

Town of Trumbull
CONNECTICUT

**Planning and Zoning
Department**
Telephone (203) 452-5044
Fax (203) 452-5169



Town Hall
5866 Main Street
Trumbull, Connecticut
06611

ZONING BOARD OF APPEALS

To: MEMBERS OF THE ZONING BOARD OF APPEALS
RE: REGULAR MEETING – **WEDNESDAY, OCTOBER 7, 2020**

The Zoning Board of Appeals will hold a Regular Meeting on Wednesday, October 7, 2020 at 7:00 p.m. online via videoconference.

AGENDA

PUBLIC MEETING
7:00 P.M.

PLEDGE OF ALLEGIANCE

ROLL CALL

REGULAR MEETING

ACCEPTANCE OF MINUTES

Acceptance of the Minutes from the September 2, 2020 Zoning Board of Appeals Regular Meeting.

APPLICATIONS

Application #20-24 – 55 Woodlawn Drive, David Steeves for Donna Quinlan - Variance of Art. II, Sec. 4.3.1 and Art. III, Sec. 1 to construct a 12' x 21.1' deck 15' from the north side lot line.

Application #20-29 – 94 Killian Avenue, Chris Russo, Esq. for The Richard F. Greenwood Testamentary Trust – Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Trumbull Zoning Regulations) to reduce the minimum lot size from 21,780 sq. ft. to 11,713 sq. ft. for proposed Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot size from 21,780 sq. ft. to 13,566 sq. ft. for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot frontage from 125' to 75' for proposed Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum lot frontage from 125' to 85.5' for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to reduce the minimum side yard from 20' to 4.8' for the lot identified as #94 Killian Avenue;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to increase the maximum floor area ratio from 0.29 to 0.304 for the lot identified as #94 Killian Avenue.

Application #20-30 - 15 Elberta Avenue, Chris Russo, Esq. for Daniel Burzynski –

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Trumbull Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot size from 21,780 sq. ft. to 7,086 sq. ft. for Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot size from 21,780 sq. ft. to 7,141 sq. ft. for Lot B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum lot frontage from 125' to 50' for Lots A & B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum front yard from 50' to 28.5' for Lots A & B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to reduce minimum side yard from 20' to 10.5' for Lots A & B on one side setback and 11.2' on the other side setback for both proposed Lots A and B;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to increase the maximum floor area ratio from 0.29 to 0.378 for Lot A;

Variance of Art. II, Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) and Chapter V, Sec. 2 (Subdivision Regulations) to increase the maximum floor area ratio from 0.29 to 0.376 for Lot B.

Application # 20-33 - 480 Church Hill Road, Christopher Russo for Domingos Moura.

Variance of Art. II Sec. 1.3.5 and Art. III (Exhibit of Zoning Regulations) to subdivide one parcel into Lots "A" and "B" and reduce the minimum road frontage of 125' to 111.79' for each proposed parcel.

Application # 20-34 - 6567 Main Street, Christopher Russo Esq. for Trumbull Super Stop Realty LLC. Variance of Art. I. Sec. 4.2 and Art. II Sec. 1.3.1 to install 4 vacuum stations at the S/S of the property and relocate the existing air pump to the same vicinity.

Application # 20-35 - 11 Cook Circle, Elissa and Christopher Lorant. Variance of Art. I Sec 4.3.1 and Art. III Sec. I to add a 14' x 14' sunroom 49.2' from the rear lot line at its closest point, and add a pool deck 28' from the rear lot line at its closest point.

Application # 20-36 – 1362 Huntington Road, Alexandra Casabianca. Variance of Art. I, Sec. 4.3.1 and Art. III, Sec. I to add a second story addition to a pre-existing non-conforming dwelling, 49.5' from the front lot line, 4.6' from the S/S lot line, and 43.5' from the rear lot line.

Application 20-37 – 15 Magnolia Road, Brittany and Domingos Vaz, Jr. Variance of Art I, Sec. 4.3.1 and Art. III Sec. I to add a second story addition to the existing dwelling 49.3' from the front property line at its closest point.

Consider and act on applications from tonight's Public Hearing.

Join the meeting online:

<https://zoom.us/j/99673192916?pwd=cDRGNHZ3TnQ3RUk2ci9aUjQwVWJodz09>

Webinar ID: 996 7319 2916

Password: 235468

Join by telephone:

(312) 626-6799 or (833) 548-0276 (Toll Free)

Webinar ID: 996 7319 2916

Dated at Trumbull, CT this 30th day of September, 2020.

By: Linda Finger, Clerk

COMMISSION MEMBERS: PLEASE NOTIFY Linda Finger, Clerk, AT 203-452-5044 or lfinger@trumbull-ct.gov, IF YOU ARE UNABLE TO ATTEND.

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
 - Floor Area
 - Lot Area
 - Lot Coverage
 - Damage Reconstruction
 - Parking
 - Extension of enlargement of non-conforming use or building
 - Other (explain)
-
-

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) III SECTION(S) 9 PARAGRAPH(S) 9.7
SUBPARAGRAPH(S) Exhibit

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

NO

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE

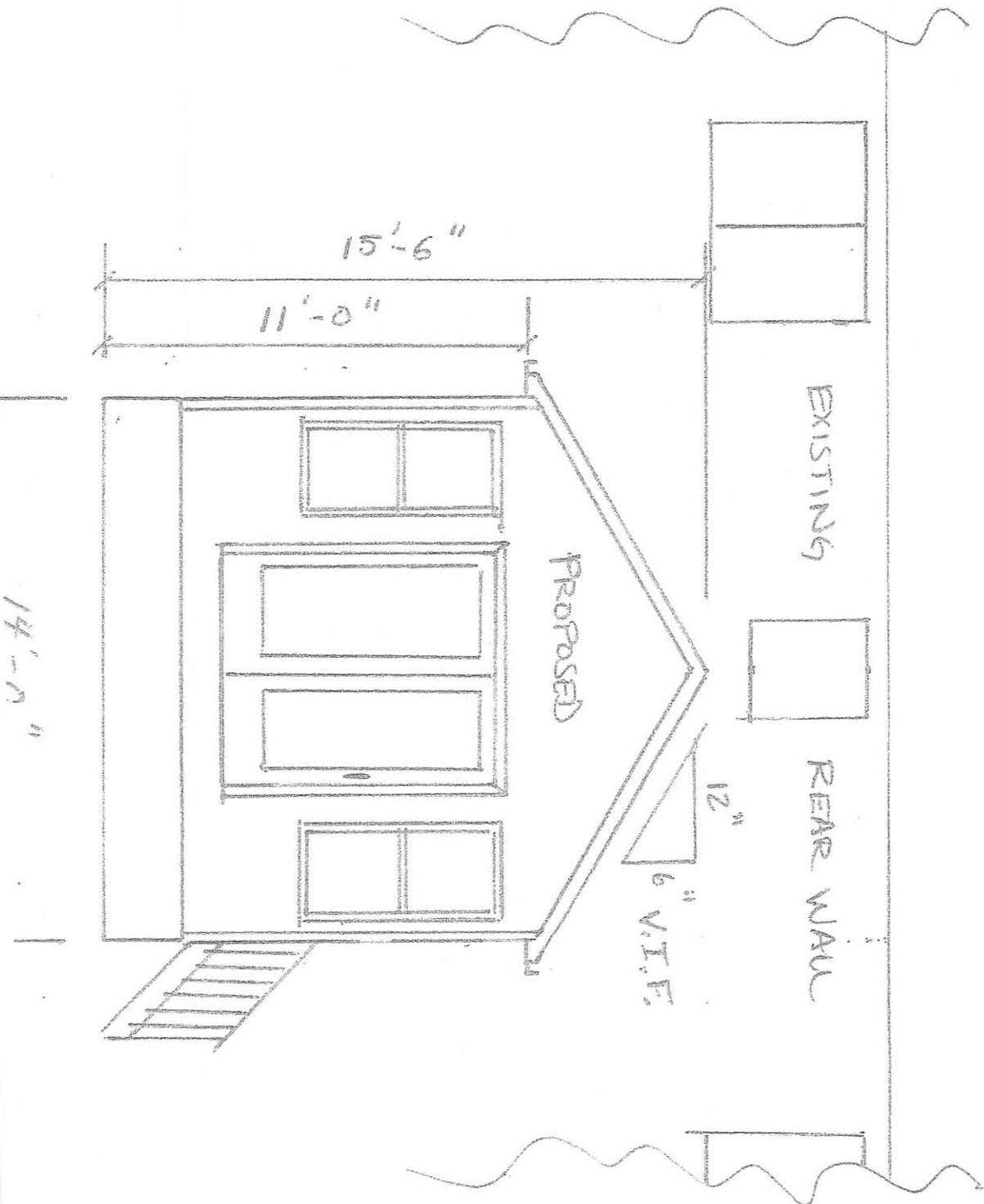
APPLICABLE: Deck will be built approximately 25' from the rear property line and sunroom will be built approximately 48' from the rear property line.

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

This is the only plan to build a sunroom and deck connecting to the rear door of our house.

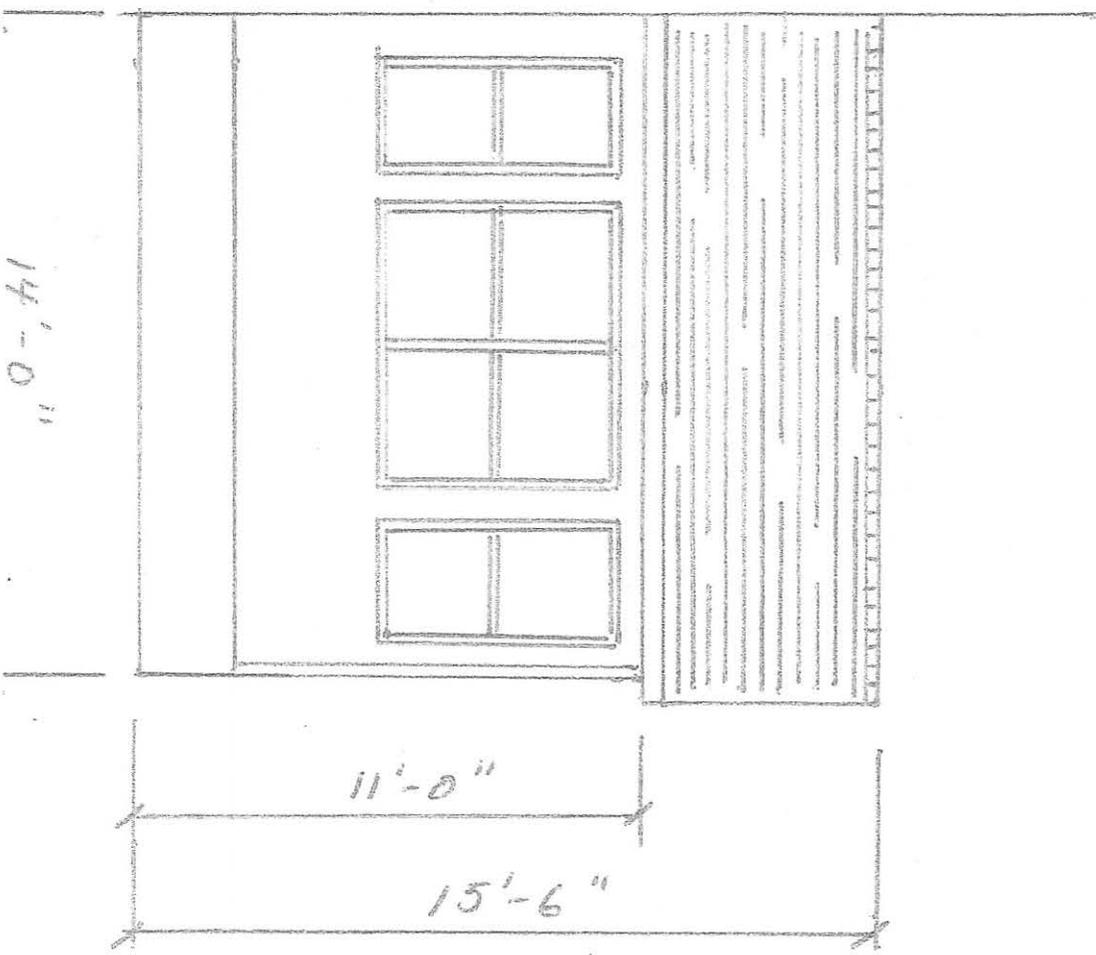
AMANTE LLC
RON AMANTE
203-241-5328

LOZANT SUNROOM
11' COOK CIRCLE
1/4" = 1'-0"
REAR ELEVATION



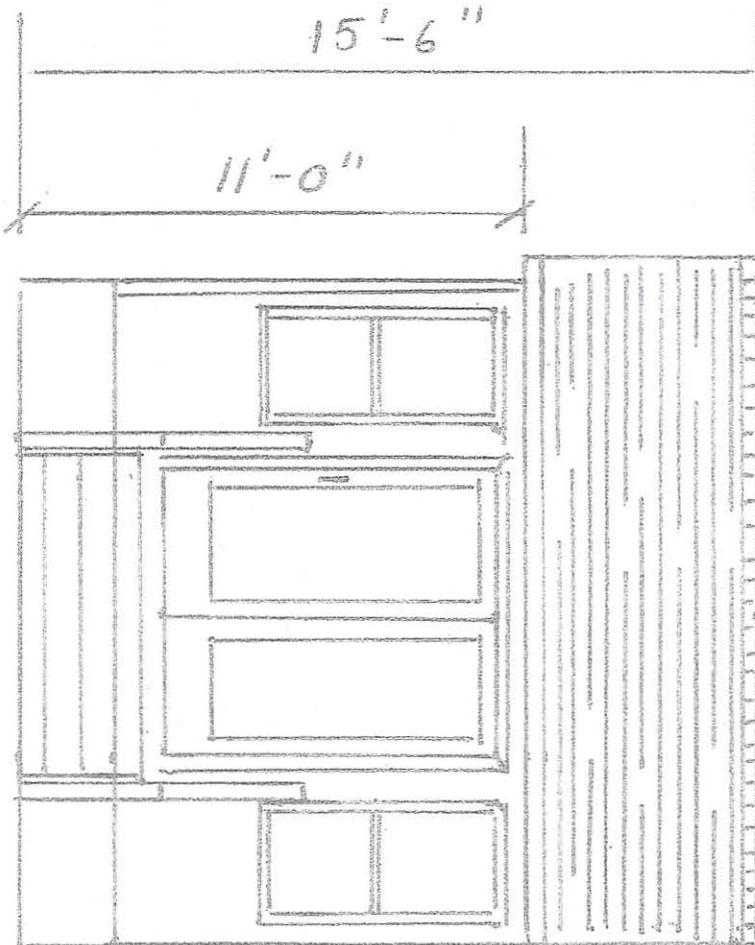
AMANTE LLC
RON AMANTE
203-241-5328

EXISTING REAR WALL OF HOUSE



LORANT SUNROOM
11' CIRCULAR
1/4" = 1'-0"
LEFT ELEVATION

AMANTE LLC
RON AMANTE
203-241-5328



11'-0"

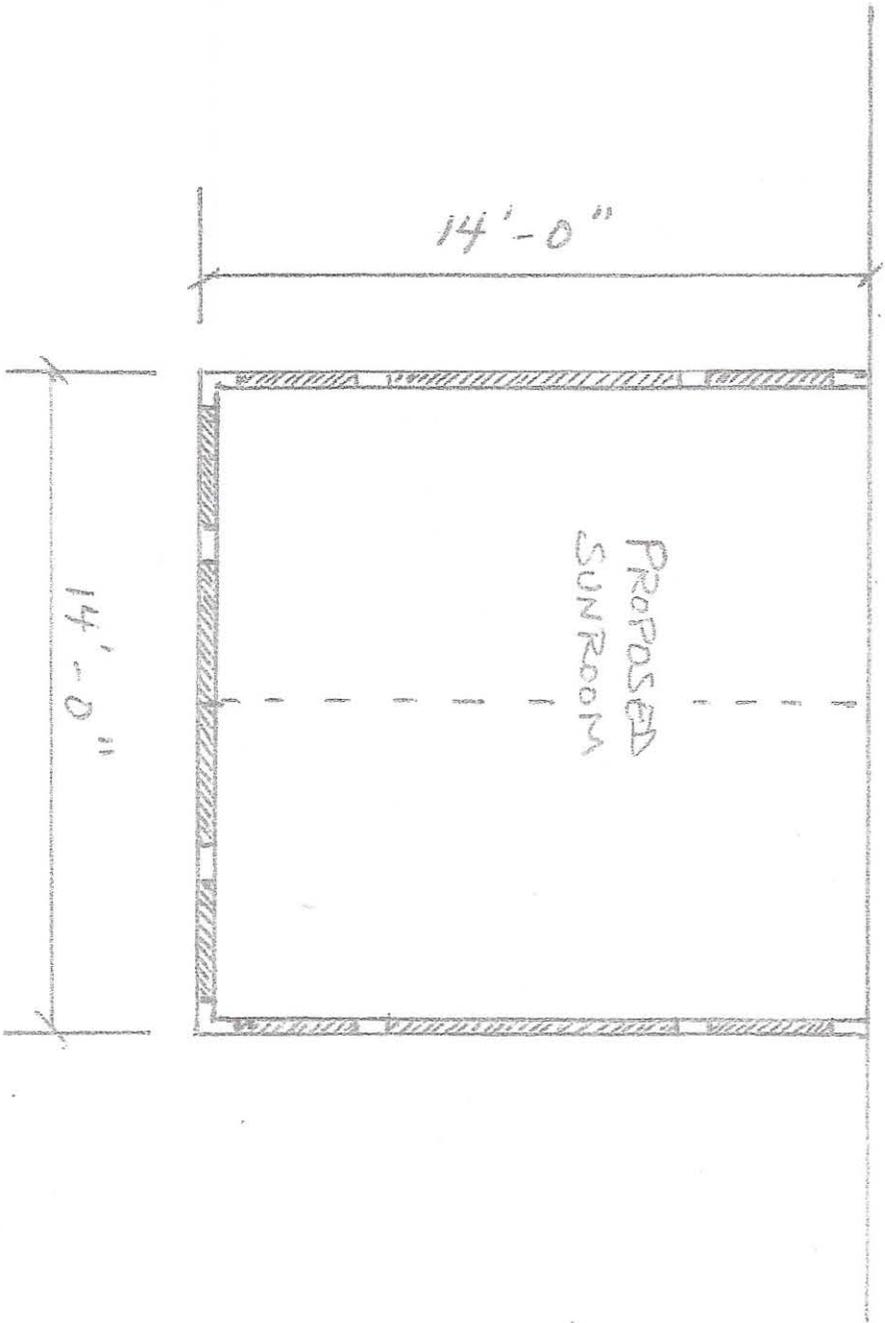
EXISTING REAR WALL OF HOUSE

LORRAINE SUNROOM
11' COOK CIRCLE
1/4" = 1'-0"
RIGHT ELEVATION

AMANTE LLC
RON AMANTE
203 - 241-5328

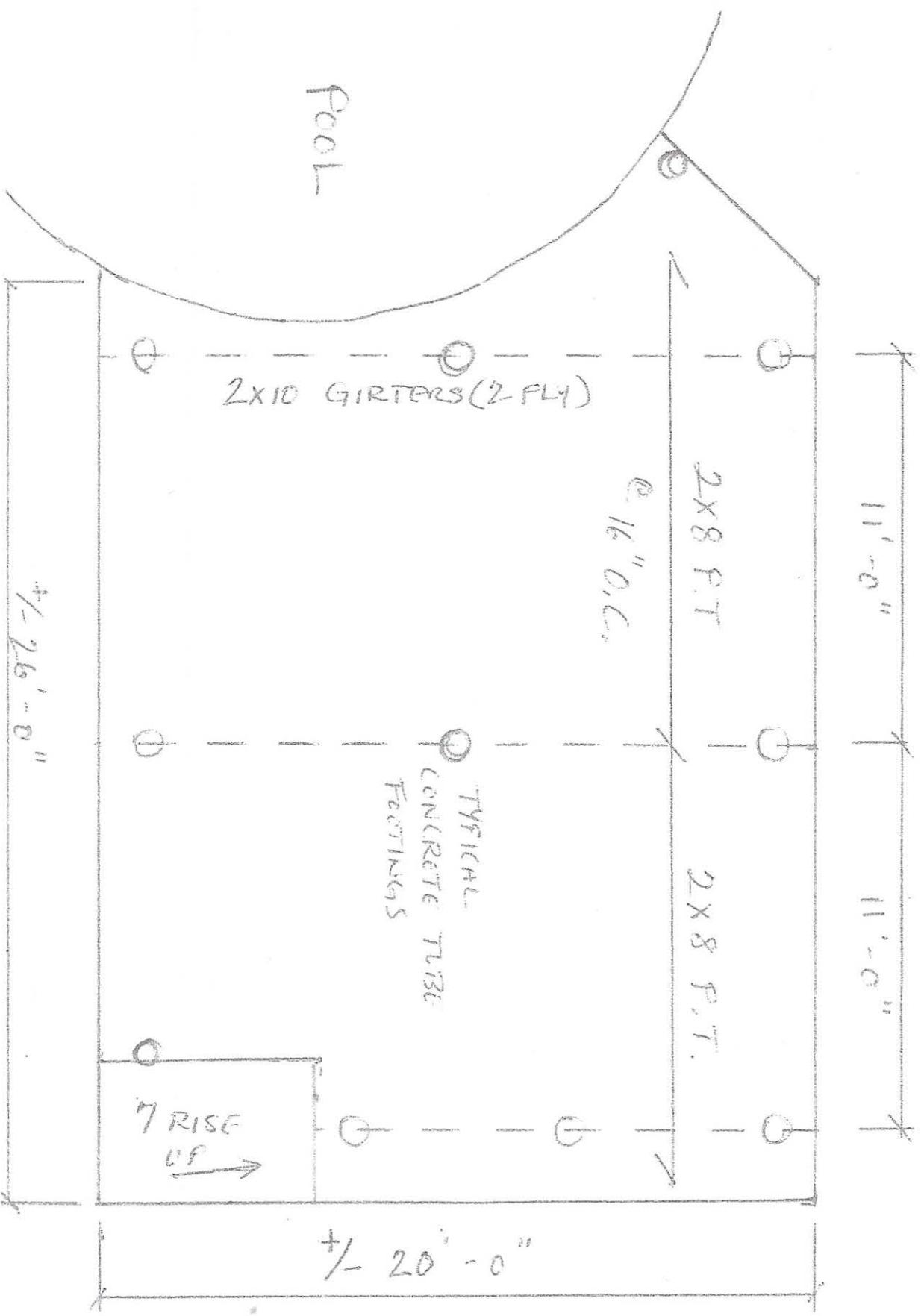
LORANT SUNROOM
11 COOK CIRCLE
1/4" = 1'-0"
FLOOR PLAN

