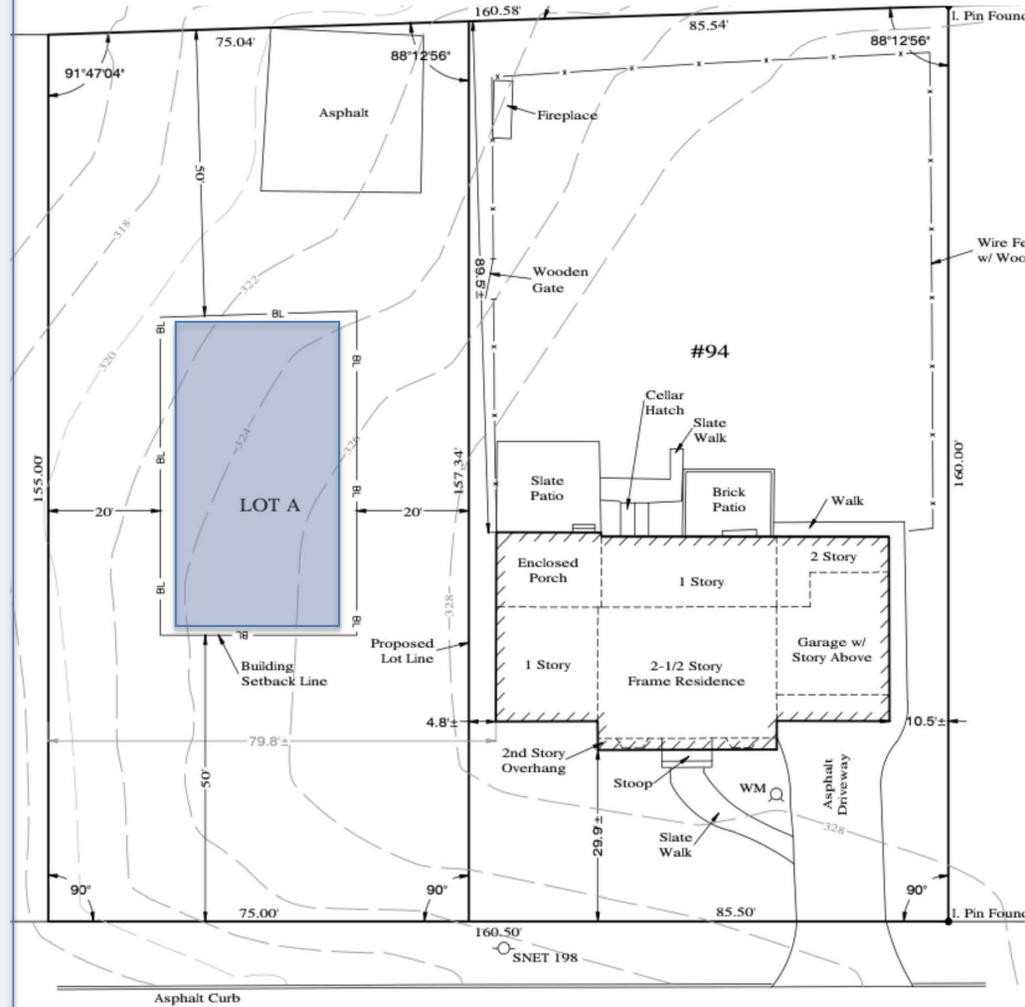
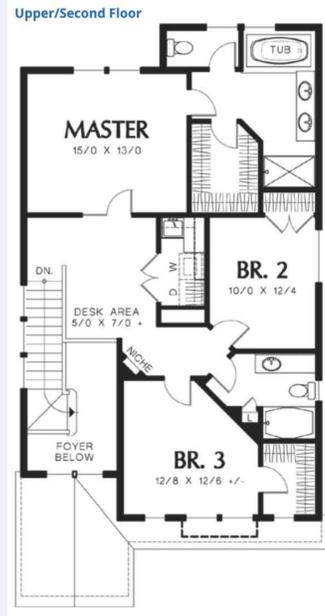
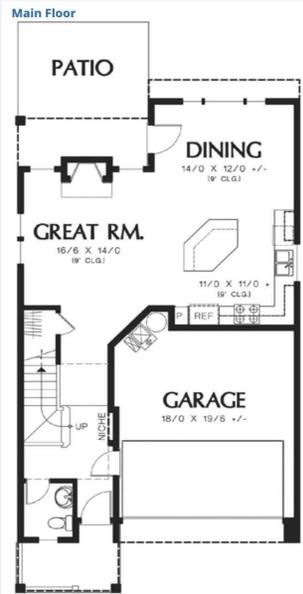
Thank you

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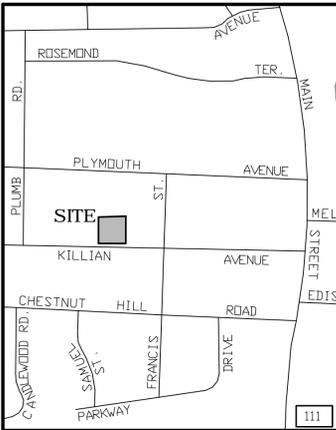
HILARY MAYO  
144 KILLIAN AVENUE



<b>TOTAL LIVING AREA (FINISHED)</b>	Total Sq. Ft.: 1851 Main floor: 785	Upper floor: 1066
<b>BEDS/BATHS</b>	Bedrooms: 3 Half Baths: 1	Full Baths: 2
<b>GARAGE</b>	Garage: 368	Garage Stalls: 2
<b>LEVELS</b>	2 stories	
<b>DIMENSION</b>	Width: 28' 0" Height: 30' 6"	Depth: 53' 3"