EXISTING REAR WALL OF HOUSE



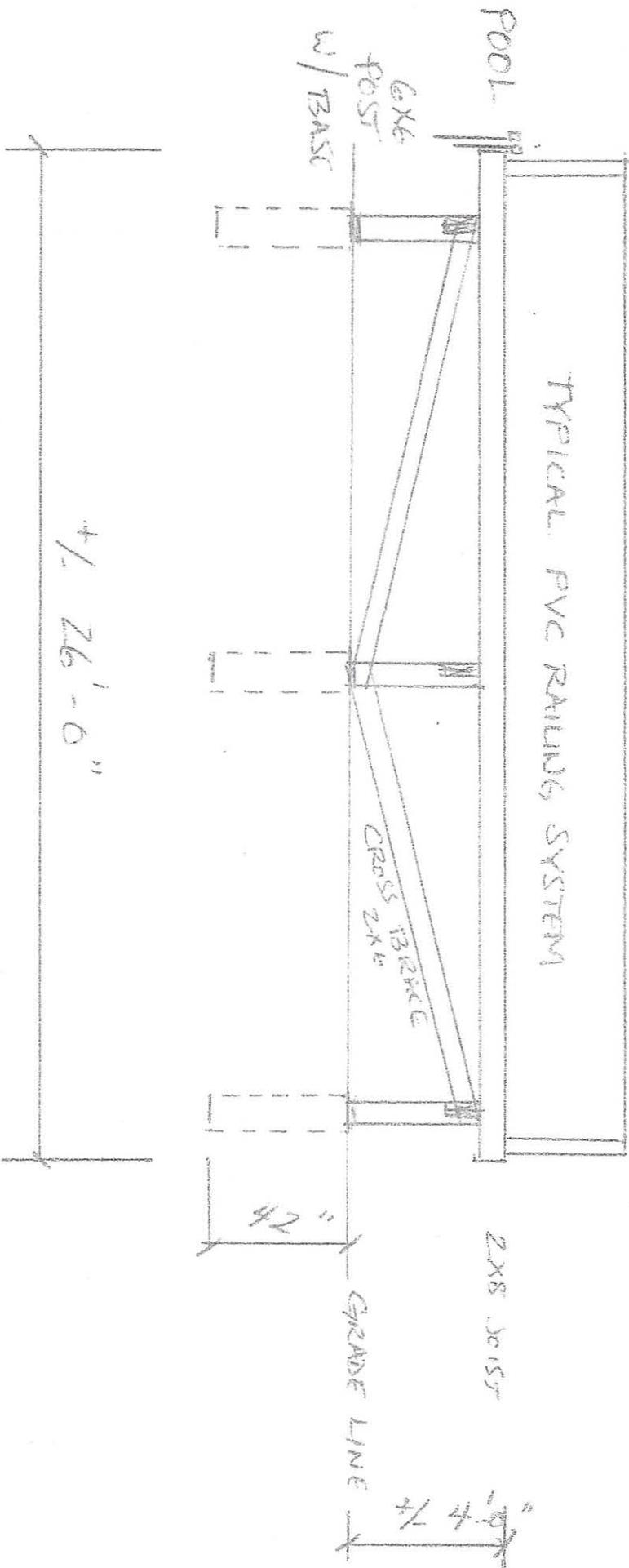
AMANTE LLC
RON AMANTE
203 - 241 - 5328

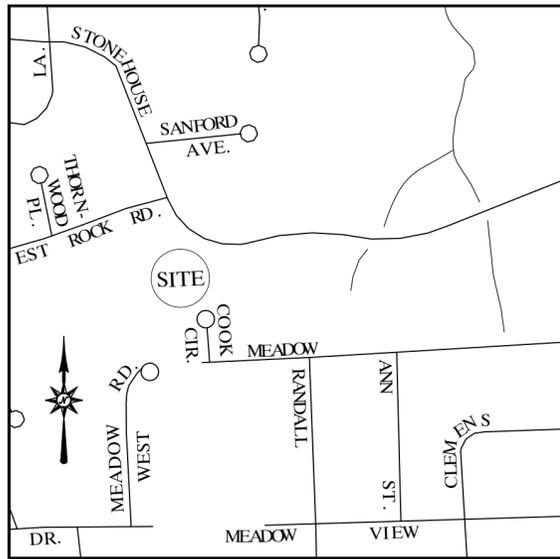
LOPANT DECK
11 COCK CIRCLE
1/4" = 1'-0"
PLAN VIEW



AMANTE LLC
RON AMANTE
203-241-5328

LORANT DECK
W/ COOK CIRCLE
1/4" = 1'-0"
ELEVATION (TYPICAL)





Vicinity Map
Scale: 1"=500'



Approximate North
Per Map in Note 2A.

N/F
**Anna K. Yamamoto &
Scott E. Branscomb**
#165 Stonehouse Road
(D-4/184)

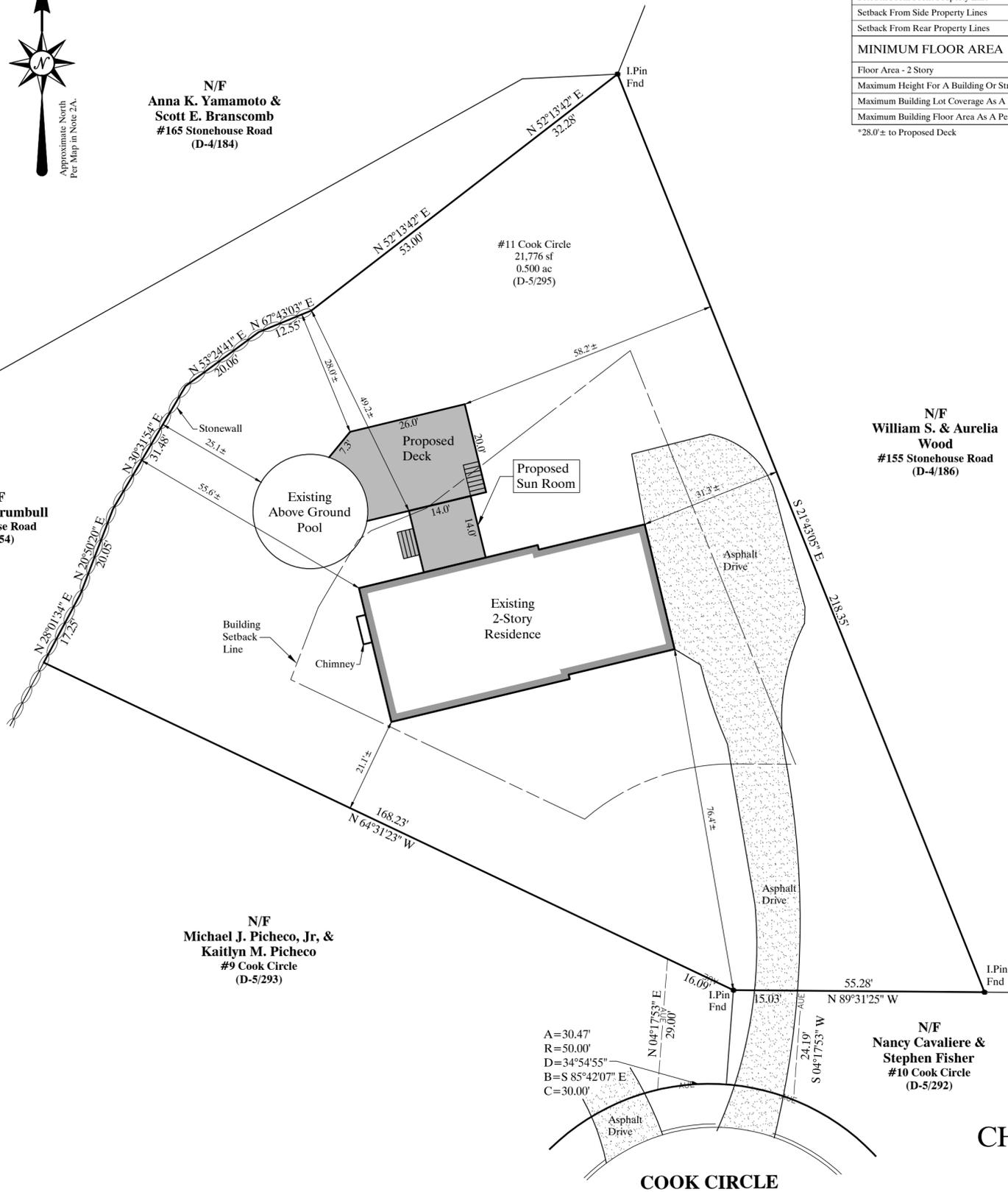
N/F
Town of Trumbull
Stonehouse Road
(D-/254)

N/F
**Michael J. Picheco, Jr. &
Kaitlyn M. Picheco**
#9 Cook Circle
(D-5/293)

N/F
**William S. & Aurelia
Wood**
#155 Stonehouse Road
(D-4/186)

N/F
**Nancy Cavaliere &
Stephen Fisher**
#10 Cook Circle
(D-5/292)

#11 Cook Circle
21,776 sf
0.500 ac
(D-5/295)



A=30.47'
R=50.00'
D=34°54'55"
B=S 85°42'07" E
C=30.00'

COOK CIRCLE

RESIDENCE ZONE A	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	21,780 SF	21,776 SF±	21,776 SF±	
Minimum Lot Frontage	125'	0.0'	0.0'	
MINIMUM SETBACK				
Setback From Front Property Line	50	76.4'±	76.4'±	
Setback From Side Property Lines	20	21.1'±	21.1'±	
Setback From Rear Property Lines	50	55.6'±	49.2'±*	
MINIMUM FLOOR AREA				
Floor Area - 2 Story	1,200 1st Floor-900 2nd Floor	1,200/1,920	1,396/1,920	
Maximum Height For A Building Or Structure	40'	<40'	<40'	
Maximum Building Lot Coverage As A Percentage Of Lot Area	25%	9.5% ±	13.0% ±	
Maximum Building Floor Area As A Percentage Of Lot Area	29%	14.3% ±	15.2% ±	

*28.0'± to Proposed Deck

NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.

The intention of the plan is to show the location of a Sun Room and Deck. Not all features existing on the property are shown hereon.
- Reference is made to the following documents:

A. RM 3214-"Resubdivision Map of Lot 3, Prepared for Mildred Cook, Stonehouse Road, in Trumbull, Connecticut, Dated: 7/12/05; Revised 12/14/05; Scale: 1"=20'; Prepared by Spath-Bjorklund Associates, Inc."
- The underground utilities shown, if any, have been located from visible field survey information. No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal/public service facilities. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate agencies.
- Distances shown ± from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
- Zoning information shown on this map must be reviewed and confirmed by the appropriate Town of Trumbull authorities prior to use.
- Property is served by public water and sanitary sewer.
- Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.
- The property is located in Zone X per FEMA Flood Map #09001C0288F; Panel 288 of 626; Effective Date: 6/18/2010.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	WATER SERVICE
	GAS LINE
	FINISHED FLOOR
	GARAGE FLOOR
	BUILDING SETBACK LINE
	CATCH BASIN
	EXISTING IRON PIN/PIPE
	MAILBOX
	UTILITY POLE

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Michael S. Shevlin, Jr. PLS #70339

DATA ACCUMULATION PLAN
PREPARED FOR
CHRISTOPHER R. & ELISSA B. LORANT
#11 COOK CIRCLE
TRUMBULL, CONNECTICUT



NO.	DATE	DESCRIPTION	DATE:	SCALE:	DRAFTER:	JOB NUMBER:	FILE NUMBER:
1	9-8-20	PROPOSED FEATURES	5-20-2020	1"=20'	MSS	3120	3120
		REVISIONS					
			165 Oyster Road-Fairfield, CT 203.218.5840		593 Main Street-Monroe, CT		ShevlinLS.com

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) _____ SECTION(S) _____ PARAGRAPH(S) _____

SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: _____

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

B. APPEAL FROM ORDER OF THE ZONING ENFORCEMENT OFFICER

1. List the date of the Cease and Desist Order being appealed (and submit copy of the letter):

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations regarding your appeal:

ARTICLE(S) _____ SECTION(S) _____ PARAGRAPH(S) _____

SUBPARAGRAPH(S) _____

3. Explain and state the basis for appeal of the decision of the Zoning Enforcement Officer:

C. APPROVAL FOR LOCATION OF GASOLINE STATION/LICENSE

1. Approval of Location is for the following:

- a) Gasoline Station _____
- b) Limited Repairer's License _____
- c) General Repairer's License _____

2. Indicate below if this application is a license renewal, and give a brief history of the uses of the property:

3. What are the proposed hours of operation? _____

4. Will any vehicles being repaired be stored outside? _____

If yes, please specify the number of vehicles to be stored outside, location, and duration that they will be stored:

5. Applications pertaining to gasoline station location and/or new construction must include a site plan showing location of buildings, pumps, exits and entrances, signs, lights, and landscaping.

6. Applications pertaining to licenses must be accompanied by Connecticut Motor Vehicle Department forms to be signed by the Board.

RESIDENTIAL HOUSE

1362 HUNTINGTON TPKE
TRUMBULL, CT 06611

ALEXANDRA CASABIANCA
08.31.2020

EXISTING VIEWS/ 3D PERSPECTIVES



PROPOSED 3D PERSPECTIVES



SCHEDULE OF DRAWINGS

R 1.0 COVER SHEET- 3D PERSPECTIVES

GENERAL NOTES

- A 1.0 EXISTING/ DEMOLITION-
BASEMENT. FIRST FLOOR PLAN
SECOND FLOOR PLAN
- A 1.1 EXISTING/ DEMOLITION-
FRONT ELEVATION. REAR ELEVATION
RIGHT ELEVATION. LEFT ELEVATION
- A 2.0 PROPOSED-
BASEMENT. FIRST FLOOR PLAN
SECOND FLOOR PLAN
- A 2.1 PROPOSED-
FRONT ELEVATION. REAR ELEVATION
RIGHT ELEVATION. LEFT ELEVATION
- A 3.0 PROPOSED- ROOF PLAN
PROPOSED- ROOF FRAMING PLAN
SECOND FLOOR FRAMING PLAN
TYPICAL SECTION DETAIL 1.

ALL WORK SHALL BE IN ACCORDANCE WITH THE:

- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE (NFPA70)
- ALONG WITH ALL REQUIRED TESTING AND APPROVALS

GENERAL NOTES:

1. THIS PROJECT HAS BEEN DESIGNED USING 2018 CONNECTICUT BUILDING CODE.
2. THE LOADS THAT HAVE BEEN USED IN STRUCTURAL DESIGN INCLUDE THE FOLLOWING:

LIVE LOADS:	
SLEEPING AREA	30 PSF
LIVING AREA	40 PSF
ATTIC WITHOUT STORAGE	10 PSF
ATTIC WITH STORAGE	20 PSF

SNOW LOAD:

GROUND SNOW LOAD	Pg	30 PSF
SNOW EXPOSURE CATEGORY	Co	1.0
THERMAL FACTOR	Ct	1.0
IMPORTANCE FACTOR		1.0
FLAT ROOF SNOW LOAD	Pf=0.7	30 PSF
SNOW DRIFT CONDITIONS IN ACCORDANCE WITH THE COVERING CODE.		

WIND LOAD:

ULTIMATE WIND SPEED 120 MPH, EXPOSURE B, IMPORTANCE FACTOR 1.0.
WIND PRESSURES AND DISTRIBUTIONS IN ACCORDANCE WITH SECTION 1609
DESIGN WIND PRESSURE FOR COMPONENT AND CLADDING IN ACCORDANCE WITH SECTION 1609.6.5.

3. THE GENERAL CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL OPENINGS. (COORDINATE WITH APPLICABLE TRADES).
THE CONTRACTOR SHALL PROVIDE FOR ALL OPENINGS, ANY DEVIATION FROM OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR APPROVAL PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ELEVATIONS NOT SHOWN AND FOR EXACT LOCATIONS OF ALL ARCHITECTURAL DETAILS. THE CONTRACTOR SHALL COMPARE THE STRUCTURAL AND ARCHITECTURAL DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMPLETION OF THE SHOP DRAWINGS.
5. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.
6. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
7. COMPLETE SHOP DRAWINGS AS REQUIRED FOR THE STRUCTURAL WORK SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION, IN ACCORDANCE WITH THE SPECIFICATION, SUCH REVIEW BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR CORRECT FABRICATION AND CONSTRUCTION OF THE WORK. ALLOW (10) BUSINESS DAYS FOR REVIEW FROM THE TIME SUBMITTALS ARE RECEIVED IN OUR OFFICE. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR MATERIALS PURCHASED PRIOR TO REVIEW OF SHOP DRAWINGS.
8. ANY DEVIATION FROM, ADDITION TO, SUBSTITUTION FOR, OR MODIFICATION TO THE STRUCTURE OR ANY PART OF THE STRUCTURE DETAILED ON THESE DRAWINGS SHALL BE SUBMITTED IN WRITING TO THE ENGINEER FOR REVIEW, SHOP DRAWINGS THAT ARE SUBMITTED FOR REVIEW DO NOT CONSTITUTE «IN-WRITING» UNLESS IT IS CLEARLY NOTED THAT SPECIFIC CHANGES ARE BEING SUGGESTED.
9. THE STRUCTURAL DRAWINGS ARE NOT TO BE SCALED FOR DETERMINATION OF QUANTITIES, LENGTHS, OR FIT OF MATERIALS.
10. THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHODS OF CONSTRUCTION UNLESS SO STATED OR NOTED. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE WORKMEN AND OTHER PERSONS DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SHORING OF ALL STRUCTURAL WORK AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONDITION WHICH, IN HIS OPINION, MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS IN THE STRUCTURE.
12. CONSTRUCTION MATERIALS SHALL NOT BE STORED ON FLOORS IN EXCESS OF THE DESIGN LIVE LOADS WHICH ARE INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENFORCE THIS REQUIREMENT. IMPACT SHALL BE AVOIDED WHEN PLACING MATERIALS ON FLOORS OR ROOFS.