**KILLIAN AVENUE**  
(50' R.O.W.)

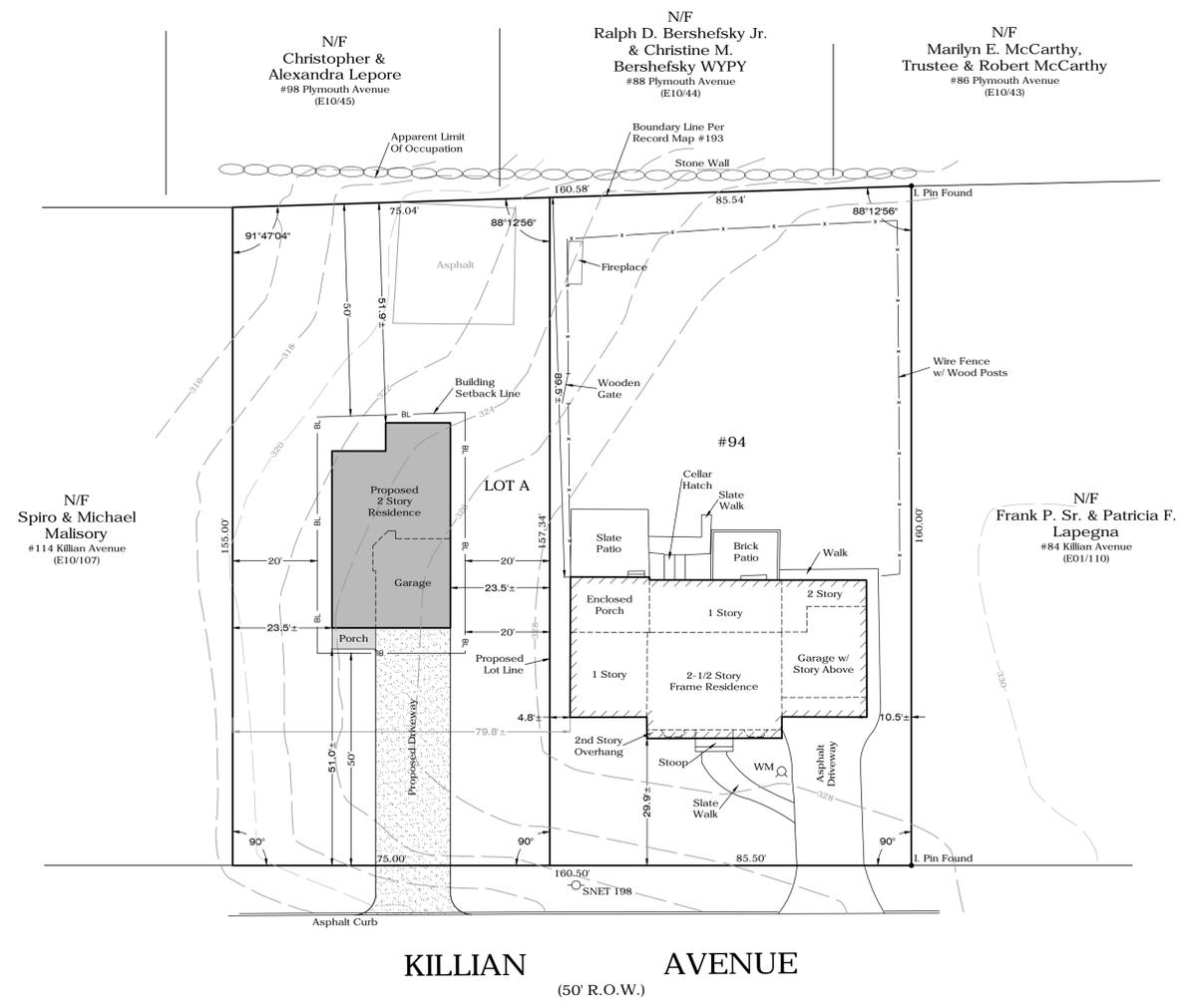


RESIDENCE A ZONE - LOT A	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS	RESIDENCE A ZONE - #94	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	21,780	-	11,713	-	Minimum Lot Area	21,780	25,279±	13,566±	-
Minimum Square On Lot	n/a	-	-	-	Minimum Square On Lot	n/a	-	-	-
Minimum Lot Frontage	125	-	75.00'	-	Minimum Lot Frontage	125	160.5'	85.50'	-
<b>MINIMUM SETBACK</b>					<b>MINIMUM SETBACK</b>				
Setback From Street Line	50	-	51.0±	-	Setback From Street Line	50	29.9±	29.9±	-
Setback From One Side Property Lines	20	-	23.5	-	Setback From One Side Property Lines	20	10.9±	4.8±	-
Setback From Rear Property Lines	50	-	51.9±	-	Setback From Rear Property Lines	50	89.5±	89.5±	-
<b>MINIMUM FLOOR AREA</b>					<b>MINIMUM FLOOR AREA</b>				
Floor Area - One Story Building	1,200	-	-	-	Floor Area - One Story Building	1,200	-	-	-
Floor Area - Split Level Building	-	-	-	-	Floor Area - Split Level Building	-	-	-	-
Floor Area - Two Or More Story Building Total Floor Area	1,700	-	2,219±	-	Floor Area - Two Or More Story Building Total Floor Area	1,700	4,119±	4,119±	-
Floor Area - Two Or More Story Building Ground Floor Area	900	-	1,153±	-	Floor Area - Two Or More Story Building Ground Floor Area	900	2,369±	2,369±	-
Maximum Height For A Building Or Structure	40	-	<40	-	Maximum Height For A Building Or Structure	40	26.8±	26.8±	-
Maximum Building Coverage As A Percentage Of Lot Area	25%	-	13.1%	-	Maximum Building Coverage As A Percentage Of Lot Area	25%	9.6%	17.9%	-
Maximum Building Floor Area As A Percentage Of Lot Area	29%	-	11.3%	-	Maximum Building Floor Area As A Percentage Of Lot Area	29%	16.3%	30.4%	-

**NOTES:**

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - Minimum Standards for Survey and Maps in the State of Connecticut as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Resubdivision Map based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.
- Reference is made to the following documents on file in the Trumbull Town Clerk's Office:  
A. RM #193 - "Parkway Village Plan 1, Plan Of Building Lots in Trumbull, Conn. For The Bridgeport City Trust Co., Trustees, Bridgeport, Conn.; Scale: 1"=100'; Dated: Apr. 16, 1939" prepared by Fuller & Co., Inc.
- The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation, Dial 811 or 1-800-922-4455.
- Property is located in FEMA Zone X, Per Flood Insurance Rate Map #09001C0426F, Effective Date: June 18, 2010; Panel 426 of 626.
- Topography shown per Town Of Trumbull GIS Mapping.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.
- Proposed calculations are based on architectural plans submitted by the client. In some cases dimensions are scaled. It is the contractor's responsibility to adjust for siding that will be added to the structure with respect to coverage and setbacks. The surveyor assumes no responsibility for details that are not submitted for our review.