FOUNDATIONS:

1. EXCAVATION FOR FOUNDATIONS SHALL BE TAKEN TO FIRM UNDISTURBED SOIL, DRY AND FREE FROM FROST OR LOOSE MATERIALS. EXCAVATIONS SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. CONTRACTOR TO PROVIDE TEMPORARY PROTECTION AS REQUIRED FOR FOUNDATIONS EXPOSED TO WATER OR FREEZING.
2. BACK FILL BELOW GRADE SHALL BE GRANULAR, FREE DRAINING, STRUCTURALLY SOUND, FREE FROM DELETERIOUS AND ORGANIC MATERIAL. AND MEETING THE GRADATION RECOMMENDED BY THE GEOTECHNICAL ENGINEER. SUCH FILL SHALL BE PLACED IN NO MORE THAN (12) INCH THICK LIFTS, IN THE LOOSE STATE, AND COMPACTED TO NO LESS THAN 95% OF ITS MAXIMUM DRY DENSITY, AS DETERMINED BY MODIFIED PROCTOR DENSITY TEST.
3. ALL FOOTINGS MUST BE MINIMUM OF (42) INCHES BELOW FINISH GRADE.
4. A QUALIFIED SOIL TECHNICIAN SHALL PERFORM SUFFICIENT IN PLACE DENSITY TESTS DURING FILL OPERATIONS TO VERIFY THAT PROPER LEVELS OF COMPACTION ARE ATTAINED AND THE FOOTINGS ARE BEARING ON THE PROPER MATERIALS.
5. CONCRETE FOR SLAB ON GRADE SHALL BE PLACED OVER 2 INCHES CLEAN UNIFORM SAND. A CONTINUOUS 6 MIL POLYETHYLENE MOISTURE BARRIER OVER 4 INCHES LAYER OF CLEAN UNIFORM SAND, ALL SEAMS SHALL BE LAPPED 12 INCHES AND TAPED.
6. THE CONTRACTOR SHALL SUBMIT DRAWINGS SHOWING THE PROPOSED CONTROL AND CONSTRUCTION JOINTS FOR ALL AREAS FOR REVIEW PRIOR TO POURING ANY CONCRETE THIS INCLUDES WALLS, TOPPING AND SLAB ON GRADE. JOINTS IN CONCRETE FOUNDATION WALLS SHALL BE LOCATED SO THAT NO SINGLE POUR IS LONGER THAN 40 FEET. A JOINT SHALL BE LOCATED WITHIN 3'-0" FROM ANY CORNER.

CAST IN PLACE CONCRETE:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318" BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
2. ALL CONCRETE EXPOSED TO EARTH OR WEATHER SHALL HAVE 4% - 6% ENTRAINED AIR.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A-615. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, GRADE 65, AND SHALL BE SUPPLIED IN SHEETS ONLY, WELDED REINFORCEMENT SHALL CONFORM TO ASTM A706.
4. REINFORCEMENT SHALL BE FABRICATED BY THE CONTRACTOR AND ALL ACCESSORIES, CHAIRS, SPACER BARS AND SUPPORTS REQUIRED TO SECURE THE REINFORCEMENT SHALL BE FURNISHED PRIOR TO CONCRETE PLACEMENT.
5. CLASS "B" TENSION LAP SPLICES, HOOKS AND BENDS IN REINFORCING SHALL CONFORM TO ACI 318 UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
6. ALL CONCRETE SHALL BE NORMAL WEIGHT, READY MIX, AND SHALL DEVELOP MINIMUM STRENGTH AT 28 DAYS AS FOLLOWS:

FOUNDATION	3000 PSI
WALLS	3000 PSI
SLAB ON GRADE	4000 PSI
7. NO CALCIUM CHLORIDE OR ADMIXTURE CONTAINING MORE THAN 1% CHLORIDE BY WEIGHT OF ADMIXTURE SHALL BE USED IN CONCRETE.
8. ALL KEYS IN CONCRETE WALLS SHALL BE 2" X 4" UNLESS NOTED OTHERWISE.
9. PROVIDE CLEAR CONCRETE COVER TO REINFORCEMENT AS FOLLOWS:

FOOTING (AGAINST EARTH)	3"
COLUMN & PIERS (VERTICAL BARS)	2"
WALLS INTERIOR FACE	3/4"
WALLS EXTERIOR FACE #5 & SMALLER	1 1/2"
WALLS EXTERIOR FACE #6 & LARGER	2"
SLAB INTERIOR	3/4"
SLAB EXTERIOR	1 1/2"
SLAB ON GRADE	1/3 X THK FROM TOP SURFACE.
10. MAXIMUM ALLOWABLE SLUMP FOR CONCRETE SHALL NOT EXCEED 4".

WOOD:

1. ALL STRUCTURAL FRAMING SHALL BE DOUGLAS FIR-LARCH VISUALLY GRADED AS FOLLOWS:
 - 2" THICK - 4" WIDE CONSTRUCTION (Fb = 1000 PSI. E=1,600,000 PSI)
 - 2" TO 4" THICK - 5" & WIDER NO. 2 OR BETTER (Fb = 1000 PSI. E=1,600,000 PSI)
 - 5" & THICKER - 5" & WIDER NO. 1 OR BETTER (Fb = 1200 PSI. E=1,600,000 PSI)
2. PROVIDE 2X CROSS BRIDGING NOT OVER 7'-0" ON CENTER FOR ALL WOOD JOISTS WHERE DEPTH IS EQUAL TO OR MORE THAN 5 TIMES THICKNESS. AND 2x BLOCKING BETWEEN JOISTS AT SUPPORT. STANDARD GRADE LUMBER MAY BE USED FOR BRIDGING. BLOCKING AND WALL STUDS.
3. PROVIDE 2X MID HEIGHT BRIDGING BETWEEN WALL STUDS.
4. PROVIDE SOLID BLOCKING BETWEEN JOISTS UNDER ALL LOAD BEARING PARTITIONS RUNNING PERPENDICULAR TO JOISTS. PROVIDE DOUBLE JOISTS UNDER PARTITIONS RUNNING PARALLEL TO JOISTS.
5. PROVIDE WEB STIFFENERS BOTH SIDES OF TJI AT ALL SUPPORTS.
6. TIMBER CONNECTORS CALLED FOR ON THE DRAWINGS ARE AS MANUFACTURED BY THE SIMPSON COMPANY. CONNECTORS BY OTHER MANUFACTURERS MAY BE USED IF THE LOAD CAPACITY IS EQUAL TO OR GREATER THAN THE CONNECTOR SPECIFIED. USE MANUFACTURER'S FURNISHED NAILS AND BOLTS.
7. SHEATHING FOR ROOF AND WALLS SHALL BE APA GRADE TRADEMARK C-D INTERIOR WITH EXTERIOR GLUE AND SHALL CONFORM TO AMERICAN PLYWOOD ASSOCIATION STANDARD (PSI), LATEST EDITION
8. FASTEN ALL WOOD MEMBERS WITH COMMON NAILS ACCORDING TO THE BUILDING CODE.

LAMINATED VENEER LUMBER:

1. LAMINATED VENEER LUMBER CALLED OUT ON THE PLANS ARE TRADEMARK MICROLAM AS PRODUCED BY THE TRUS-JOIST CORPORATION. LAMINATED VENEER LUMBER PRODUCED BY OTHER MANUFACTURERS MAY BE USED PROVIDED THE SAME RATED STRESSES AND MEMBER SIZES EQUAL OR EXCEED THOSE SHOWN ON THE PLANS. AND PRIOR APPROVAL IS GIVEN BY THE ENGINEER.
2. ALL LAMINATED VENEER LUMBER SHALL BE DESIGNED AND MANUFACTURED TO THE STANDARDS SET FORTH IN THE NER-126 REPORT.
3. ALL VENEERS SHALL BE DOUGLAS-FIR OF 1/10" OR 1/8" THICKNESS AND SHALL BE LAMINATED IN A CONTINUOUS PRESS WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER.
4. ALLOWABLE UNIT STRESSES REQUIRED OR DRY CONDITIONS OF USE FOR VENEER LAMINATED LUMBER SHALL BE AS FOLLOWS:

BENDING	2600 PSI
COMPRESSION PARALLEL TO GRAIN	2460 PSI
HORIZONTAL SHEAR	285 PSI
COMPRESSION PERPENDICULAR TO GRAIN	750 PSI
5. LAMINATED VENEER LUMBER MEMBER SIZES SHOWN ARE NET; OTHER MEMBER SIZES ARE NOMINAL.
6. LEAD HOLES FOR LAG SCREWS SHALL BE BORED AS FOLLOWS:

A) THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK. AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF UNTHREADED SHANK.

B) THE LEAD HOLE FOR THE THREADED PORTION SHALL HAVE A DIAMETER EQUAL 60% TO 75% OF THE SHANK DIAMETER AND A LENGTH EQUAL TO AT LEAST THE LENGTH OF THE THREADED PORTION. THE LARGER PERCENTILE IN EACH RANGE SHALL APPLY TO LAG SCREWS OF GREATER DIAMETERS.

PROJECT NAME:

ALEXANDRA CASABIANCA

1362 HUNTINGTON TPKE
TRUMBULL, CT 06611

DRAWING TITLE:

PROPOSED 3D PERSPECTIVES
EXISTING 3D PERSPECTIVES

GENERAL NOTES:

NGY DESIGN INC.

ALINA KATAGANOVA
RASUL DOKSHOROV



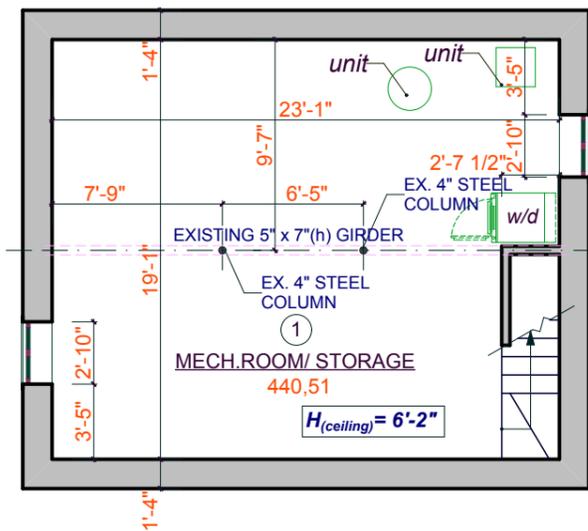
SHEET:

R 1.0

FLOOR	ID	DIM.	FLOOR AREA (sq.f.)
EXISTING HOUSE			
BASEMENT			
MECH.ROOM/ STORAGE	①		440,51
SUB TOTAL			440,51

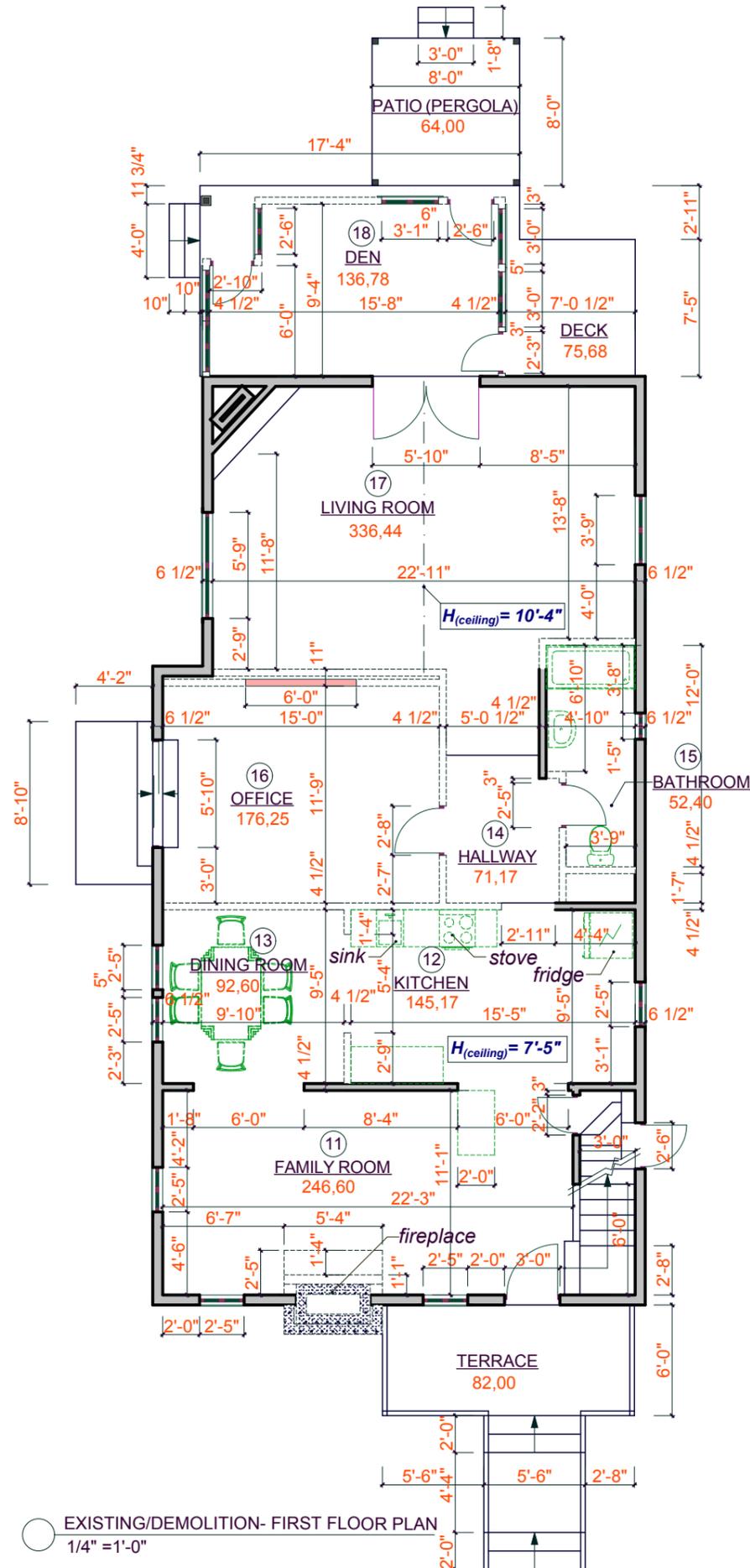
FIRST FLOOR PLAN			
DECK			75,68
PATIO (PERGOLA)			64,00
TERRACE			82,00
FAMILY ROOM	⑪	11'-1" x 22'-3"	246,60
KITCHEN	⑫	15'-5" x 9'-5"	145,17
DINING ROOM	⑬	9'-10" x 9'-10"	92,60
HALLWAY	⑭		71,17
BATHROOM	⑮		52,40
OFFICE	⑯		176,25
LIVING ROOM	⑰		336,44
DEN	⑱		136,78
SUB TOTAL			1257,41

SECOND FLOOR PLAN			
MASTER BEDROOM	⑳		326,58
CLOSET	㉑		18,18
BATHROOM	㉒		54,00
SUB TOTAL			398,76

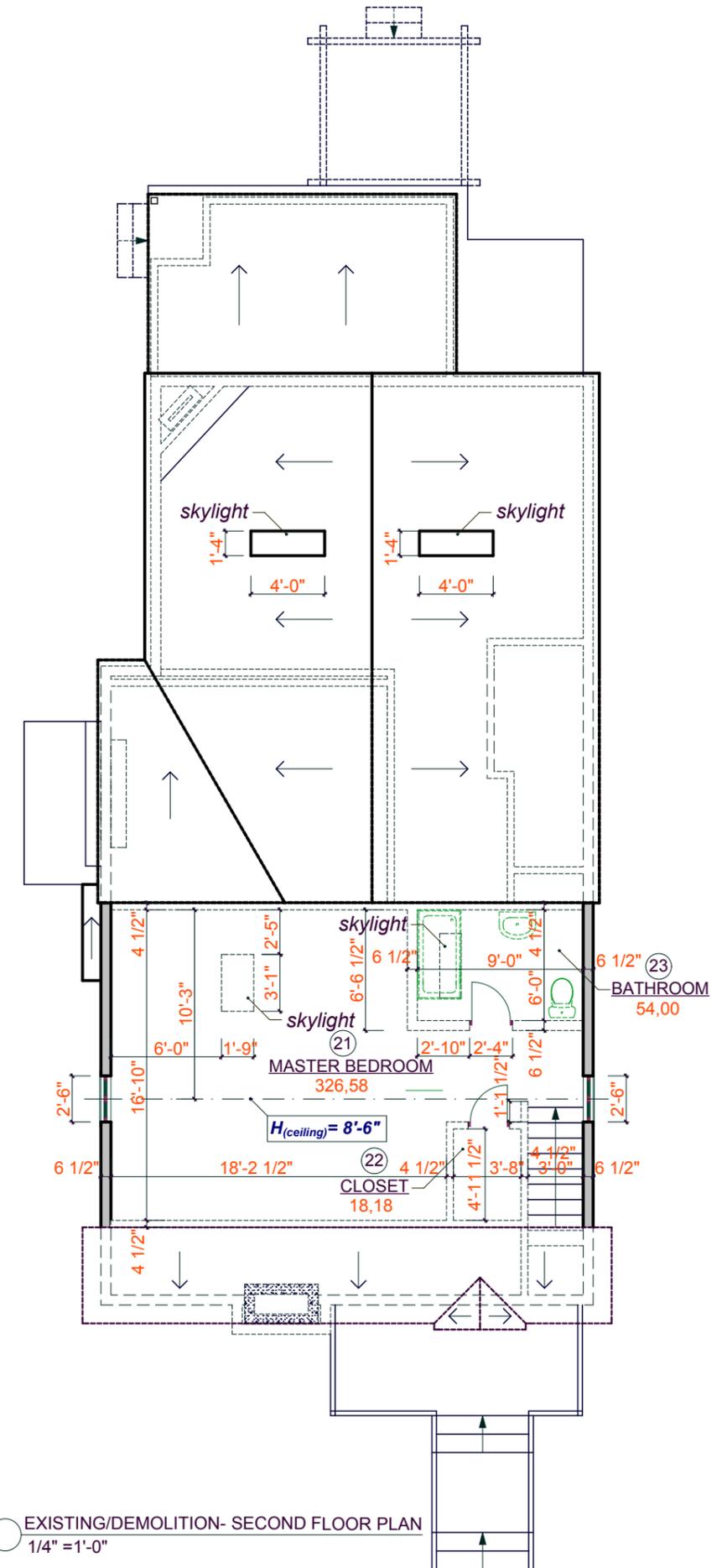


○ EXISTING/DEMOLITION- BASEMENT
1/4" = 1'-0"