PRELIMINARY



PRELIMINARY

PRELIMINARY

**LEGEND**

- HYDRANT
- MANHOLE
- ⊕ GAS VALVE
- UTILITY POLE
- WATER VALVE
- ⊙ LAMP POST
- CATCH BASIN
- ⊞ ELECTRIC BOX
- ⊞ SIGN
- ⊞ MAILBOX
- EXISTING IRON PIN
- EXISTING CONCRETE MONUMENT
- WELL
- ⊗ STONE BOUND
- HEDGE
- ⊞ STONEMASS
- WL — INLAND WETLANDS
- — METAL FENCE
- — WOOD FENCE
- — EXISTING CONTOUR LINE

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY  
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Jason T. Spath Sr., L.S. #79136

NO.	DATE	DESCRIPTION
REVISIONS		

**RESUBDIVISION MAP**  
PREPARED FOR  
RICHARD F. GREENWOOD TESTAMENTARY TRUST &  
RICHARD F. GREENWOOD TESTAMENTARY FAMILY TRUST  
#94 KILLIAN AVENUE  
TRUMBULL, CONNECTICUT

30 0 20 40

DATE: JULY 1, 2020	SCALE: 1"=20'	DRAFTER: SJR	JOB NUMBER: 220	PROJECT #: 220
<b>HC</b>			THE HUNTINGTON COMPANY, LLC Consulting Engineers & Surveyors 303 Linwood Avenue, Fairfield, CT 203.259.1091	
				1/1

Application #: 20-29

Date: July 15, 2020

**ZONING BOARD OF APPEALS RECEIVED**

JUL 15 2020

By ZBA # 20-29 3:00 pm  
PLANNING & ZONING

**APPLICATION FOR HEARING:**

1. The purpose of this application is for the following:

- A. Variance of the Trumbull Zoning Regulations X
- B. Appeal from Order of the Zoning Enforcement Officer \_\_\_\_\_
- C. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. \_\_\_\_\_

2. Location of Subject Premises:

House and Street: 94 Killian Avenue

Assessor's Map No. E/10 Parcel No. 108 Lot No. \_\_\_\_\_

Trumbull Land Records: Volume(s) 1778 Page(s) 597

Zoning District: A

3. Name of Applicant: The Richard F. Greenwood Testamentary Trust

Street Address: c/o Chris Russo, Esq., Russo & Rizio, LLC, 10 Sasco Hill Rd

City: Fairfield ST: CT Zip: 06824 Email: Chris@russorizio.com

Phone: Day 203-528-0590 Evening: \_\_\_\_\_

SIGNATURE OF APPLICANT \_\_\_\_\_

(If agent, state capacity)

4. Owner of Record: The Richard F. Greenwood Testamentary Trust & Richard F. Greenwood Testamentary Family Trust

Street Address: c/o Chris Russo, Esq., Russo & Rizio, LLC, 10 Sasco Hill Rd

City: Fairfield ST: CT Zip: 06824 Email: Chris@russorizio.com

SIGNATURE OF OWNER OF RECORD \_\_\_\_\_

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)

Lot frontage

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested: || 1.3.5

ARTICLE(S) III(Exhibit) SECTION(S) \_\_\_\_\_ PARAGRAPH(S) \_\_\_\_\_

SUBPARAGRAPH(S) \_\_\_\_\_

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

No

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: See Attached

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

See Attached



Colin B. Connor  
Elizabeth A. Falkoff\*  
Robert G. Golger  
Michael C. Jankovsky  
David K. Kurata  
Katherine M. Macol  
Leah M. Parisi  
William M. Petroccio\*  
Raymond Rizio\*  
Christopher B. Russo  
Robert D. Russo  
John J. Ryan  
Vanessa R. Wambolt  
(\*Also Admitted in NY)

July 15, 2020

Doug Wenz  
Zoning Enforcement Officer  
Planning & Zoning Department  
5866 Main Street  
Trumbull, CT 06611

**Re: ZBA Application for property located at 94 Killian Avenue**

Dear Mr. Wenz:

Please accept the following revised responses as part of the variance application to the Trumbull Zoning Board of Appeals for the property located at 94 Killian Avenue (the "Site") in the Residence A Zone:

**Section of Zoning Regulation for Variance and Description of Proposal**

1. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Trumbull Zoning Regulations ("Zoning Regulations") to reduce the minimum lot size from 21,780 SF to 11,713 SF for proposed Lot "A";
2. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot size from 21,780 SF to 13,566 SF to the lot identified as #94 Killian Avenue;
3. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 75' for proposed Lot "A";
4. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 85.50' for the lot identified as #94 Killian Avenue;
5. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum side yard from 20' to 4.8' for the lot identified as #94 Killian Avenue; and

1 Post Road  
Fairfield, CT 06824

Tel 203-255-9928  
Fax 203-255-6618

6. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to increase the maximum floor area ratio from 0.29 to 0.304 for the lot identified as #94 Killian Avenue.

### **Proposed Development**

The Applicant proposes to subdivide the Site into two (2) building lots within the Residence A Zone. The Site currently contains an existing single-family dwelling, which will remain. The Applicant proposes to create an additional building lot on the western portion of the Site, which has always been shown on a recorded map as a separate lot. In the Application, the Applicant has shown the possible construction of a single-family dwelling on the proposed lot to demonstrate a dwelling can be constructed on the proposed Lot "A" without any requirement for variances due to setback, coverage and floor area ratio. The Application is simply to request variances for the proposed Lot "A" and not for a specific dwelling.

The Site has always been considered two (2) separate building lots. This application includes the legal description of the Site, which states the Site consists of Lots Nos. 15 & 16 from a map of "Parkway Village" dated April 16, 1939. The Town of Trumbull has also considered the Site to contain Two (2) lots with two (2) separate sewer hookup approved. Finally, the Site has been under the ownership of the same family dating back to 1966 and there has never been a demonstration to merge the lots. The existing dwelling was not built over the property line between the lots. For these reasons, there has never been a demonstration of an intent to merge these lots.

### **Hardship**

Granting the Applicant said variances will not substantially affect the comprehensive zoning plan of the Town of Trumbull and adherence to the strict letter of the Trumbull Zoning Regulations will cause an unusual hardship to the Applicant as the Site has consisted of Two (2) lots throughout its history. They were separate lots on the original map filed in 1939, the Town has treated the Site as Two (2) lots by allowing Two (2) sewer hookups, and there has never been a demonstration of an intent to merge by a property owner of the Site.