LEGEND:	
	-EXISTING TO REMAIN
	-EXISTING TO BE REMOVED

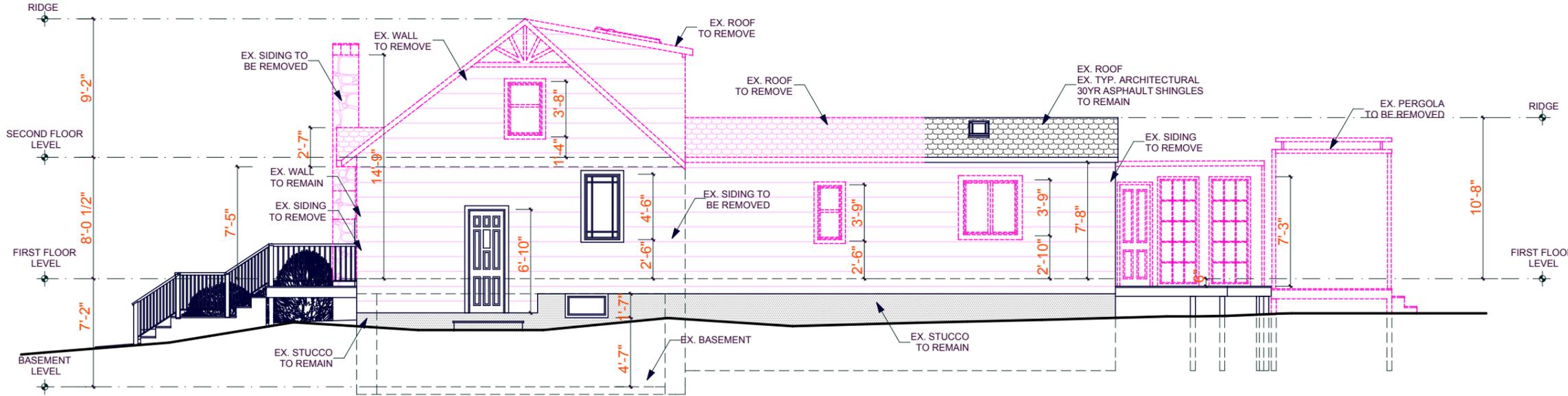
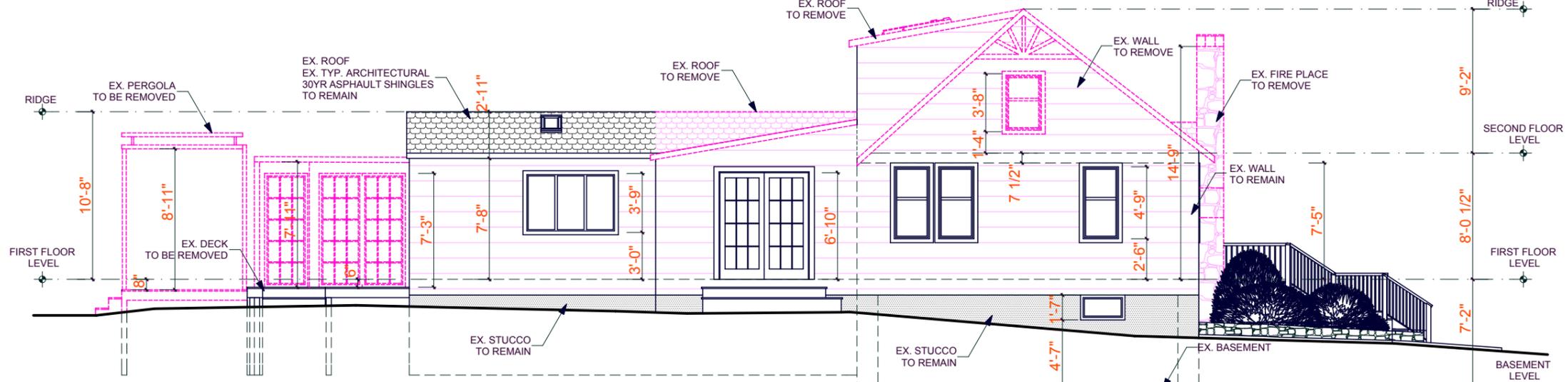


○ EXISTING/DEMOLITION- FIRST FLOOR PLAN
1/4" = 1'-0"



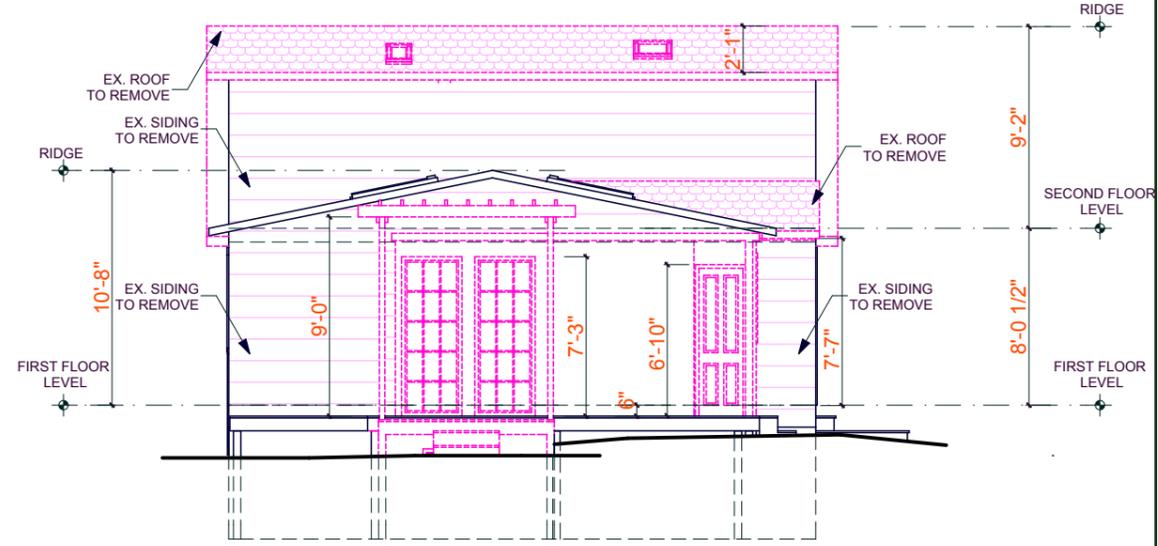
○ EXISTING/DEMOLITION- SECOND FLOOR PLAN
1/4" = 1'-0"

PROJECT NAME: ALEXANDRA CASABIANCA	DRAWING TITLE: EXISTING/DEMOLITION- BASEMENT FIRST FLOOR PLAN SECOND FLOOR PLAN	NOTES:	DATE: 08.31.2020		SHEET: A 1.0
1362 HUNTINGTON TPKE TRUMBULL, CT 06611			SCALE: 1/4"=1'-0"		
			DRAWN BY: As Noted ALINA KATAGANOVA RASUL DOKSHOROV		



LEGEND:

	-EXISTING TO REMAIN
	-EXISTING TO BE REMOVED
	-EXISTING TO BE REMOVED
	-EXISTING TO REMAIN
	-EXISTING TO BE REMOVED

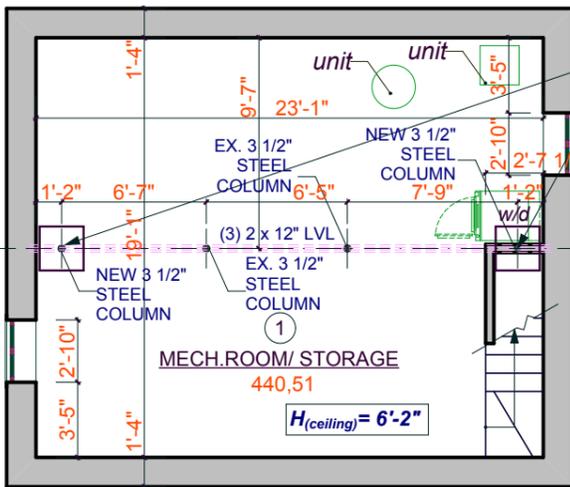


PROJECT NAME: ALEXANDRA CASABIANCA	DRAWING TITLE: EXISTING/DEMOLITION- FRONT ELEVATION REAR ELEVATION RIGHT ELEVATION LEFT ELEVATION	NOTES:	DATE: 08.31.2020		SHEET: A 1.1
1362 HUNTINGTON TPKE TRUMBULL, CT 06611			SCALE: 1/4"=1'-0"		
			DRAWN BY: As Noted ALINA KATAGANOVA RASUL DOKSHOROV		

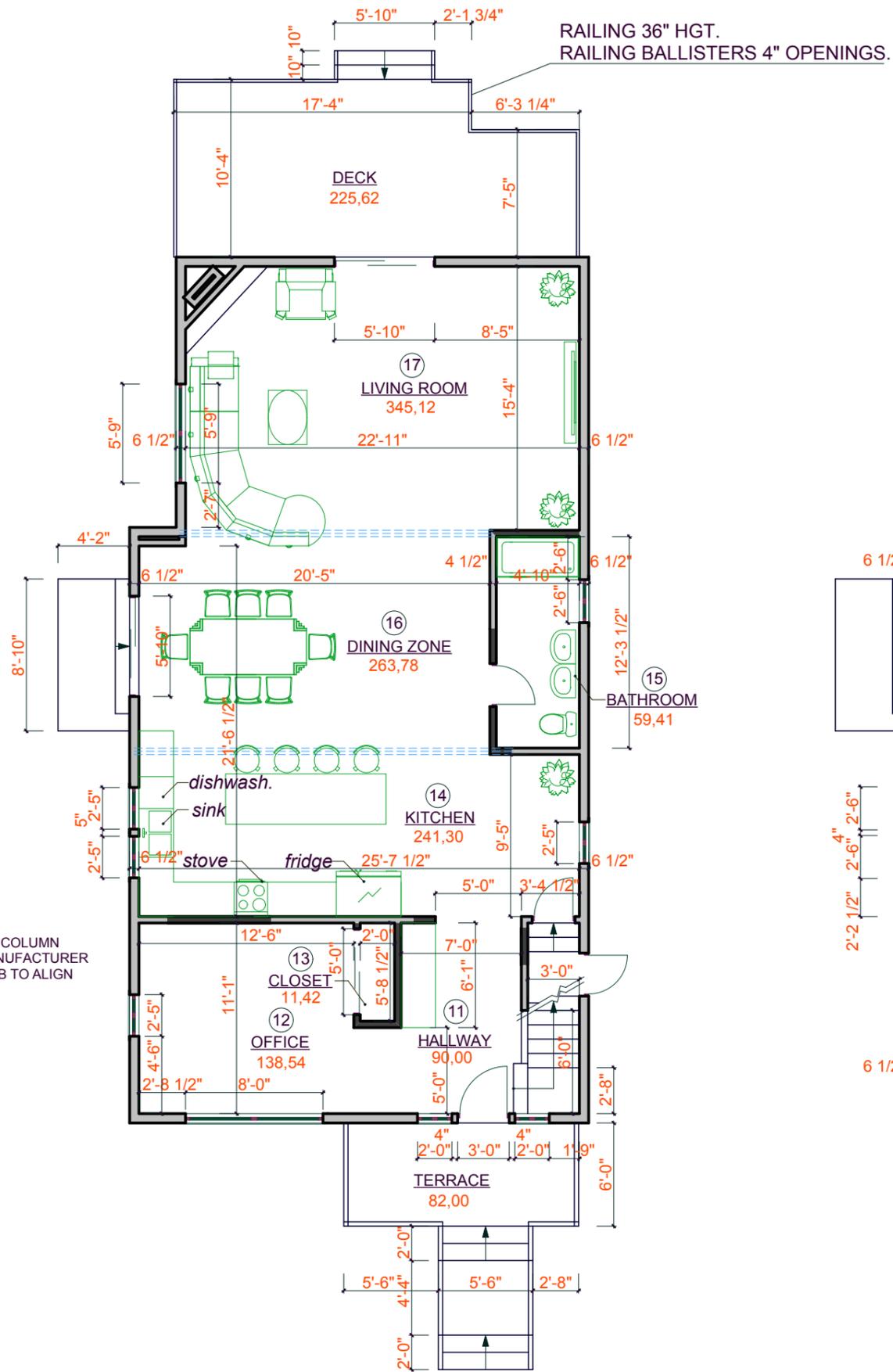
FLOOR	ID	DIM.	FLOOR AREA (sq.f.)
PROPOSED HOUSE			
BASEMENT			
MECH.ROOM/ STORAGE	①		440,51
SUB TOTAL			440,51

FIRST FLOOR PLAN			
DECK			225,62
TERRACE			82,00
HALLWAY	⑪		90,00
OFFICE	⑫	11'-1" x 12'-6"	138,54
CLOSET	⑬	5'-8 1/2" x 2'-0"	11,42
KITCHEN	⑭	25'-7 1/2" x 9'-5"	241,30
BATHROOM	⑮	12'-3 1/2" x 4'-10"	59,41
DINING ZONE	⑯		263,78
LIVING ROOM	⑰		345,12
SUB TOTAL			1149,57

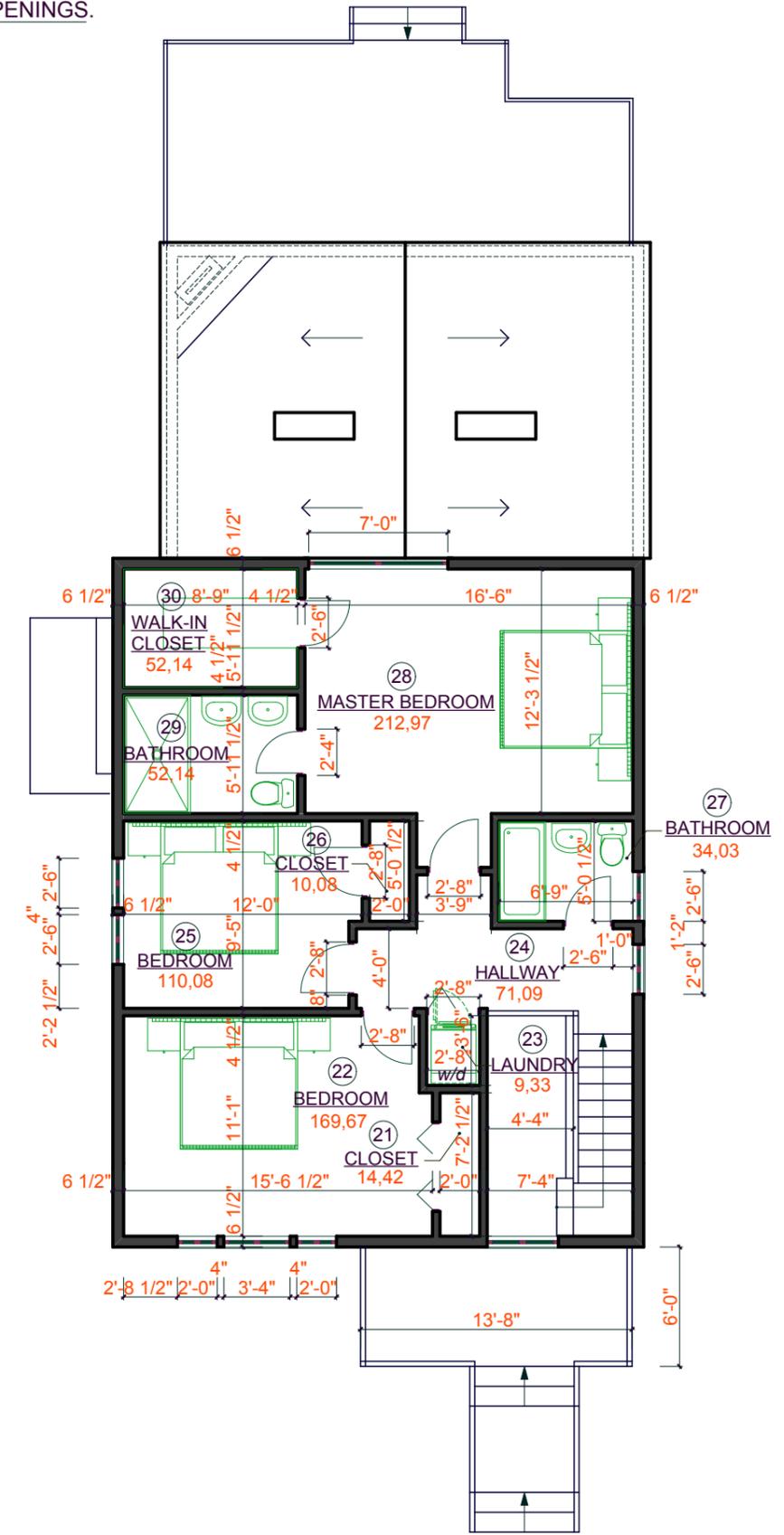
SECOND FLOOR PLAN			
CLOSET	⑳	7'-2 1/2" x 2'-0"	14,42
BEDROOM	㉑		169,67
LAUNDRY	㉒	2'-8" x 3'-6"	9,33
HALLWAY	㉓		71,09
BEDROOM	㉔		110,08
CLOSET	㉕	5'-0 1/2" x 2'-0"	10,08
BATHROOM	㉖	5'-0 1/2" x 6'-9"	34,03
MASTER BEDROOM	㉗	12'-3 1/2" x 16'-6"	212,97
BATHROOM	㉘	8'-9" x 5'-11 1/2"	52,14
WALK-IN CLOSET	㉙	8'-9" x 5'-11 1/2"	52,14
SUB TOTAL			735,95



TYP. 3 1/2" DIA. STEEL COLUMN
 SCHEDULE 40 PPE MANUFACTURER
 WITH ASTM 53 GARDE B TO ALIGN
 WITH POST ABOVE
 TYP.
 PROVIDE FOOTING
 UNDER COLUMN
 2'-0 x 2'-0 x 1'-0
 # 5 @ 12" O.C.
 3" FROM BOTTOM



PROPOSED- FIRST FLOOR PLAN



PROPOSED- SECOND FLOOR PLAN

PROPOSED- BASEMENT
 1/4" = 1'-0"

LEGEND:	
	-EXISTING TO REMAIN
	-NEW WALLS

PROJECT NAME: ALEXANDRA CASABIANCA 1362 HUNTINGTON TPKE TRUMBULL, CT 06611	DRAWING TITLE: PROPOSED- BASEMENT FIRST FLOOR PLAN SECOND FLOOR PLAN	NOTES: 1. ALL DIMENSIONS TO BE FROM STUD FRAMING, UNLESS OTHERWISE NOTED 2. ALL NEW PARTITIONS TO BE 2x4 WOOD STUDS, UNLESS OTHERWISE NOTED 3. ALL NEW EXTERIOR WALLS TO BE 2x6 WOOD STUDS, UNLESS OTHERWISE NOTED	DATE: 08.31.2020 SCALE: 1/4"=1'-0" DRAWN BY: As Noted ALINA KATAGANOVA RASUL DOKSHOROV	 SHEET: A 2.0
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1362 Huntington Turnpike
Trombull, Connecticut
Google
Street View



Google



1351 Huntington Turnpike

Trumbull, Connecticut

Google

Street View



Google

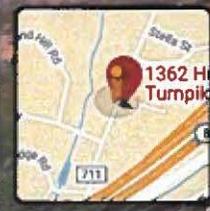
© 2017 Google. All rights reserved. Street View

1370 Huntington Turnpike

Trumbull, Connecticut



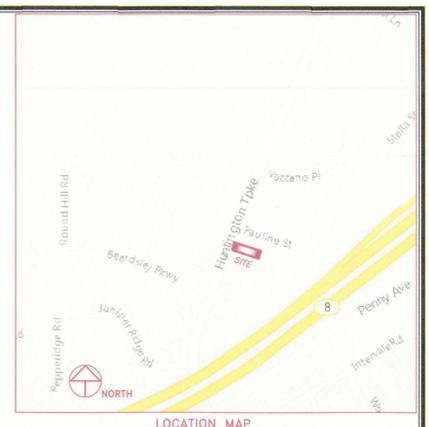
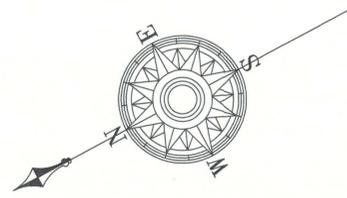
Street View



Google

STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED		EXISTING CONDITIONS				PROPOSED		AS-BUILT	
	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor
Minimum Lot Area (Sq. Ft.)	43,560		8,343 ± SF							
Minimum Lot Frontage (Ft.)	150'		54.00'							
Minimum Floor Area (Sq. Ft.)	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor	1st Floor	2nd Floor
1 Story	1400	---	1450 SF	N/A						
1 1/2 Story	1150	500	N/A	N/A						
2 Story	1000	800	N/A	N/A						
Maximum Height for a Building or Structure	35'		16.6'							
Minimum Front Yard (Ft.)	50'		49.5'							
Minimum Side Yard (Ft.)	20'		4.6'							
Minimum Rear Yard (Ft.)	50'		43.5'							
Maximum Lot Coverage	---		---							

BUILDING ZONE: AA



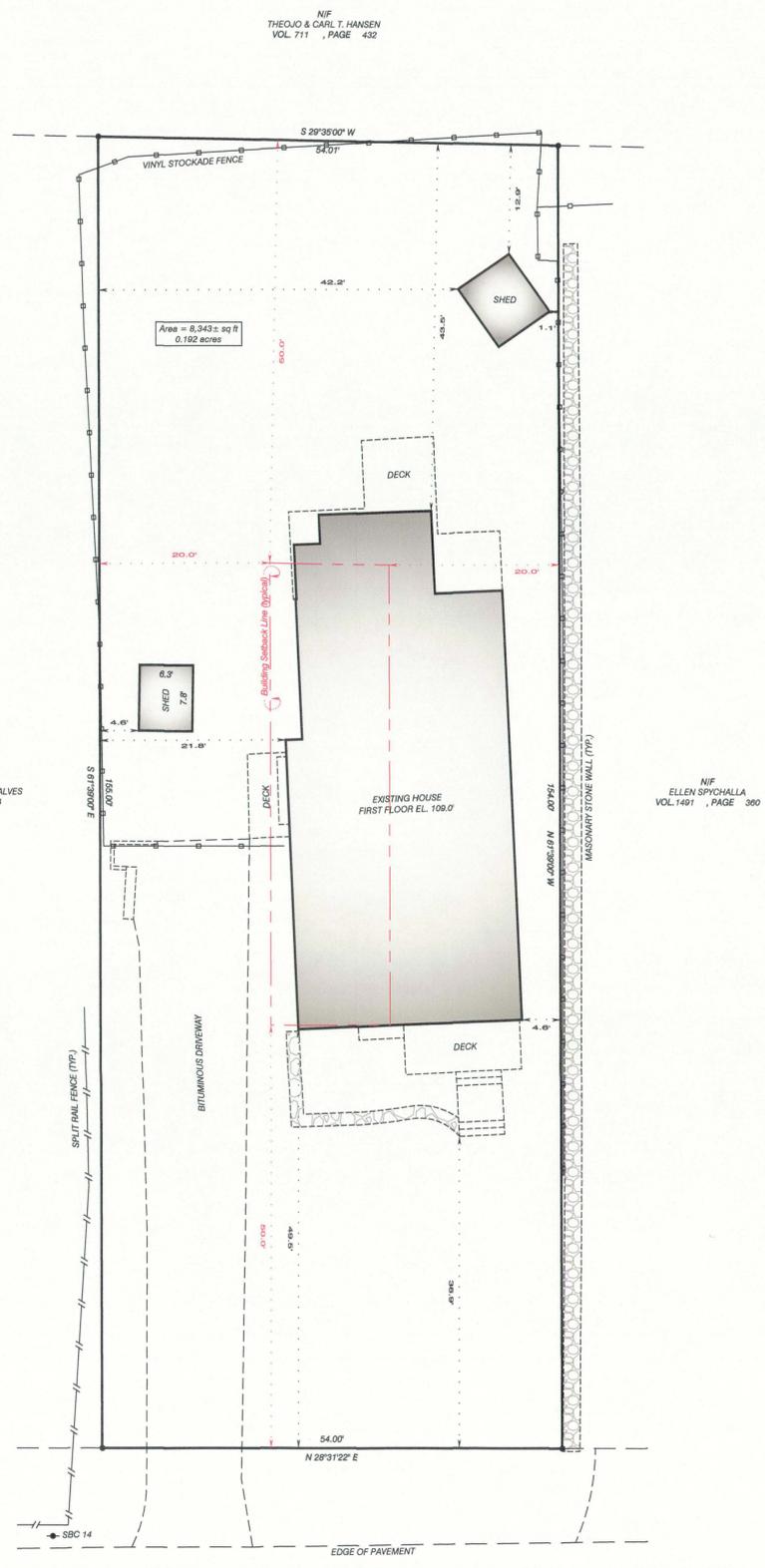
LOCATION MAP
(Approx. Scale: 1"=500')

GENERAL NOTES:

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.

MAP REFERENCES:

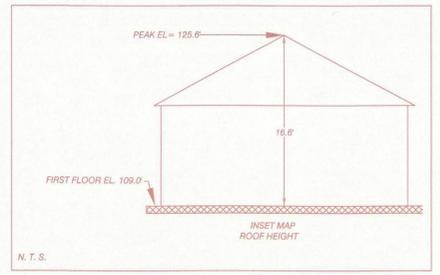
- RECORD MAP #91.
- RECORD MAP #281.
- CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF TRUMBULL "HUNTINGTON TURNPIKE FROM THE BRIDGEPORT TOWNSHIP NO. EASTERLY TO NICHOLS AVENUE ROUTE NO. 65. DATED DEC. 31, 1936. SCALE 1"=40'.



NIF
LINDOMAR DE AMORIM GONCALVES
VOL. 1788 , PAGE 806

NIF
ELLEN SPICHALLA
VOL. 1491 , PAGE 380

HUNTINGTON TURNPIKE



<p>LAND SURVEYING SERVICES, LLC 135 FAIRCHILD AVENUE FAIRFIELD, CONNECTICUT 06825 TEL. (203) 522-4177 FAX. (203) 615-0123 EMAIL: info@nealjain.com</p>	<p>TITLE BLOCK ASSESSORS MAP # J111 , PARCEL # 00028 APPLICANT: SAME AS OWNER</p>	<p>IMPROVEMENT LOCATION SURVEY PREPARED FOR CASABIANCA LLC 1362 HUNTINGTON TURNPIKE, TRUMBULL, CONNECTICUT</p>
	<p>DATE: DESCRIPTION REVISIONS</p>	<p>SCALE: 1"= 10' DATE: SEP. 08, 2020</p>

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)
 Lot frontage

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested: II 1.3.5

ARTICLE(S) III (Exhibit) SECTION(S) _____ PARAGRAPH(S) _____

SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

See Attached

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: See Attached

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

See Attached



Colin B. Connor
 Elizabeth A. Falkoff*
 Robert G. Golger
 Michael C. Jankovsky
 David K. Kurata
 Katherine M. Macol
 Leah M. Parisi
 William M. Petroccio*
 Raymond Rizio*
 Christopher B. Russo
 Robert D. Russo
 John J. Ryan
 Vanessa H. Wambolt
 (*Also Admitted in NY)

July 15, 2020

Doug Wenz
 Zoning Enforcement Officer
 Planning & Zoning Department
 5866 Main Street
 Trumbull, CT 06611

Re: ZBA Application for property located at 15 Elberta Avenue

Dear Mr. Wenz:

Please accept the following revised responses as part of the variance application to the Trumbull Zoning Board of Appeals for the property located at 15 Elberta Avenue (the "Site") in the Residence A Zone:

Section of Zoning Regulation for Variance and Description of Proposal

1. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Trumbull Zoning Regulations ("Zoning Regulations") to reduce the minimum lot size from 21,780 SF to 7,086 SF for proposed Lot "A";
2. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot size from 21,780 SF to 7,141 SF for proposed Lot "B";
3. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 50' for both proposed Lots "A" & "B";
4. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum front yard from 50' to 28.5' for both proposed Lots "A" & "B";
5. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum side yard from 20' to 10.5' on one side setback and 11.2' on the other side setback for both proposed Lots "A" & "B";

1 Post Road
 Fairfield, CT 06824

Tel 203-255-9928
 Fax 203-255-6618

6. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to increase the maximum floor area ratio from 0.29 to 0.378 for proposed Lot "A"; and
7. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to increase the maximum floor area ratio from 0.29 to 0.376 for proposed Lot "B".

Proposed Development

The Applicant proposes to subdivide the Site into two (2) building lots within the Residence A Zone. The Site currently contains an existing single-family dwelling, which will be demolished, and the Applicant proposes to construct a new two-story, single-family dwelling on each of the proposed lots. Each dwelling will contain Four (4) bedrooms and Three (3) full baths. The construction will mirror the abutting dwelling constructed at 11 Elberta Avenue, where the Applicant resides. The Applicant is locating the proposed dwellings further from the street than the existing dwelling to bring the Site into greater conformity and also to match the street line setbacks of abutting dwellings to create a uniform setback on the block. The proposed side yard and rear setbacks are in conformity with the neighborhood, which features a number of lots of similar lot area. However, the Site is unique in that it abuts a large-scale assisted living community at Middlebrook Farms to its rear. In addition, the proposed floor area of the dwellings at slightly under 2,800 S.F. is in keeping with the character of the neighborhood and it is certainly reasonable.

Hardship

Granting the Applicant said variances will not substantially affect the comprehensive zoning plan of the Town of Trumbull and adherence to the strict letter of the Trumbull Zoning Regulations will cause an unusual hardship to the Applicant as the Applicant is proposing to subdivide the Site into two (2) lots, which are in conformity with lots on Elberta Avenue and to construct single-family dwellings, which are also in conformity with the setback location and size of other dwellings on Elberta Avenue. In fact, the Applicant proposes to construct dwellings, which are more conforming as to street line setback than the existing dwelling, which is by far the most dilapidated dwelling on the street. Its demolition will be an immediate approval to the neighborhood. The abutting properties on the south side of Elberta Avenue, as well as many other lots on the street, have the exact same lot dimensions as the proposed lots. The new construction dwelling will continue the recent trend of new construction on Elberta Avenue, which will increase property values on the street. The proposed dwellings will also be located in the center of the lots for a more even and standard buffer than many of the lots on Elberta Avenue, which tend to have dwellings very close to one side property line.

The Applicant has made revisions to the plans originally submitted with the Application to reduce or eliminate a number of variances. First, the Applicant increased the minimum front yard from 27.1' to 28.5'. The original proposed front yard was greater than the existing front yard on the Site and in conformity with the neighborhood and the currently proposed front yard only increases from that benefit further. It is also important to note that the Applicant proposes a minimum front yard of 28.5' from the street property line to the proposed steps to the dwelling, but the actual distance from the street property line to the actual dwelling is 32.1'. Similarly, the Applicant now proposes to increase the side property line setback for both proposed lots on one side properties from 10.3' to 10.5' and on the other side from 10.3' to 11.2', which will create further separation between the dwellings in greater conformity than most of the neighborhood.

Further, the revised plans submitted by the Applicant, through a reduction of the proposed dwellings, eliminated the necessity for a minimum rear yard setback for both proposed lots. It also reduced the variance for maximum floor ratio from 0.406 to 0.378 for proposed Lot "A" and from 0.403 to 0.376 for proposed Lot "B". Again, the original plans were in conformity with the neighborhood, but the proposed development of the dwellings is now in greater conformity with the Regulations as well.

For the reasons stated above, the Applicant respectfully requests approval for the stated variances at the Site.

Sincerely,



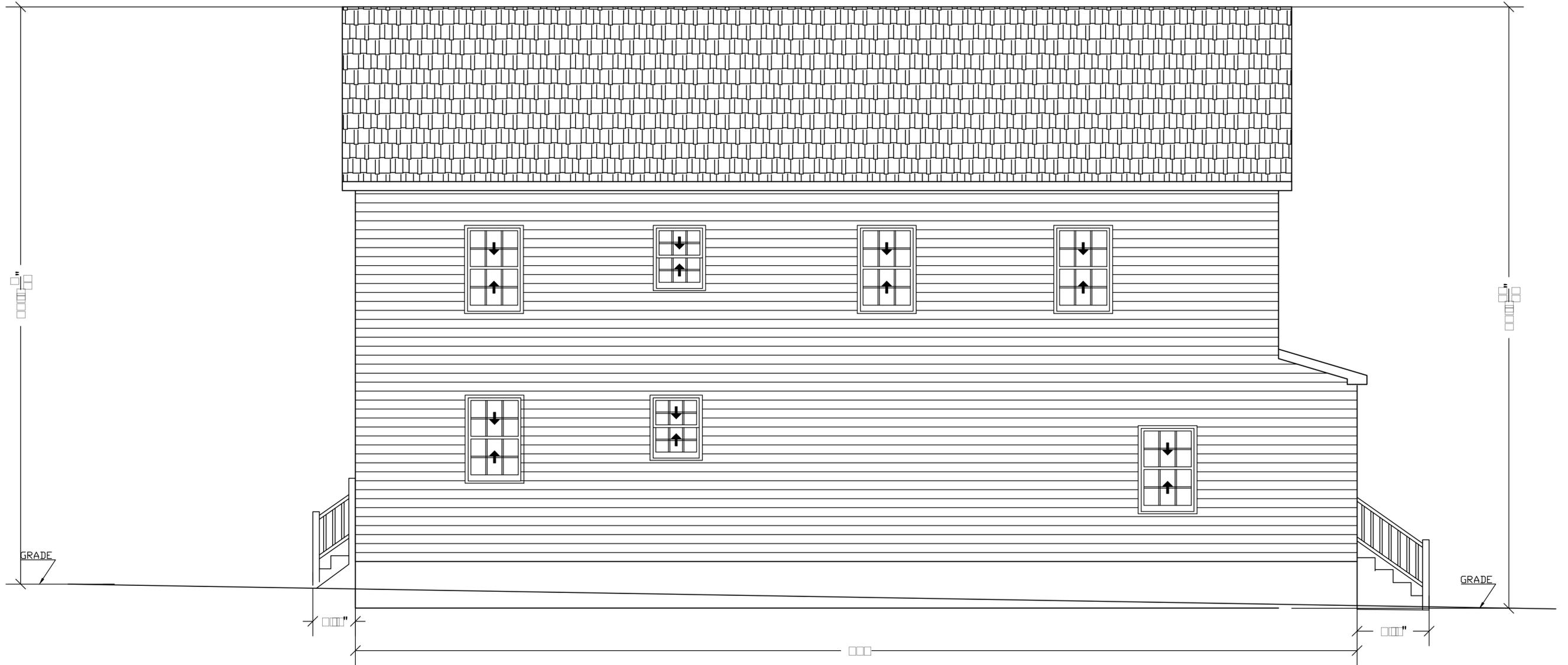
Raymond Rizio

Proprety Owners within 150' of 15 Elberta Avenue

Location	Owner	Co-Owner	Mailing Address	City	State	Zip Code
2770 RESERVOIR AVENUE	WHEELER PETER T		2770 RESERVOIR AVENUE	TRUMBULL	CT	06611
2790 RESERVOIR AVENUE	MONTINI AURORA		2790 RESERVOIR AVE	TRUMBULL	CT	06611
9 ELBERTA AVENUE	FRANKLIN KEVIN G	FRANKLIN NOREEN B	9 ELBERTA AVENUE	TRUMBULL	CT	06611
11 ELBERTA AVENUE	BURZYNSKI DANIEL J		11 ELBERTA AVE	TRUMBULL	CT	06611
2750 RESERVOIR AVENUE	KRE-BSL HUSKY TRUMBULL LLC	C/O BENCHMARK SENIOR LIVING	201 JONES RD 3RD FL W	WALTHAM	MA	2451
8 ELBERTA AVENUE	HATCH JOHN A		1118 CLEARVIEW PARKWAY	METARIE	LA	70001
15 ELBERTA AVENUE	BEGIN MATHIEU P		15 ELBERTA AVENUE	TRUMBULL	CT	06611
17 ELBERTA AVENUE	KITCHENER CHRISTOPHER EST	C/O RICHARD KITCHENER EXECUTOR	614 MOOSE HILL RD	MONROE	CT	06468
19 ELBERTA AVENUE	BARBERO JAY J &	BARBERO JUDY L	19 ELBERTA AVE	TRUMBULL	CT	06611
2840 RESERVOIR AVENUE	PEREZ MIGUEL & JESSICA		2840 RESERVOIR AVENUE	TRUMBULL	CT	06611
10 ELBERTA AVENUE	ELEFThERIADIS MARGARET & SAVVAS		10 ELBERTA AVENUE	TRUMBULL	CT	06611
16 ELBERTA AVENUE	TUCKER IRENAEUS N &	PIETRYKA SARAH E	16 ELBERTA AVE	TRUMBULL	CT	06611
18 ELBERTA AVENUE	FAN TINGTING		18 ELBERTA AVENUE	TRUMBULL	CT	06611
22 ELBERTA AVENUE	ANNIS JENIFER L & ERIC R		22 ELBERTA AVENUE	TRUMBULL	CT	06611