Furthermore, The Application is in conformity with building lots on Killian Avenue. Existing lots on the north side of Killian Avenue are almost uniform in their depth, but vary on their lot frontage. On the same block as the Site, two (2) properties have a frontage of 72.5' and 67', which is less than any lot frontage proposed in this Application. The proposed lot identified as #94 Killian Avenue on the submitted plans will have the largest frontage of any lot on the block. Therefore, the requested variances for lot area and lot frontage are in conformity with, and even greater than, the neighborhood. Similarly, the proposed variances for side yard setback and maximum floor area ratio, which only apply to the existing dwelling, are in conformity with other properties on Killian Avenue. The Applicant has placed a single-family dwelling on the

proposed Lot "A" for illustrative purposes to demonstrate a new dwelling could easily comply with the Zoning Regulations, including, but not limited to, setback, building coverage and floor area ratio. Therefore, the Application will not have any negative impact on the Regulations or its surrounding neighborhood.

For the reasons stated above, the Applicant respectfully requests approval for the stated variances at the Site.

Sincerely,



Raymond Rizio

3664

COURT OF PROBATE, Trumbull Probate Court DISTRICT NO. PD46

ESTATE OF Richard F. Greenwood, Of Trumbull (17-00520), deceased DATE OF DEATH October 01, 2017

Pursuant to C.G.S. section 45a-450, this certifies that as appears in the records of this court, the deceased died on the date stated above, and the following real property of the decedent is devised, distributed, set out, divided or descends to: [Name, place of residence and share of distributee and the street, lot number of the real property, or, if none, a brief description of the location.]

Richard D. Greenwood of 126 Yacht St., Bridgeport, CT 06605, and William F. Greenwood of 138 Patrick Dr., Fairfield, CT 06824, Trustees of the Richard F. Greenwood Testamentary Family Trust dated 3/31/16 as per Article Two of the decedent's Last Will and Testament, an undivided two-thirds (2/3) interest, that being the decedent's entire interest, in and to:

All that certain pieces or parcels of land with all improvements thereon, situated in the Town of Trumbull, County of Fairfield and State of Connecticut, known and designated as Lots Nos. 15 and Lot No. 16, map of "Parkway Village" Plan No. 1, dated April 16, 1939, made by Fuller & Company, Inc. for the Bridgeport City Trust Co., Trustee, on file in the Trumbull Town Clerk's Office bounded and as follows:

LOT NO. 15:

- NORTH: On land now or formerly of Lizzie M. W. Parrott, as shown on said map, 79.5 feet, more or less;
- EAST: On Lot No. 14, as shown on said map, 160 feet, more or less;
- SOUTH: On Killian Avenue, 79.5 feet, more or less;
- WEST: On Lot No. 16, as shown on said map, 155 feet, more or less.

LOT NO. 16:

- NORTH: On land now or formerly of Lizzie M. W. Parrott, as shown on said map, 79.5 feet, more or less;
- EAST: On Lot No. 15, as shown on said map, 155 feet, more or less;
- SOUTH: On Killian Avenue, 81 feet, more or less;
- WEST: On Lot No. 17, as shown as said map, 155 feet, more or less.

For a more particular description, reference should be made to the records of the Probate Court.

Dated on December 3, 2018.



T. R. Rowe, Judge

TOWN CLERK OFFICE, TRUMBULL CT  
RECEIVED FOR RECORD  
AT 2:54 P M ATTST  
M. ATTEST  
DEC 20 2018  
TOWN CLERK



Doc ID: 004816800001 Type: LAN  
Book 1778 Page 597  
File# 3664

Certified True Copy

Andrew Metter

Judge/Clerk

FOR COURT USE ONLY

Sent to: Richard D. Greenwood

Date sent: December 3, 2018

Note to fiduciary: File certificate with town clerk where real property is situated.

## Zoning Board of Appeals Application to Split Lot

I see the residents of 94 Killian Ave have applied to split their small lot into two parcels requiring 6 variances of Town Zoning regulations..

This is a Residence A (1/2 acre) zone as describe in Zoning Regulations 1.3. These regulations also spell out specific uses and accessory uses within said zone. Special exceptions are also noted in sections 1.3.3 & 1.3.4.

Two areas specifically cited within Statutes, with respect to Waivers and Zoning Boards of Appeal

- 1) Waivers are only granted in cases where the hardship has been imposed by conditions outside the property owner's control
- 2) Financial considerations do not constitute a legal hardship that would warrant a variance.

The property owner(s) are aware of existing zoning regulations and have created an artificial hardship by splitting their existing (non-conforming lot) for purely financial gain. The two areas cited specifically for which a waiver shall not be granted.

I hope you agree and deny this application on this basis and of the land and current regulations and not for any reason personal in nature to the person who applied for the variance.

Thank you.

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

A handwritten signature in black ink, appearing to read "Erin Damato". The signature is written in a cursive style with a horizontal line underneath the name.

ERIN DAMATO  
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

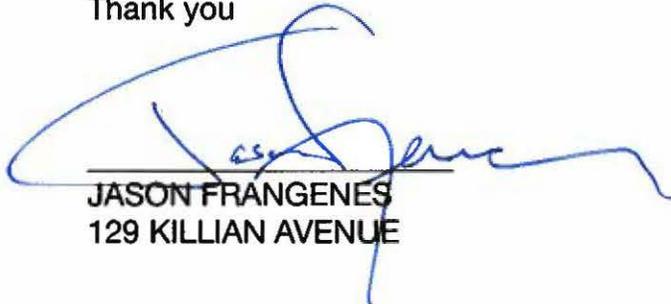
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Board Members,

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Thank you



JASON FRANGENES  
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

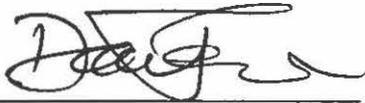
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Thank you



---

DAVID & SARA FOWLER  
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

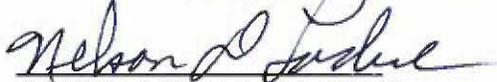
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Thank you



CAROL & NELSON LADUE  
78 KILLIAN AVENUE

**PETITION**

The undersigned do hereby support the zoning application of The Richard F. Greenwood Testamentary Trust submitted to the Trumbull Zoning Board of Appeals for variances to subdivide the Site into two (2) building lots within the Residence A Zone at 94 Killian Avenue, Trumbull, CT. Particularly, the undersigned do hereby support the application for the following variances:

1. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Trumbull Zoning Regulations ("Zoning Regulations") to reduce the minimum lot size from 21,780 SF to 11,713 SF for proposed Lot "A";
2. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot size from 21,780 SF to 13,566 SF to the lot identified as #94 Killian Avenue;
3. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 75' for proposed Lot "A";
4. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 85.50' for the lot identified as #94 Killian Avenue;
5. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum side yard from 20' to 4.8' for the lot identified as #94 Killian Avenue; and
6. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to increase the maximum floor area ratio from 0.29 to 0.304 for the lot identified as #94 Killian Avenue.