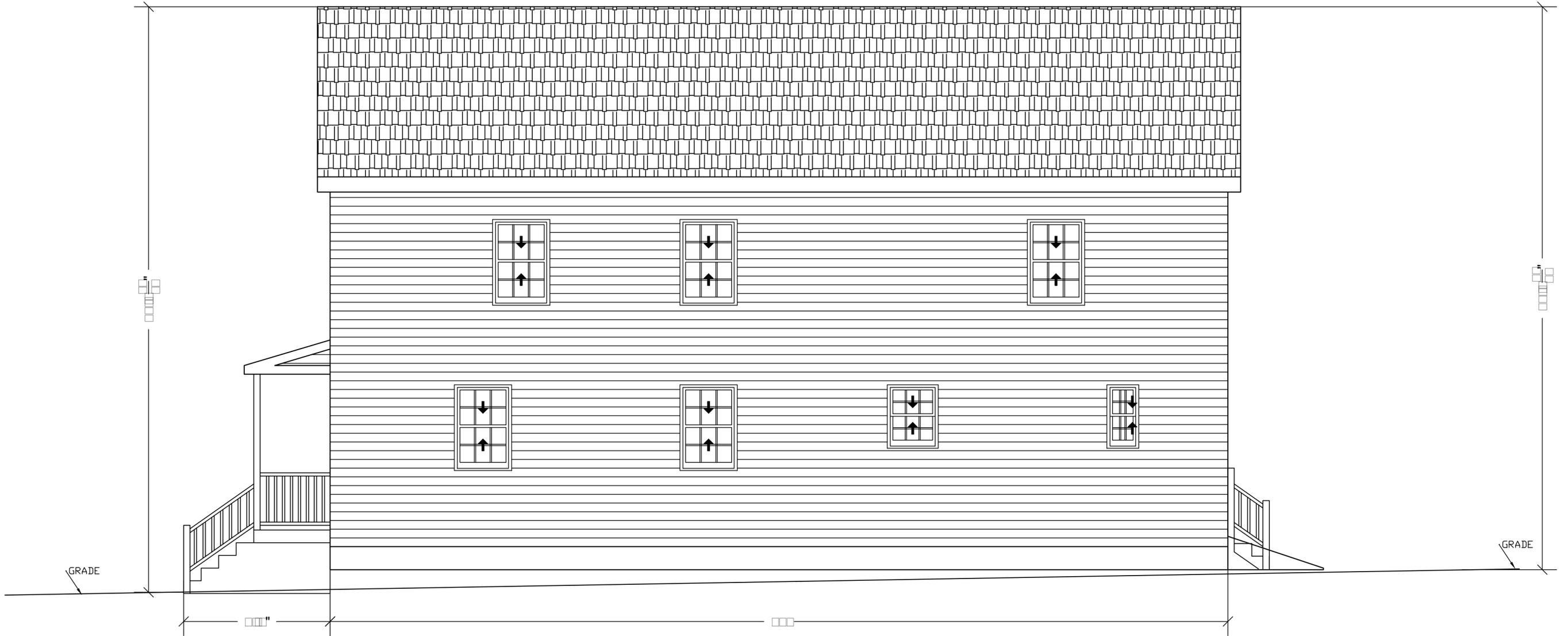
PROPOSED FRONT
ELEVATION
15 ELBERTA AVE.
TRUMBULL CT



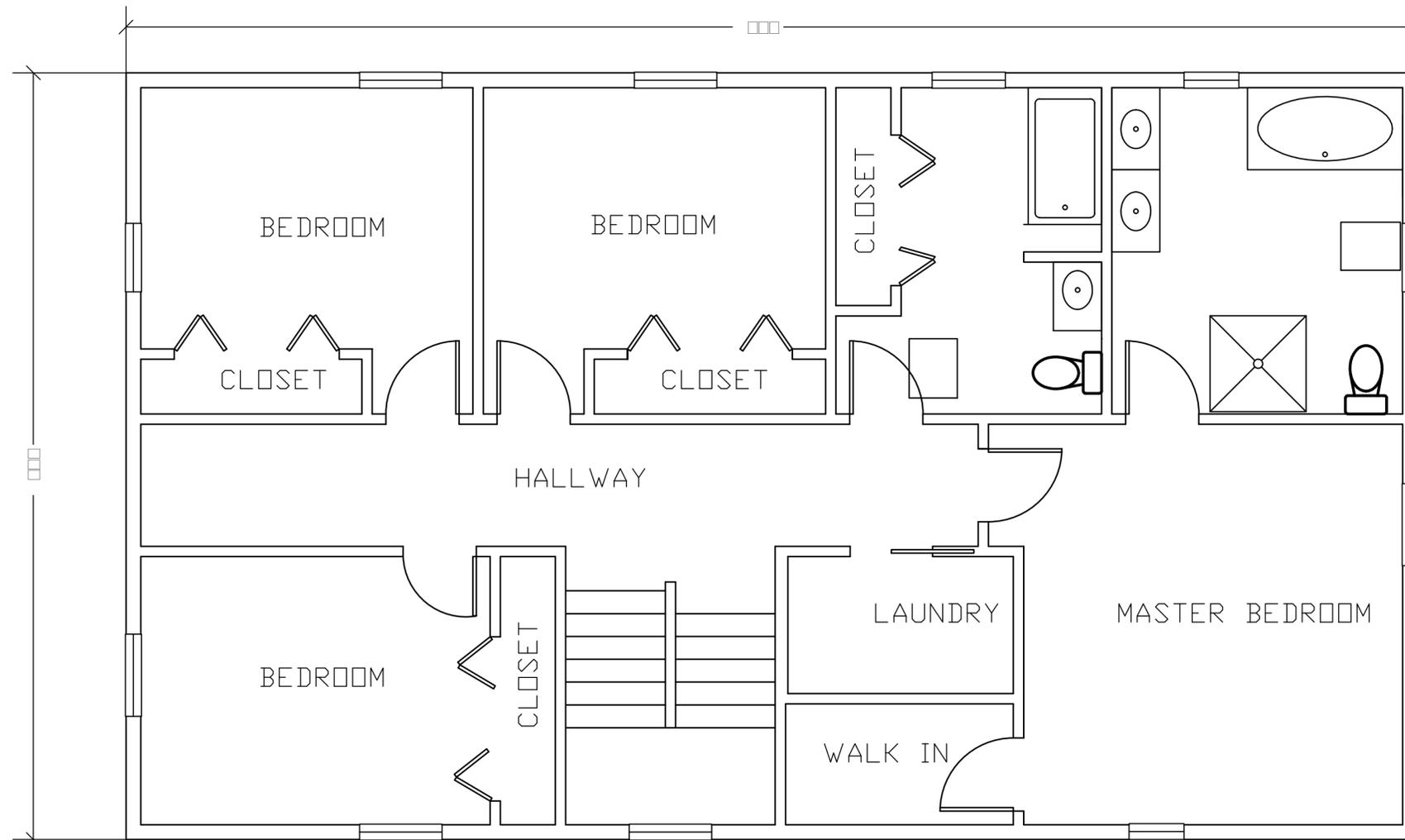
PROPOSED SIDE
ELEVATION
15 ELBERTA AVE.
TRUMBULL CT



PROPOSED REAR
ELEVATION
15 ELBERTA AVE.
TRUMBULL CT



PROPOSED SIDE
ELEVATION
15 ELBERTA AVE.
TRUMBULL CT



PROPOSED SECOND FLOOR
15 ELBERTA AVE.
TRUMBULL CT

October 1, 2020

Zoning Board of Appeals Application to Split Lot

TO: ZBA Commission

RE: Lot Split

Application #20-30

On upcoming agenda I see the owner(s) of 15 Elberta Ave have applied to split their small lot into two parcels, requiring 6 variances for one lot and 7 variances for the second, of Town Zoning regulations..

Two areas specifically cited within Statutes, with respect to Waivers and Zoning Boards of Appeal

- 1) Waivers are only granted in cases where the hardship has been imposed by conditions outside the property owner's control
- 2) Financial considerations do not constitute a legal hardship that would warrant a variance.

The property owner(s) are aware of existing zoning regulations and have created an artificial hardship by attempting to split their existing lot for purely financial gain. An area cited specifically for which a waiver shall not be granted.

I am against this application and urge you to deny this application and any others that come before you similar in nature..

Thank you.
Tracy Vonick
155 Killian Ave
Trumbull

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ROGER KERGARAVAT
89 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

PETER & LAURA YARUSAVAGE
80 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

MARILYN MCCARTHY
86 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

RALPH BERSHEFSKY
88 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CHRIS & ALEXANDRA
98 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

SARAH TURECHEK
108 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

DAVID & SARA FOWLER
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

PATRICIA CORDA
124 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CHRIS & ANNE TRACEY
82 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ERIN DAMATO
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

DANIELLE MCCAIN
72 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CAROL & NELSON LADUE
78 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JEFF LUND
81 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

KYLE & LAURA MARSDEN KISH
87 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JOE CUNEO
101 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

FRANK & PATRICIA LAPEGNA
84 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

SPIRO & MICHAEL MALISORY
114 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ELIZABETH IRWIN
124 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CLAUDIA MONTOYA
125 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

KATHLEEN RICHARSON
127 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

COREY OSOBA
134 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

TIMOTHY KILLIAN
142 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JASON FRANGENES
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

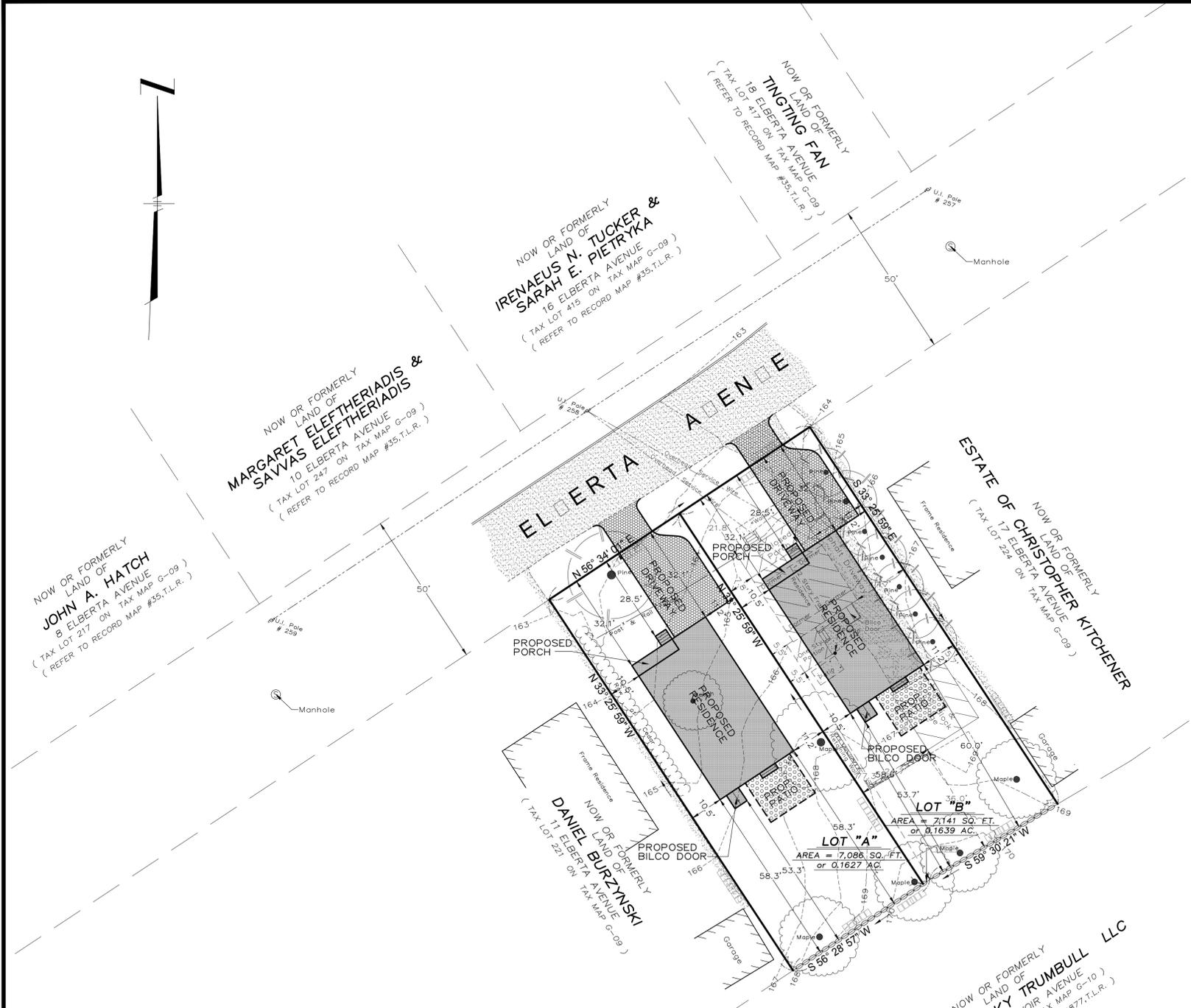
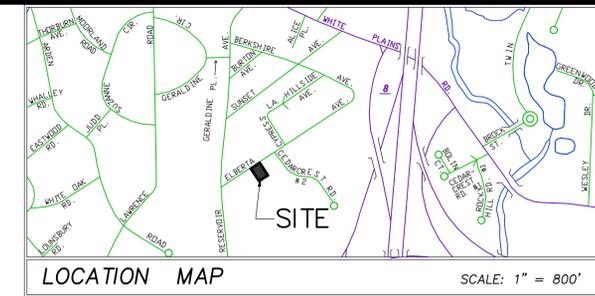
TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

HILARY MAYO
144 KILLIAN AVENUE



LOT "A"

STANDARDS FOR RESIDENCE A ZONE	REQUIREMENTS MAX. / MIN.	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
MINIMUM LOT SIZE	0.50 AC. 21,780 SQ. FT.	0.1627 AC. 7,086 SQ. FT.	0.1627 AC. 7,086 SQ. FT.	
MINIMUM ROAD FRONTAGE (feet)	150	50'	50'	
MINIMUM FLOOR AREA (square feet)				
1 Story	1 st Floor 1200	-	-	
1.5 Story	1 st Floor 900	-	-	
	2 nd Floor 500	-	-	
2 Story	1 st Floor 900	-	1,366.3	
	2 nd Floor 800	-	1,316.0	
MAXIMUM BUILDING HEIGHT (feet)	40'(g)	-	27±	
MINIMUM YARDS (feet in depth)				
Front	50'	-	32.1' To Res 28.5' To Steps	
Side	20'	-	10.5'	
Rear	50'	-	53.3'	
MAXIMUM BUILDING COVERAGE	25 %	-	21.11 %	
MAXIMUM FLOOR AREA RATIO	.29 Principal Building	-	0.378	

a) Also applies to pre-existing nonconforming residence uses except as otherwise specifically provided in these regulations.
 b) Frontage requirement applies to entire area zoned Planned Residential Conservation Zone (PRCZ).
 c) No principal building within the PRCZ shall be within fifty (50') feet of a boundary line of a PRCZ. The front setback in PRCZ is the distance measured from the closest part of the building located to the edge of the pavement.
 d) The maximum building coverage shall be (15%) percent of the land located in the PRCZ.
 e) To be specified by the Planning and Zoning Commission under Article II, Section 3. (Effective 3/4/60).
 f) May be increased to 45 feet walk-out basements. See Article II, Section 3.1.8. July 25, 2008.
 g) See Section 3.3 of this Article II.

PROPOSED BUILDING COVERAGE:
 RESIDENCE, STEPS, BILCO & PORCH 1,496.2 SQ. FT. = 21.11 %
 PROPOSED LOT COVERAGE:
 TOTAL PROPOSED BUILDING COVERAGE 1,496.2 SQ. FT.
 DRIVEWAY 628 SQ. FT.
 TOTAL PROPOSED LOT COVERAGE 2,124.2 SQ. FT. = 29.98 %

LOT "B"

STANDARDS FOR RESIDENCE A ZONE	REQUIREMENTS MAX. / MIN.	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
MINIMUM LOT SIZE	0.50 AC. 21,780 SQ. FT.	0.1639 AC. 7,141 SQ. FT.	0.1639 AC. 7,141 SQ. FT.	
MINIMUM ROAD FRONTAGE (feet)	150	50'	50'	
MINIMUM FLOOR AREA (square feet)				
1 Story	1 st Floor 1200	-	-	
1.5 Story	1 st Floor 900	905.9	-	
	2 nd Floor 500	420.7	-	
2 Story	1 st Floor 900	-	1,366.3	
	2 nd Floor 800	-	1,316.0	
MAXIMUM BUILDING HEIGHT (feet)	40'(g)	18.16	18.16	
MINIMUM YARDS (feet in depth)				
Front	50'	21.8'	32.1' To Res 28.5' To Steps	
Side	20'	5.5'	10.5'	
Rear	50'	77.3'	53.7'	
MAXIMUM BUILDING COVERAGE	25 %	19.23 %	20.95 %	
MAXIMUM FLOOR AREA RATIO	.29 Principal Building	0.186	0.376	

a) Also applies to pre-existing nonconforming residence uses except as otherwise specifically provided in these regulations.
 b) Frontage requirement applies to entire area zoned Planned Residential Conservation Zone (PRCZ).
 c) No principal building within the PRCZ shall be within fifty (50') feet of a boundary line of a PRCZ. The front setback in PRCZ is the distance measured from the closest part of the building located to the edge of the pavement.
 d) The maximum building coverage shall be (15%) percent of the land located in the PRCZ.
 e) To be specified by the Planning and Zoning Commission under Article II, Section 3. (Effective 3/4/60).
 f) May be increased to 45 feet walk-out basements. See Article II, Section 3.1.8. July 25, 2008.
 g) See Section 3.3 of this Article II.

EXISTING BUILDING COVERAGE:
 RESIDENCE & PORCHES 973.9 SQ. FT.
 DETACHED GARAGE 399.1 SQ. FT.
 TOTAL EXISTING BUILDING COVERAGE 1,373.0 SQ. FT. = 19.23 %
 EXISTING LOT COVERAGE:
 TOTAL EXISTING BUILDING COVERAGE 1,373.0 SQ. FT.
 DRIVEWAY 1,131 SQ. FT.
 TOTAL EXISTING LOT COVERAGE 2,504.0 SQ. FT. = 35.07 %

FINISH FLOOR ELEVATION = 168.02
 PEAK OF ROOF ELEVATION = 186.18
 DETACHED GARAGE FLOOR ELEVATION = 166.81
 HEIGHT OF RESIDENCE = 186.18-168.02 = 18.16 FEET

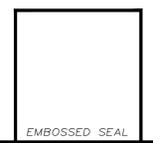
PROPOSED BUILDING COVERAGE:
 RESIDENCE, STEPS, BILCO & PORCH 1,496.2 SQ. FT. = 20.95 %
 PROPOSED LOT COVERAGE:
 TOTAL PROPOSED BUILDING COVERAGE 1,496.2 SQ. FT.
 DRIVEWAY 628 SQ. FT.
 TOTAL PROPOSED LOT COVERAGE 2,124.2 SQ. FT. = 29.75 %

- NOTES:
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996.
 - THE TYPE OF SURVEY PERFORMED IS A BUILDING LOCATION MAP, ZONING. THE MAIN PURPOSE OF THIS SURVEY IS TO SHOW THE INFORMATION NECESSARY TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH THE APPLICABLE ZONING SETBACK REQUIREMENTS. AS SUCH, IT MAY BE NECESSARY TO DEPICT ONLY A PORTION OF THE PROPERTY. THE ONLY IMPROVEMENT THAT NEED BE SHOWN IS THE EXISTING OR PROPOSED BUILDING RELATING TO THE MATTER OF ZONING COMPLIANCE BEING ADDRESSED.
 - THE BOUNDARY DETERMINATION IS BASED UPON THE DEPENDENT RESURVEY METHOD.
 - THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS. VERTICAL DATA CONFORMS TO A CLASS T-2 STANDARDS, REFERS TO APPROXIMATE
 - THE SUBJECT PROPERTY IS SHOWN AS TAX LOT 223 ON ASSESSOR'S MAP G-09.
 - THE SUBJECT PROPERTY IS LOCATED IN 'A' RESIDENCE ZONE. NAVD 88 DATUM.
 - THE SUBJECT PROPERTY IS OWNED BY MATHIEU P. BEGIN REFER TO RECORD DEED VOL. 1721, PG. 744 ON FILE IN THE OFFICE OF THE TRUMBULL TOWN CLERK.

MAP REFERENCE:
 RECORD MAP # 34.T.L.R. ENTITLED "PROPERTY OF E.J. HAWLEY TRUMBULL, CONN. SCALE 1" = 50' AUGUST 1917" CERTIFIED SUBSTANTIALLY CORRECT BY PALMER & GOODSELL, SURVEYORS.
 RECORD MAP # 35.T.L.R. ENTITLED "MAP OF PROPERTY FOR E.J. HAWLEY SITUATED IN TRUMBULL, CT. SURVEYED JULY 25, 1920 SCALE 1" = 50". CERTIFIED SUBSTANTIALLY CORRECT BY W.C. MOREHOUSE SURVEYOR.
 RECORD MAP # 2877.T.L.R. ENTITLED "PROPERTY SURVEY CEDARCREST WOODS RESERVOIR AVENUE & CEDARCREST ROAD TRUMBULL, CONNECTICUT SCALE 1" = 40' JANUARY 5, 1998" CERTIFIED SUBSTANTIALLY CORRECT BY ROBERT A. JACKSON, JR. L.S. #11347 FOR MILONE & MACBROOM, INC. SHEET 1 OF 1.

TOTAL AREA = 14,227 SQ. FT.
 or 0.3266 AC.

THIS SURVEY WAS PREPARED FOR A SPECIFIED PURPOSED. ANY USE OTHER THAN THAT WHICH IT WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARER'S DECLARATION NULL AND VOID.
 UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY ARE NOT SHOWN.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OR SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.
 THE DECLARATION SHOWN RUNS TO THE PERSON, OR PERSONS FOR WHOM THE SURVEY WAS PREPARED FOR. THE DECLARATION IS NOT TRANSFERABLE.
 THE SURVEY AND DECLARATION SHOWN HEREON IS NULL AND VOID WITHOUT THE LICENSED SURVEYORS LIVE SIGNATURE OR EMBOSSED SEAL.