**SIGNATURE**

**NAME:**

**ADDRESS:**

Mark Malisary

MARK MALISARY

114 KILLIAN AVE

Mike Malisary

Mike Malisary

114 Killian Ave

J. James Curcio

J. JAMES CURCIO

101 Killian Avenue

Patty LaPegna

Patty LaPegna

84 Killian Ave

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



























Town of Trumbull  
CONNECTICUT  
SEWER COMMISSION

JOHN K. DONNELLY, P.E.  
SEWER ADMINISTRATOR



TOWN HALL  
PHONE 261-3631

SEWER COMMISSIONERS  
JOHN J. PETRUCELLI, CHAIRMAN  
HARRY V. TICKEY, VICE CHAIRMAN  
STEVEN BREINER, SECRETARY  
MICHAEL P. A. WILLIAMS  
NICHOLAS A. VERTUCCI, JR.

Dear Home Owner:

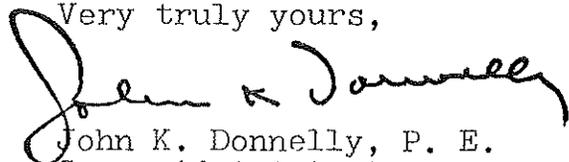
Enclosed please find a copy of your Sewer Assessment Notice and explanation of the formula used for its calculation.

The Sewer Commission will finalize the assessments after a Public Hearing and review of those in dispute. A listing of the final assessments will be published in the newspaper after said hearing and review.

The Sewer Commission will hold a Public Hearing on these assessment on Tuesday, OCT 14 1980 in the Town Hall Court Room at 7:30 p.m. Hearing on Use Charge will be at 8:00 p.m. Legal Notice of these hearings will appear in the newspaper ten days prior to this Hearing date.

If you are satisfied with the explanation as to how your assessment was computed and there are no errors in land title, mathematical calculation or other questions you wish to record with the Commission, no further action is necessary. However, if you feel that any question you may have can be handled through a phone call, please call my office at 261-3631.

Very truly yours,

  
John K. Donnelly, P. E.  
Sewer Administrator

JKD:ms  
Enc.

# Town of Trumbull

## CONNECTICUT SEWER COMMISSION



JOHN K. DONNELLY, P.E.  
SEWER ADMINISTRATOR

### SEWER COMMISSIONERS

JOHN J. PETRUCELLI CHAIRMAN  
HARRY V. TICKEY, VICE CHAIRMAN  
STEVEN BREINER SECRETARY  
MICHAEL P. A. WILLIAMS  
NICHOLAS A. VERTUCCI, JR.

Mr. & Mrs. Richard F. Greenwood

TOWN HALL  
PHONE 261-3031

THIS IS NOT A BILL

Dear Home Owner:

The following is the proposed Sewer Assessment for your property listed at 94 Killian Avenue in the amount of \$ 2812.50.

Residential property assessment is determined as follows: Lots will be assessed at a unit assessment charge of \$500.00 plus an actual foot charge, (1 unit + front footage = specific assessment) in accordance with the table below which places a minimum and maximum limit in relation to lot size to adjust for inequities of lot shape. Corner lots will be assessed for only one side which shall be the side bordered by the sewer, if initially sewered on one side only, or the shorter side when both sides are served by a sewer.

<u>LOT SIZE</u>	<u>LIMITS (FEET)</u>	
Up to 1/2 acre	Min. 80'	Max. 125'
From 1/2 to 1. acre	125'	150'
From 1. acre	150'	175'

Your Assessment is: 1 Unit(s) @ \$500.00 = \$ 500.00  
(Footage) 150 Front Feet @ \$ 13.75 = 2062.50  
\$ 2562.50  
For a Total Assessment of: 250.00 2nd later  
\$ 2812.50

You have the option of paying your specific assessment as shown above in one of the three (3) following ways:

- (A) Payment in full upon billing: One Payment of: \$ 2812.50  
OR  
(B) Eighteen (18) Annual Payments: Yearly Payment of: \$ 210.60  
(C) Annual payment for eighteen years but paid in equal quarterly installments of: \$ 60.15

Note: Options B & C include interest at 5% per Annum

The Commission will assume that payments will be made quarterly unless otherwise notified. Formal bill will be sent at a future date.

A User's Fee of \$26.00 will be charged annually, subject to periodic review.

TRUMBULL SEWER COMMISSION

## SCHEDULE A

All that certain pieces or parcels of land with all improvements thereon, situated in the Town of Trumbull, County of Fairfield and State of Connecticut, known and designated as Lots Nos. 15 and Lot No. 16, map of "Parkway Village" Plan No. 1, dated April 16, 1939, made by Fuller & Company, Inc. for the Bridgeport City Trust Co., Trustee, on file in the Trumbull Town Clerk's Office bounded and as follows:

LOT NO. 15:

NORTH: On land now or formerly of Lizzie M. W. Parrott,  
as shown on said map, 79.5 feet, more or less;  
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SOUTH : On Killian Avenue, 79.5 feet, more or less;  
WEST : On Lot No. 16, as shown on said map, 155 feet, more or less.

LOT NO. 16:

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as shown on said map, 81 feet, more or less;  
EAST : On Lot No. 15, as shown on said map, 155 feet, more or less;  
SOUTH : On Killian Avenue, 81 feet, more or less;  
WEST : On Lot No. 17, as shown on said map, 155 feet, more or less.