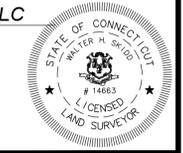


PROPOSED LAYOUT
 RE-SUBDIVISION SURVEY
 MAP OF PROPERTY

PREPARED FOR
Daniel J. Burzynski
 15 ELBERTA AVENUE
 TRUMBULL, CONNECTICUT

SCALE: 1" = 20' DEC. 9, 2019

GRAPHIC SCALE
 0 10 20 40
 WALTER H. SKIDD - LAND SURVEYOR LLC
 To the best of my knowledge and belief this map is substantially correct as noted hereon.
 WALTER H. SKIDD, L.S. Conn. Reg. # 14663
 1992 STRATFIELD ROAD - FAIRFIELD, CONN.
 TELEPHONE (203) 373-0401



Application #: _____

Date: 8/26/2020

ZONING BOARD OF APPEALS

RECEIVED

SEP 09 2020

By ZBA # 20-37
PLANNING & ZONING

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- A. Variance of the Trumbull Zoning Regulations ✓
- B. Appeal from Order of the Zoning Enforcement Officer _____
- C. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. _____

2. Location of Subject Premises:

House and Street: 15 Magnolia Rd

Assessor's Map No. 1232 Parcel No. D06-186 Lot No. 11

Trumbull Land Records: Volume(s) _____ Page(s) _____

Zoning District: A

3. Name of Applicant: Brittany + Domingos Vaz, JR

Street Address: 15 Magnolia Rd

City: Trumbull ST: CT Zip: 06611 Email: Falcone 247@gmail.com

Phone: Day 203-246-6230 Evening 203-906-8207

SIGNATURE OF APPLICANT Brittany Vaz
(if agent, state capacity)

4. Owner of Record: Domingos Jr + Brittany Vaz

Street Address: 15 Magnolia Rd

City: Trumbull ST: CT Zip: 06611 Email: Falcone 247@gmail.com

SIGNATURE OF OWNER OF RECORD Brittany Vaz

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) _____ SECTION(S) _____ PARAGRAPH(S) _____

SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

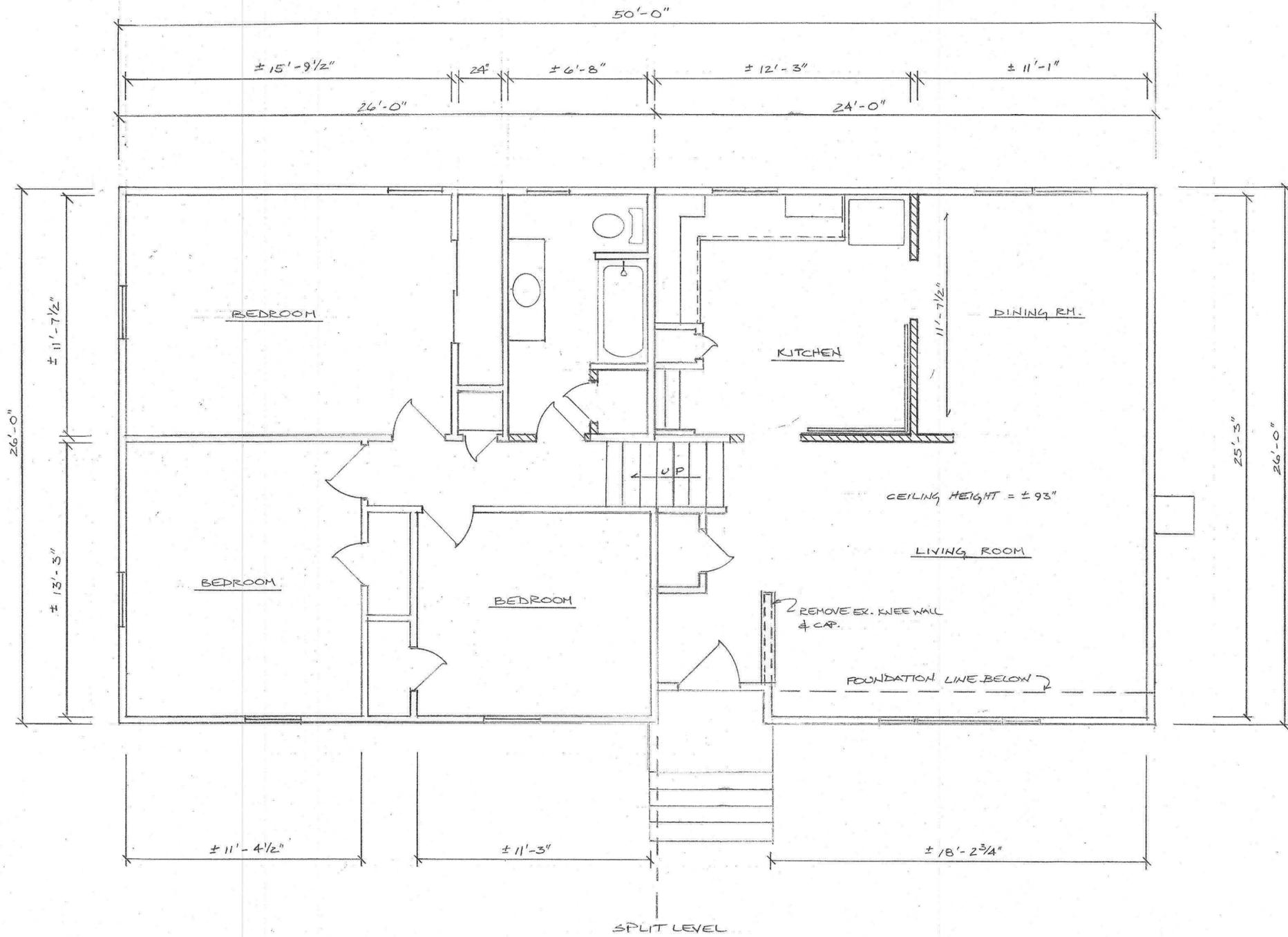
NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE:

Second story addition over existing first floor

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

existing house built prior to current zoning regulations.

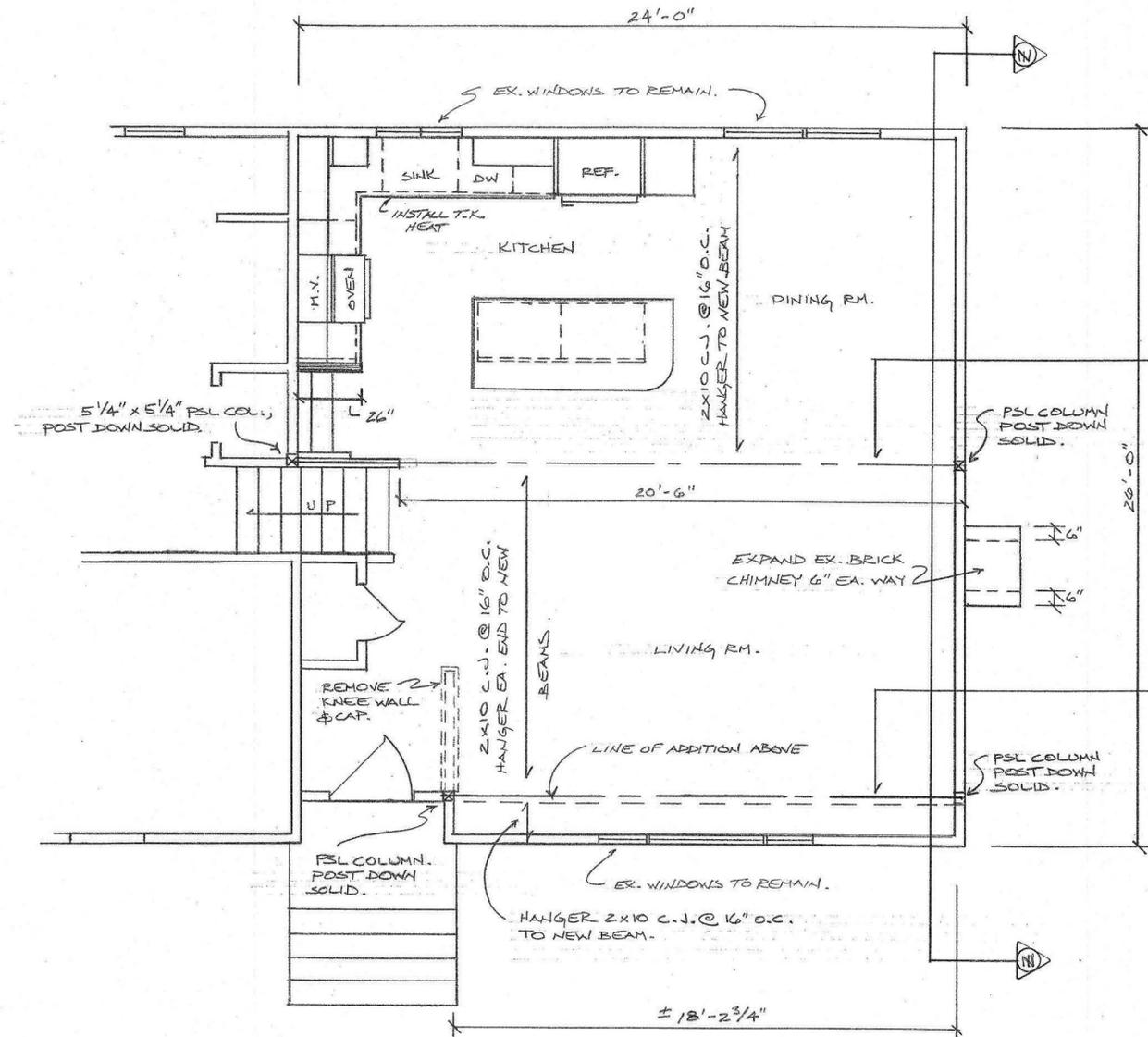


EXISTING FLOOR PLAN

▨ - INDICATES WALLS OR PORTIONS OF WALLS TO BE REMOVED.



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC 18 JOHASE RD. NORWALK, CT. 06854		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10.10.19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611		
EXISTING FLOOR PLAN		DRAWING NUMBER 1



(3) 1 3/4" x 9 1/4" LVL w/ (2) 7/8" x 9 1/4" STEEL PLATE FLITCHED BEAM. (INSTALLED FLUSH)
2 ROWS OF 1/2" DIA. CARRIAGE BOLTS @ 24" O.C.

(3) 1 3/4" x 9 1/4" LVL w/ (2) 3/4" x 9 1/4" STEEL PLATE FLITCHED BEAM (FLUSH INSTALLATION).
2 ROWS OF 1/2" CARRIAGE BOLTS @ 24" O.C.

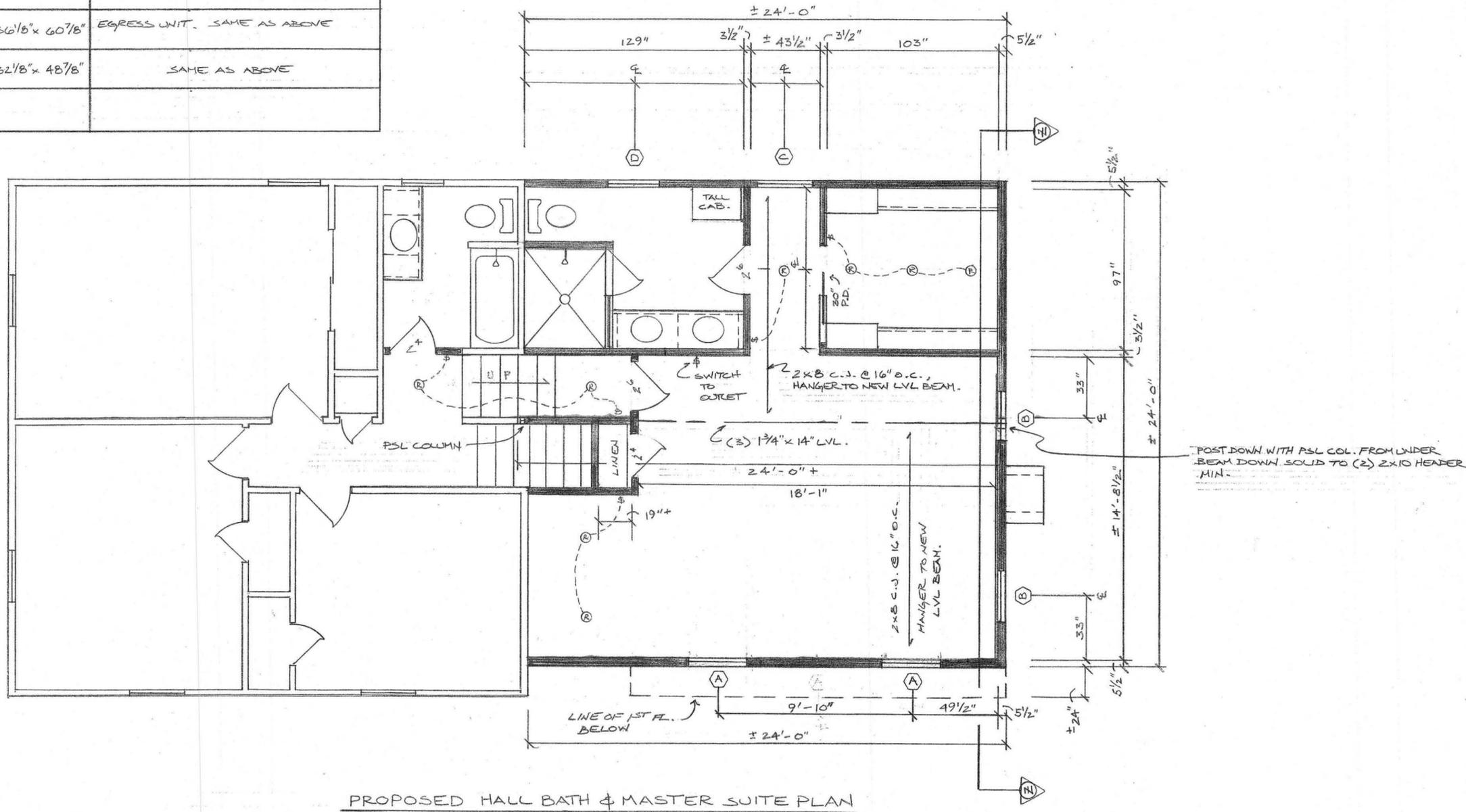
PROPOSED FLOOR PLAN

— INDICATES NEW WALL OR PORTION OF WALL CONSTRUCTION.



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC. 78 JUHASZ RD. NORWALK, CT. 06854		APPROVED BY:	DRAWN BY:
SCALE: 1/4" = 1'-0"	DATE: 10.10.19		REVISED:
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TROMBULL, CT. 06611			DRAWING NUMBER
PROPOSED 1ST FLOOR PLAN			2

WINDOW SCHEDULE - ANDERSEN 400 SERIES OR EQUAL				
QTY.	MANF. #	R.O.	REMARKS	
2	TW2842	34 1/8" x 52 7/8"	TILT WASH DBL. HUNG WINDOWS. WHITE EXT. WOOD INT., WHITE SCREEN & HNDL., CLEAR GLASS. 2x6 JAMB	
2	TW2842	34 1/8" x 52 7/8"	SAME AS ABOVE.	
1	TW210410	36 1/8" x 60 7/8"	EGRESS UNIT. SAME AS ABOVE	
1	TW26310	32 1/8" x 48 7/8"	SAME AS ABOVE	



PROPOSED HALL BATH & MASTER SUITE PLAN

— INDICATES NEW WALL OR PORTION OF WALL CONSTRUCTION.
 NOTE: EXACT LOCATION OF ALL OUTLETS, SWITCHES & LIGHTS TO BE DETERMINED IN FIELD AND AS PER CONNECTICUT BUILDING CODE REQUIREMENTS.



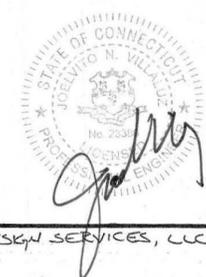
BLITZ ARCHITECTURAL DESIGN SERVICES, LLC 18 JUHASZ RD. NORWALK, CT. 06854		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10-10-19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611		
NEW HALL BATH & MASTER SUITE PLAN		DRAWING NUMBER 3



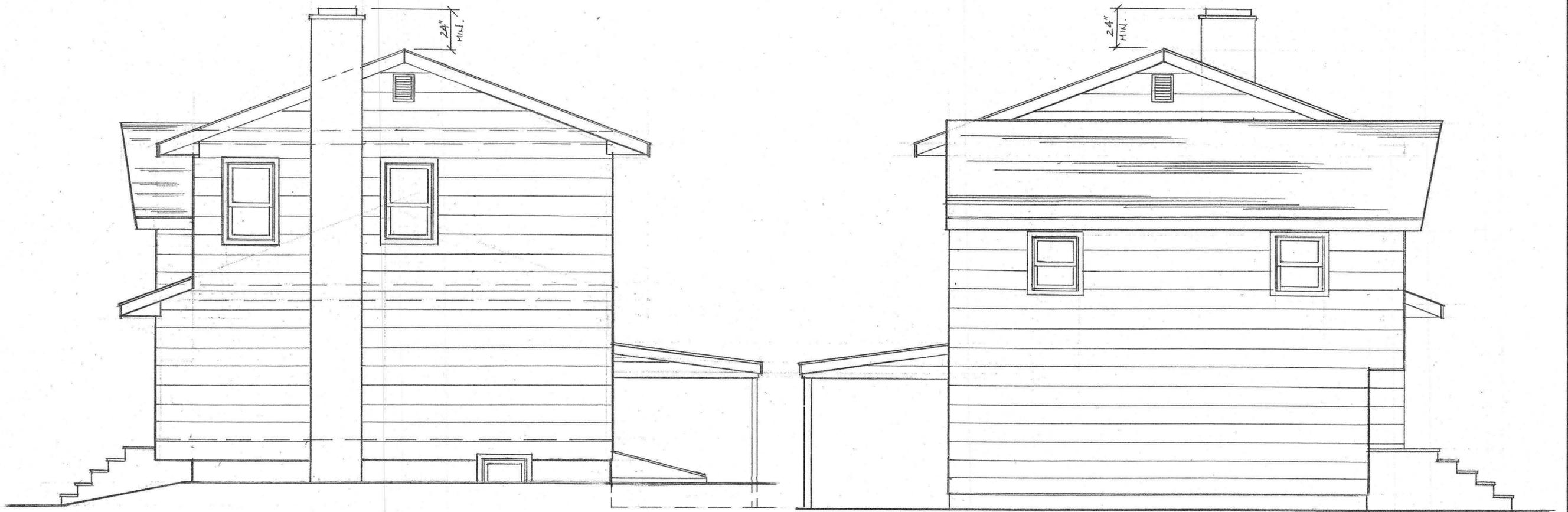
REAR ELEVATION



FRONT ELEVATION



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC 18 JUHASZ RD. NORWALK, CT. 06854		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10-10-19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TROMBULL, CT. 06611		
FRONT & REAR ELEVATIONS		DRAWING NUMBER 4



RIGHT SIDE ELEVATION

LEFT SIDE ELEVATION



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC 18 JUHASZ RD. NORWALK, CT. 06854		APPROVED BY:	DRAWN BY:
SCALE: 1/4" = 1'-0"	DATE: 10-10-19		REVISED:
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611			
RIGHT & LEFT SIDE ELEVATIONS			DRAWING NUMBER 5

ROOFING:
1/2" PLYWOOD SHEATHING, TARPAPER,
SHINGLES TO MATCH EXISTING

2x12 RIDGE BEAM. POST DOWN SOLID
@ EACH END TO (3) 1 3/4" x 14" L.V.L.
USE PSL COL. OR COMMON LUMBER.

2x8 RAFTERS 16" O.C.
PITCH TO MATCH EXISTING ROOF.
SEE PG. 8 FOR ALL DETAILS

(3) 1 3/4" x 14" L.V.L., POST
DOWN SOLID AT EA. END.
SEE PLAN & PG. 8 DETAILS.

HURRICANE CLIPS
(SEE PG. 8)

HURRICANE CLIPS (SEE PG. 8)

2x8 C.J. 16" O.C. HANGER
TO NEW FLUSH BEAM.
SPRAY FOAM INSULATE FOR
CODE R-VALUE.

2x8 C.J. 16" O.C. HANGER
TO NEW FLUSH BEAM
SPRAY FOAM INSULATE FOR CODE
R-VALUE.

LEADERS & GUTTERS AS REQ.
CONTINUOUS SOFFIT VENTING

WALL CONSTRUCTION:
(TYP)

WALL CONSTRUCTION:
2x6 STUDS 16" O.C. W/ R-20 INSULATION.
1/2" PLYWOOD SHEATHING, TYNEK HOUSEWRAP,
SIDING TO MATCH EXISTING.
(SEE PG. 8 FOR DETAILS)

2x8 RAFTERS 16" O.C.,
1/2" PLYWOOD, TARPAPER,
SHINGLES TO MATCH EXISTING.
PITCH TO MATCH EXISTING.
PROVIDE FLASHING

2x10 16" O.C. HANGER TO
BEAM. SPRAY FOAM
INSULATE.

CONTINUOUS
SOFFIT VENT

EXISTING
2x4
WALL

SEE PG. 8 FOR STRAPPING DETAILS.