TOWN CLERK OFFICE, TRUMBULL, CT

APR - 6 2016

RECEIVED FOR RECORD

AT 11:48A M. ATTEST

TOWN CLERK

Document Details

File Number	Book/Page	Index Type	Kind of Inst	Description	Date Filed	Images
	4 / 394	LAND RECORDS	SEWER LIEN [ SEWER LN ]	L 15 16 V 182 P 266 KILLIAN AVE	02/02/1981 12:00:00 AM	

GRANTORS	GRANTEES
JANE B GREENWOOD RICHARD F GREENWOOD	-TOWN OF TRUMBULL

Log in as named user

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Version 1.6.23.0

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

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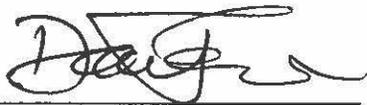
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TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you



---

DAVID & SARA FOWLER  
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

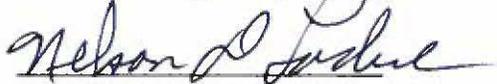
Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you



CAROL & NELSON LADUE  
78 KILLIAN AVENUE

# PAR KWAY VILLAGE PLAN I

Now or formerly  
George Hunsaleh

Now or formerly  
George Hunsaleh

Now or formerly  
Lizzie M.W. Parrott

See Plan No 5  
for Revision

Now or formerly  
Bridgeport City Trust Co. Trustees

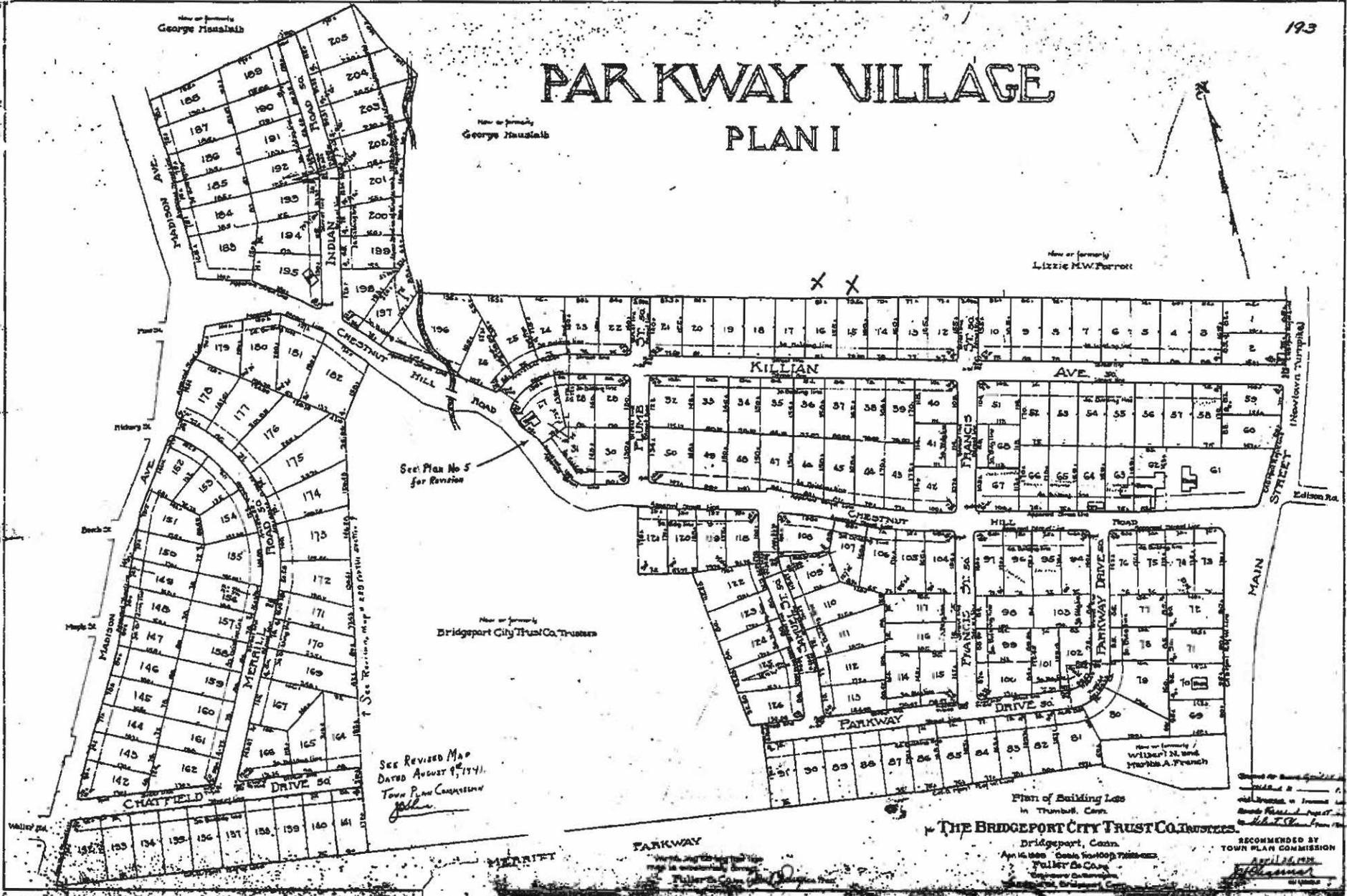
SEE REVISED MAP  
DATED AUGUST 9, 1941.  
TOWN PLANNING COMMISSION  
*[Signature]*

Plan of Building Lots  
in Township, Conn.

**THE BRIDGEPORT CITY TRUST CO. TRUSTEES.**

Bridgeport, Conn.  
Applicant: Cassa Notwood Parsons  
Fuller & Co.,  
Engineers & Architects,  
Bridgeport, Conn.

RECOMMENDED BY  
TOWN PLAN COMMISSION  
April 15, 1941  
*[Signature]*



October 1, 2020

Zoning Board of Appeals Application to Split Lot

TO: ZBA Commission

RE: Lot Split

Application #20-24

On upcoming agenda I see the owner(s) of 94 Killian Ave have applied to split their small lot into two parcels requiring 6 variances of Town Zoning regulations..

Two areas specifically cited within Statutes, with respect to Waivers and Zoning Boards of Appeal

- 1) Waivers are only granted in cases where the hardship has been imposed by conditions outside the property owner's control
- 2) Financial considerations do not constitute a legal hardship that would warrant a variance.

The property owner(s) are aware of existing zoning regulations and have created an artificial hardship by attempting to split their existing lot for purely financial gain. An area cited specifically for which a waiver shall not be granted.

I am against this application and urge you to deny this application and any others that come before you similar in nature..

Thank you.

Tracy Vonick  
155 Killian Ave  
Trumbull

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ROGER KERGARAVAT  
89 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

PETER & LAURA YARUSAVAGE  
80 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

MARILYN MCCARTHY  
86 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

RALPH BERSHEFSKY  
88 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CHRIS & ALEXANDRA  
98 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

SARAH TURECHEK  
108 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

DAVID & SARA FOWLER  
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

PATRICIA CORDA  
124 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CHRIS & ANNE TRACEY  
82 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ERIN DAMATO  
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

DANIELLE MCCAIN  
72 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CAROL & NELSON LADUE  
78 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JEFF LUND  
81 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

KYLE & LAURA MARSDEN KISH  
87 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JOE CUNEO  
101 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

FRANK & PATRICIA LAPEGNA  
84 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

SPIRO & MICHAEL MALISORY  
114 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

ELIZABETH IRWIN  
124 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

CLAUDIA MONTOYA  
125 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

KATHLEEN RICHARSON  
127 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

COREY OSOBA  
134 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

TIMOTHY KILLIAN  
142 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

JASON FRANGENES  
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

---

HILARY MAYO  
144 KILLIAN AVENUE

Town of Trumbull  
CONNECTICUT  
SEWER COMMISSION

JOHN K. DONNELLY, P.E.  
SEWER ADMINISTRATOR



TOWN HALL  
PHONE 261-3631

SEWER COMMISSIONERS

JOHN J. PETRUCELLI, CHAIRMAN  
HARRY V. TICKEY, VICE CHAIRMAN  
STEVEN BREINER, SECRETARY  
MICHAEL P. A. WILLIAMS  
NICHOLAS A. VERTUCCI, JR.

February 1, 1980

Mr. Richard F. Greenwood  
94 Killian Avenue  
Trumbull, Connecticut 06611

Dear Mr. Greenwood:

Enclosed is the lateral request form for the second lateral installed at your property as requested by you.

Kindly sign and return the form to this office.

Very truly yours,

Robert F. Farrell, Jr.  
Sewer Coordinator and  
Assistant Sewer Administrator

RFF:ms  
Enc.  
cc: File

# Town of Trumbull

CONNECTICUT

SEWER COMMISSION



JOHN K. DONNELLY, P.E.  
SEWER ADMINISTRATOR

TOWN HALL  
PHONE 261-3631

## SEWER COMMISSIONERS

JOHN J. PETRUCELLI, CHAIRMAN  
HARRY V. TICKEY, VICE CHAIRMAN  
STEVEN BREINER, SECRETARY  
MICHAEL P. A. WILLIAMS  
NICHOLAS A. VERTUCCI, JR.

February 1, 1980  
Date

This is to confirm my request for two house connection laterals to the sanitary sewer at 91 Killian Avenue.

I understand and am aware that an additional charge of \$250.00 will be levied for the second house connection lateral.

\_\_\_\_\_  
Signature

Very truly yours,

Robert F. Farrell, Jr.  
Sewer Coordinator and  
Assistant Sewer Administrator

RFF:ms  
Enc.  
cc: File

FORM 5

TAP NO. **26105** ORDER TO INSTALL TAP

LONG HILL  
EXT. NO. **3204-830**

BRIDGEPORT, CONN.

**15 1940**

STREET AND SERVICE DEPARTMENT: **Lot #15**

PLEASE INSERT IN MAIN ON **Killian Ave** ST.

NEAR **Francis St**

**3/4** INCH CORPORATION TAP.

TRENCH OPEN AT

**AUG 15 1940** 1:00 A. M.

EXECUTIVE DEPARTMENT

BY **JSP**

OWNER **Mrs. Evelyn Triggs**

PLUMBER **Robert Fritz**

FEE PAID **AUG 15 1940**

MASON **READY MIXED**

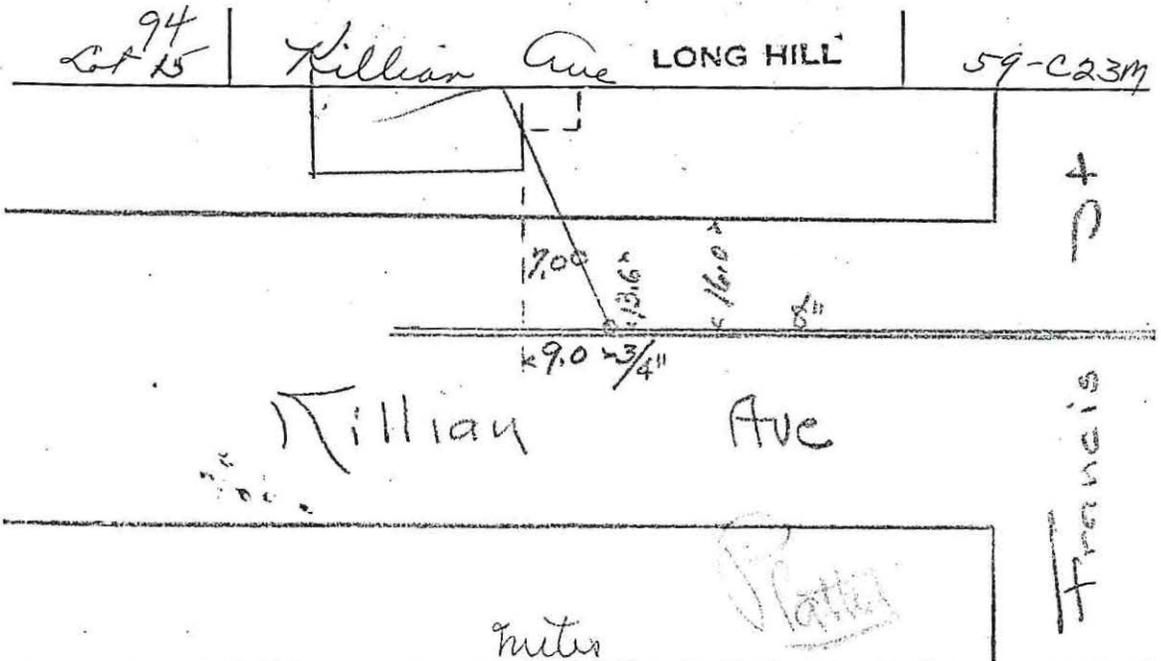
FEE PAID **AUG 15 1940**

SPECIAL CONDITIONS

BRIDGEPORT HYDRAULIC COMPANY

**AUG 15 1940**

WATER STREET	DRAUGHTING ROOM			MAIN OFFICE			PLATTED	ORIGINAL
	SKETCH	LOCATION	EXT. NO.	GUAR. RATE	INSPECTION	ADDRESS & ACCOUNT		
✓	<b>EPD</b>	<b>3204</b>	<b>30.00</b>	<b>La</b>	<b>La</b>	<b>La</b>		<b>CARD FILED</b>



TAPPED	SIZE OF SERVICE	DEPTH DITCH	CURB COCK	INSPECTED BY
<b>8/15/40</b>	<b>1" copper</b>	<b>4 1/2</b>	<b>Les</b>	<b>Medina</b>

VARIANCE  SPECIAL EXCEPTION  SPECIAL PERMIT

GRANTED BY:  
PLANNING AND ZONING COMMISSION  ZONING BOARD OF APPEALS

OWNER(S) OF RECORD: Melissa Jagoe Seidl  
48 Plymouth Avenue  
Trumbull, CT 06611



LOCATION OF PREMISES: Melissa Jagoe Seidl

Assessor's Map No.: E-10 Parcel No. 41 Lot No. 46  
Trumbull Land Records: Volume 1701 Page 436

ZONING REGULATIONS:  
ARTICLE(S) II, III CHAPTER V SECTION(S) 1.3.5, 2  
PARAGRAPH(S) \_\_\_\_\_ SUBPARAGRAPH(S) \_\_\_\_\_

NATURE OF APPLICATION: Variance of Article II, Section 1.3.5 and Art. III, Chapter V, Sec. 2  
to reduce minimum lot size from 21,780 sq. ft. to 17,597 sq. ft. and to reduce the minimum lot frontage  
from 125' to 80.29' for a proposed lot within a two-lot subdivision in the Residence A Zone. Must  
include 15' of conservation easement across the rear portion of lots 45, 46 and 47. Prior to any  
development on lot #45, applicant must show compliance with the Administrative Policy for Stormwater  
Management & Drainage Standards, obtain WPCA approval, street opening and driveway permits.

SPECIFIC CONDITIONS IMPOSED UPON THE GRANT OF SUCH APPLICATION MAY BE FOUND IN COPIES OF ACTION TAKEN ON FILE IN THE OFFICE OF THE TOWN CLERK.

DATE OF APPLICATION 8/15/19 DATE OF PUBLIC HEARING 10/02/19  
DATE OF ACTION TAKEN 10/2/19 FIXED EFFECTIVE DATE 10/20/19

Richard Mayo  
(Secretary)

**CERTIFICATION**

I, Gail Andreyka, Clerk of the Zoning Board of Appeals of the Town of Trumbull, do, hereby, certify this notice of decision to contain true accurate statements for variance granted with respect to application of Atty. Russo for Melissa Jagoe Seidl dated August 15, 2019 for premises owned by Melissa Jagoe Seidl and as more fully appears in the files of the said Zoning Board of Appeals.

Gail Andreyka  
(Clerk)

Received for Record OCT 31 2019 at 11:29 A.M.

ATTEST: Suzanne M. Cole  
Town Clerk



**MEMORANDUM**

To: Z.B.A. Commission

From: Tatiana Solovey, PE  
Assistant Town Engineer

October 5, 2020

Re: Comments for Public Hearing – October 7, 2020 Meeting

Dear Commissioners,

Below in *italic* are our comments on the submitted applications

**Application #20-24 – 55 Woodlawn Drive, David Steeves for Donna Quinlan -** Variance of Art. II, Sec. 4.3.1 and Art. III, Sec. 1 to construct a 12' x 21.1' deck 15' from the north side lot line.

*We offer no comments at this time.*

**Application #20-29 – 94 Killian Avenue, Chris Russo, Esq. for The Richard F. Greenwood Testamentary Trust –** Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Trumbull Zoning Regulations) to reduce the minimum lot size from 21,780 sq. ft. to 11,713 sq. ft. for proposed Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot size from 21,780 sq. ft. to 13,566 sq. ft. for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot frontage from 125' to 75' for proposed Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot frontage from 125' to 85.5' for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum side yard from 20' to 4.8' for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to increase the maximum floor area ratio from 0.29 to 0.304 for the lot identified as #94 Killian Avenue.

*Prior to Engineering approval, applicant must show compliance with the Administrative Policy for Stormwater Management and Drainage Design Standards. Applicant must also obtain a driveway, street opening and sanitary sewer permits.*

**Application #20-30 - 15 Elberta Avenue, Chris Russo, Esq. for Daniel Burzynski** – Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Trumbull Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot size from 21,780 sq. ft. to 7,086 sq. ft. for Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot size from 21,780 sq. ft. to 7,141 sq. ft. for Lot B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot frontage from 125' to 50' for Lots A & B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum front yard from 50' to 28.5' for Lots A & B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum side yard from 20' to 10.5' for Lots A & B on one side setback and 11.2' on the other side setback for both proposed Lots A and B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to increase the maximum floor area ratio from 0.29 to 0.378 for Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to increase the maximum floor area ratio from 0.29 to 0.376 for Lot B.

*Prior to Engineering approval, applicant must obtain a driveway and street opening permits, show compliance with the Administrative Policy for Stormwater Management and Drainage Design Standards and seek approval from the WPCA for connection to the sanitary sewer.*

**Application # 20-33 - 480 Church Hill Road, Christopher Russo for Domingos Moura.**

Variance of Art. II Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to subdivide one parcel into Lots "A" and "B" and reduce the minimum road frontage of 125' to 111.79' for each proposed parcel.

*Prior to Engineering approval, applicant must show compliance with the Administrative Policy for Stormwater Management and Drainage Design Standards. Applicant must also seek approval from the WPCA for connection to the sanitary sewer.*

**Application # 20-34 - 6567 Main Street, Christopher Russo Esq. for Trumbull Super Stop Realty LLC.** Variance of Art. I. Sec. 4.2 and Art. II Sec. 1.3.1 to install 4 vacuum stations at the S/S of the property and relocate the existing air pump to the same vicinity.

*We offer no comments at this time.*

**Application # 20-35 - 11 Cook Circle, Elissa and Christopher Lorant.** Variance of Art. I Sec 4.3.1 and Art. III Sec. I to add a 14' x 14' sunroom 49.2' from the rear lot line at its closest point, and add a pool deck 28' from the rear lot line at its closest point.

*Applicant must make an application to The Inland Wetlands and Water Course Commission.*

Engineering Comments for ZBA Meeting October 7, 2020

**Application # 20-36 – 1362 Huntington Road, Alexandra Casabianca.** Variance of Art. I, Sec. 4.3.1 and Art. III, Sec. I to add a second story addition to a pre-existing non-conforming dwelling, 49.5' from the front lot line, 4.6' from the S/S lot line, and 43.5' from the rear lot line.

*We offer no comments at this time.*

**Application 20-37 – 15 Magnolia Road, Brittany and Domingos Vaz, Jr.** Variance of Art I, Sec. 4.3.1 and Art. III Sec. I to add a second story addition to the existing dwelling 49.3' from the front property line at its closest point.

*We offer no comments at this time.*