(3) 1 3/4" x 9 1/4" LVL
W/ 2 - 3/4" x 9 1/4" STEEL
PLATE FLITCHED BEAM.
2 - ROWS OF 1/2"
CARRIAGE BOLTS @
24" O.C.
POST DOWN SOLID AT
EACH END.
(SEE PLAN)

(3) 1 3/4" x 9 1/4" LVL W/
2 - 7/8" x 9 1/4" STEEL PLATE
FLITCHED BEAM
2 - ROWS OF 1/2" CARRIAGE BOLTS
@ 24" O.C.
POST DOWN SOLID AT EA. END
(SEE PLAN)

2x10 C.J. JOISTS 16" O.C.
HANGER TO FLUSH BEAM.

2x10 C.J. 16" O.C.
HANGER AT EACH END TO
FLUSH BEAMS.

EXISTING 2x4
WALL

GRADE

EXISTING FOUNDATION

EXISTING FOUNDATION

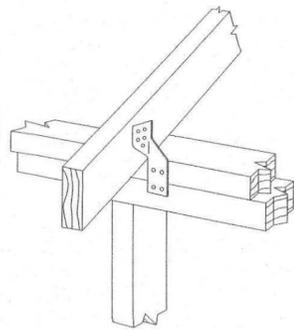
GRADE

EXISTING BASEMENT

SECTION - (A)



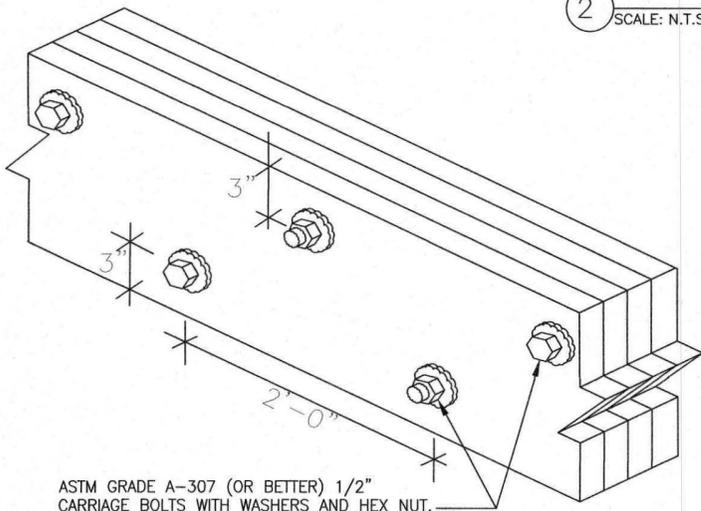
BLTZ ARCHITECTURAL DESIGN SERVICES, LLC. 10 JONASZ RD. NORWALK, CT. 06854		
SCALE: 1/2" = 1'-0"	APPROVED BY:	DRAWN BY
DATE: 10-10-19		REVISED
MR. & MRS. DOMINICK VAZ 15 MAGNOLIA RD. TRUMBULL, CT. 06611		
BUILDING SECTION OF ADDITION.		DRAWING NUMBER 7



SIMPSON H2.5

1 TYP. H2.5 INSTALLATION DETAIL

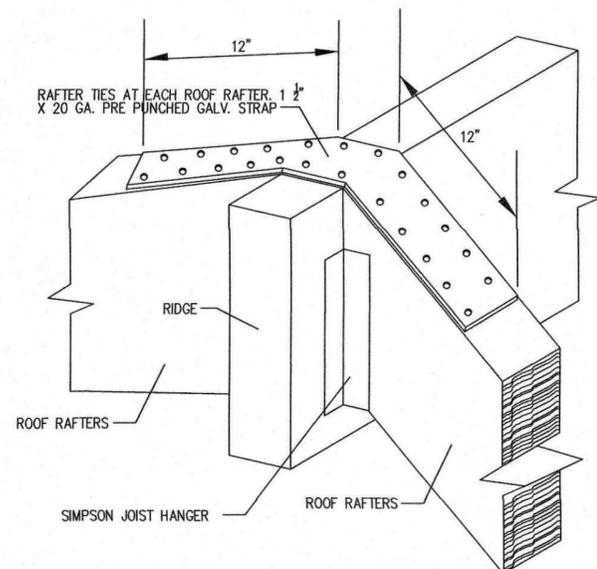
SCALE: N.T.S.



ASTM GRADE A-307 (OR BETTER) 1/2" CARRIAGE BOLTS WITH WASHERS AND HEX NUT.

3 TYP. BOLTING PATTERN FOR FLITCHED BEAM

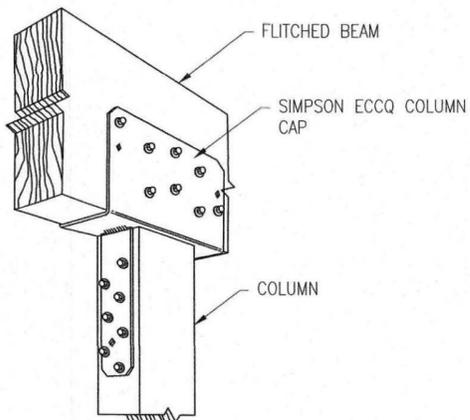
SCALE: N.T.S.



RAFTER TIES AT EACH ROOF RAFTER, 1 1/2" X 20 GA. PRE PUNCHED GALV. STRAP

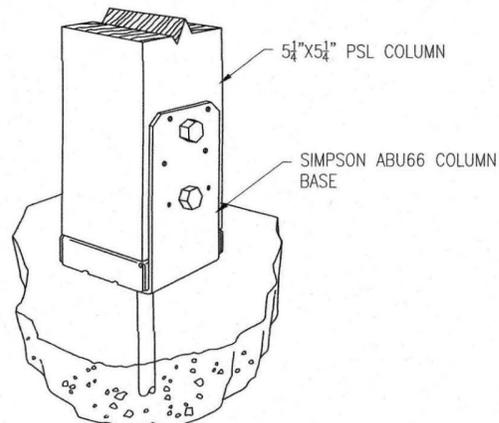
5 RAFTER TO RAFTER CONN., TYP. @ EACH RAFTER

SCALE: N.T.S.



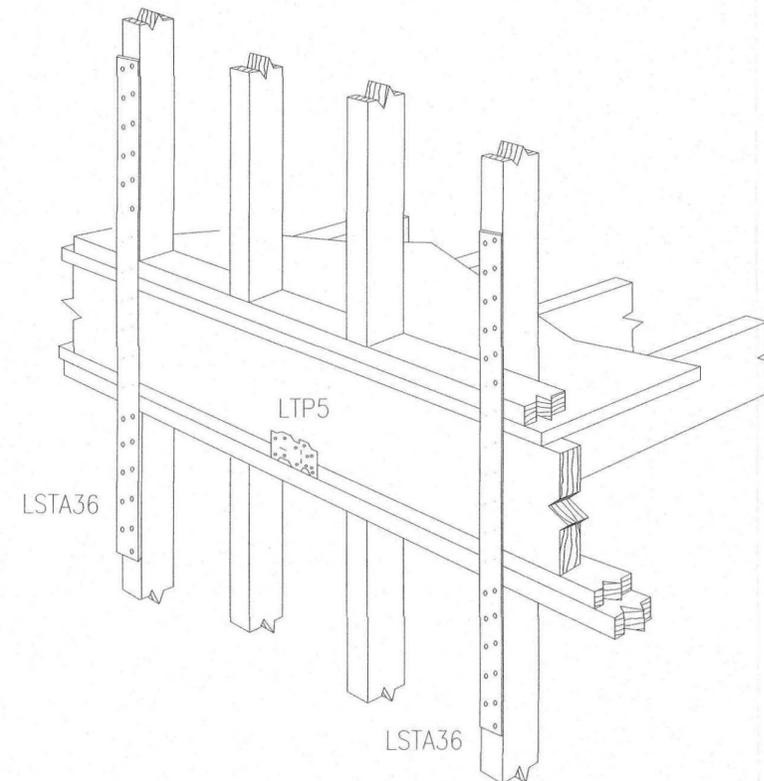
2 TYP. COLUMN TO END OF BEAM CONNECTION DETAIL

SCALE: N.T.S.



4 TYP. COLUMN BASE

SCALE: N.T.S.



6 TYP. FLOOR TO FLOOR CONNECTION

SCALE: N.T.S.

- NOTES:
1. SIMPSON LSTA36 TO BE SPACED AT 48" O.C.
 2. SIMPSON LTP5 TO BE LOCATED BETWEEN LSTA36.
 3. STRAP CAN BE INSTALLED OVER SHEATHING BUT SHOULD BE ALIGNED WITH STUDS.

GENERAL NOTES:

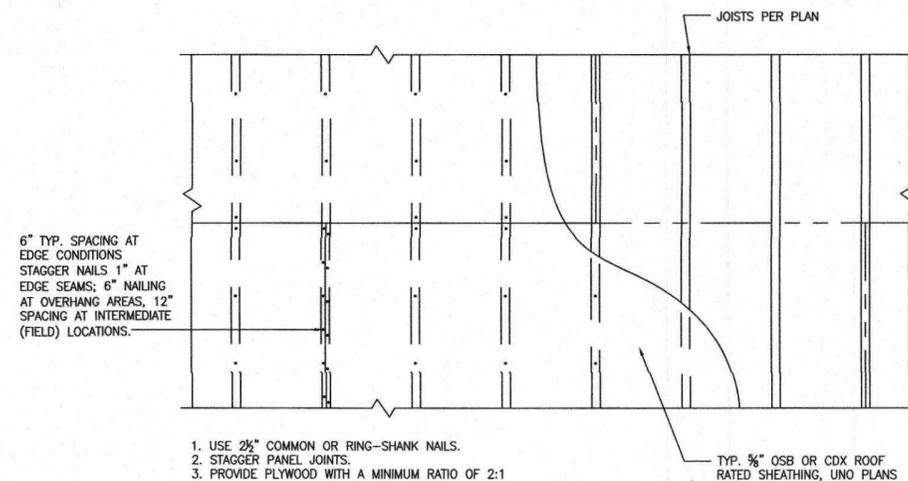
1. All plans are drawn to and work shall comply with IRC 2015 Building Code and local zoning regulations. These plans are prepared for the proposed second floor addition.
2. The Owner or his representative is to process the Building Permit. The Contractor is to arrange for all required inspections by the city.
3. Owner reserves the right to reject any or all bids and may choose not to include one or more parts of this Project.
4. All Specified products shall be installed per Manufacturer's specifications and details. If conflict is discovered consult Design Engineer.
5. All work shall be performed in the best and most professional manner by the contractors skilled in their respective trades.
6. Contractor to insure all materials are kept under cover and dry. Protect against exposure to weather and contact with damp or wet surfaces. Stack lumber as well as Plywood and other panels; provide for air circulation within and around stacks and under temporary coverings including polyethylene and similar materials.
7. The Contractor shall keep the premises and surrounding area free from accumulation of waste material or rubbish caused by operation under contract. At completion of the work, the Contractor shall remove from and about the project waste material, rubbish, the Contractor's tools, construction equipment, machinery and surplus materials.

FRAMING & CONSTRUCTION NOTES:

1. All dimensions are to face of stud or face of concrete, unless otherwise noted.
2. The contractor shall be responsible to the ways and means of supporting the existing framing/structure when constructing the proposed second floor.
3. All Laminated Veneer Lumbar shall be manufactured by Trus Joist MacMillan or approved equal.
4. All lumber to comply with PS 20 "American Softwood Lumber Standard" and with applicable grading rules of inspection agencies certified by ALSC's Board of Review. All new framing lumber to be Southern Yellow Pine "no. 2" Grade or better.
5. All steel shall comply with ASTM A36.

STRUCTURAL NOTES:

1. SOME INFORMATION NOT SHOWN FOR CLARITY. NORTH IS APPROXIMATE.
2. EXISTING BUILDING LOCATION, ORIENTATION & ASSOCIATED EQUIPMENT LOCATIONS ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED THROUGH FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING STRUCTURES, EQUIPMENT LOCATIONS AND SITE DETAILS PRIOR TO ALL FABRICATION & CONSTRUCTION.
3. ALL BOLTS SHALL BE 1/2" ASTM A325 BOLTS UNLESS OTHERWISE STATED.
4. CONTRACTOR VERIFY EQUIPMENT MANUFACTURER, MODEL #, DIMENSIONS, MOUNTING HOLES LOCATION, AND WEIGHT WITH AMICI POWER SOLUTIONS, INC. PRIOR TO STEEL FABRICATION.
5. CONTRACTOR SHALL MAKE ALL NECESSARY PRECAUTIONS & SECURE ALL PERMITS REQUIRED FOR WELDING ON ROOF.
6. TAKE ALL NECESSARY PRECAUTION FOR WELDING GALVANIZED STEEL IN ACCORDANCE WITH AWS RECOMMENDATIONS FOR WELDING ZINC COATED STEELS. RECOAT CONNECTION PRIOR TO CONNECTING FRAME. CONTRACTOR SHALL CONTACT CHRIS ELLIOT OF ERETE DEVELOPMENT INC. (20 INDUSTRIAL ROAD FAIRFIELD, NJ 07004 - 201-522-1921) FOR THE DESIGN, FABRICATION AND METHOD OF ATTACHEMENT OF THE STEALTH PANELS.



6" TYP. SPACING AT EDGE CONDITIONS
STAGGER NAILS 1" AT EDGE SEAMS; 6" NAILING AT OVERHANG AREAS, 12" SPACING AT INTERMEDIATE (FIELD) LOCATIONS.

1. USE 2 1/2" COMMON OR RING-SHANK NAILS.
2. STAGGER PANEL JOINTS.
3. PROVIDE PLYWOOD WITH A MINIMUM RATIO OF 2:1

TYP. 3/4" OSB OR CDX ROOF RATED SHEATHING, UNO PLANS

7 TYP. DIAPHRAGM SHEATHING AT FLOOR OR ROOF

SCALE: N.T.S.



BLITZ ARCHITECTURAL DESIGN SERVICES, LLC
18 JUHASZ ROAD
NORWALK, CT 06854

SCALE: AS NOTED	APPROVED BY:	DRAWN BY:
DATE: 5-22-2016		REVISED:

MR. & MRS. DOMINICK VAZ
15 MAGNOLIA ROAD
TRUMBULL, CT 06611

TYPICAL STRUCTURAL DETAILS

DRAWING NUMBER
8



Vicinity Map
Scale: 1"=500'

RESIDENCE ZONE A				
	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	21,780 SF	23,477 SF±	23,477 SF±	
Minimum Lot Frontage	125'	140.00'	140.00'	
MINIMUM SETBACK				
Setback From Front Property Line	50	49.3'±	49.3'±	
Setback From Side Property Lines	20	41.2'±	41.2'±	
Setback From Rear Property Lines	50	57.4'±	57.4'±	
MINIMUM FLOOR AREA				
Floor Area - 2 Story	1,200 1st Floor-900 2nd Floor	1,312	1,930	
Maximum Height For A Building Or Structure	40'	<40'	<40'	
Maximum Building Lot Coverage As A Percentage Of Lot Area	25%	7.0% ±	7.0% ±	
Maximum Building Floor Area As A Percentage Of Lot Area	29%	5.6% ±	8.2% ±	



NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.

The intention of the plan is to show the location of a proposed pool. Not all features existing on the property are shown hereon.
- Reference is made to the following documents:

A. RM 1232-"Highlawn Park; Subdivision in Trumbull, Conn.; for Oxford Land Development Co., Inc.; March 21, 1964; scale: 1"=100'; by Frank C. Penny."
- The underground utilities shown, if any, have been located from visible field survey information. No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utilities or municipal/public service facilities. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. For information regarding these utilities or facilities, please contact the appropriate agencies.
- Distances shown ± from buildings to property lines are for reference purposes only and are not to be used to establish boundaries.
- Zoning information shown on this map must be reviewed and confirmed by the appropriate Town of Trumbull authorities prior to use.
- Property is served by public water and sanitary sewer.
- Unauthorized alterations or additions to this survey, which bears the surveyor's embossed seal, renders any declaration shown hereon null and void.
- The property is located in Zone X per FEMA Flood Map #09001C0288F; Panel 288 of 626; Effective Date: 6/18/2010.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- Elevations are based on the Town of Trumbull Topographical maps

N/F
William & Dolores Starrett
#27 Sharon Road
(D-6/164)

N/F
Dorothy & Joseph Moyer
#19 Magnolia Road
(D-6/185)

N/F
Marshall & Virginia Breiner
#11 Magnolia Road
(D-6/187)

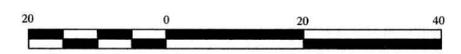
LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	WATER SERVICE
	GAS LINE
	FINISHED FLOOR
	GARAGE FLOOR
	BUILDING SETBACK LINE
	CATCH BASIN
	EXISTING IRON PIN/PIPE
	MAILBOX
	UTILITY POLE

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Michael S. Shevlin, Jr. 115.4.4339

DATA ACCUMULATION PLAN
PREPARED FOR
DOMINGOS VAZ JR. & BRITTANY VAZ
#15 MAGNOLIA ROAD
TRUMBULL, CONNECTICUT



DATE: 8-7-20	SCALE: 1"=20'	DRAFTER: MSS	JOB NUMBER: 4820	FILE NUMBER:
NO. DATE DESCRIPTION		SHEVLIN 165 Oyster Road-Fairfield, CT 06030 LAND SURVEYING, LLC		
REVISIONS		593 Main Street-Monroe, CT 06460 ShevlinLS.com		

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:
 Setback (front, side, rear)
 Floor Area
 Lot Area
 Lot Coverage
 Damage Reconstruction
 Parking
 Extension of enlargement of non-conforming use or building
 Other (explain)

Lot frontage

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) II & III (Exhibit) SECTION(S) 1.3.5 PARAGRAPH(S) _____

SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

No

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: See Attached

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

See Attached



Colin B. Connor
 Elizabeth A. Falkoff*
 Robert G. Golger
 Michael C. Jankovsky
 David A. Kurata
 Katherine M. Macol
 Leah M. Parisi
 William M. Petroccio*
 Raymond Rizio*
 Christopher B. Russo
 Robert D. Russo
 John J. Ryan
 Vanessa R. Wambolt
 (*Also Admitted in NY)

August 12, 2020

Doug Wenz
 Zoning Enforcement Officer
 Planning & Zoning Department
 5866 Main Street
 Trumbull, CT 06611

Re: ZBA Application for property located at 480 Church Hill Road

Dear Mr. Wenz:

Please accept the following responses as part of the variance application to the Trumbull Zoning Board of Appeals for the property located at 480 Church Hill Road (the "Site") in the Residence A Zone:

Section of Zoning Regulation for Variance and Description of Proposal

1. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Trumbull Zoning Regulations (the "Regulations") to reduce the minimum lot frontage from One hundred and twenty-five and 00/00 feet (125') to One hundred eleven and 79/00 feet (111.79') for each of the proposed Lots A & B on the submitted plan;

Proposed Development

The Applicant proposes to subdivide the Site into two (2) building lots within the Residence A Zone. The Site, in its entirety, contains 53,001 SF, which is significantly more than double the lot area requirement in the Residence A Zone. The lot is irregularly shaped with uneven sides, which creates its large size. Its depth goes far beyond neighboring lots.

The Applicant now proposes to subdivide the Site into two (2) building lots. The first lot contains an existing single-family dwelling with only One thousand seven hundred and seventeen square feet (1,717 SF) of living area. It is an extremely small home with an existing lot coverage of only Eight and a half percent (8.5%) Both lots will be conforming with a significant excess as to lot area. The existing dwelling will not be altered. As depicted on the plans, the existing building and the proposed dwelling will meet all setback requirements. In fact, the front yard setback will be more than double the requirement in the Residence A Zone. Each proposed lot will also have a lot coverage well below one-third of the maximum percentage permitted in the Residence A Zone.

1 Post Road
 Fairfield, CT 06824

Tel 203-255-9928
 Fax 203-255-6618

The only requested variance relates to the proposed lot frontage of each of the proposed lots of One hundred eleven and 79/00 feet (111.79'). The irony is the requested variance is even more conforming than most of the surrounding properties. Within two hundred feet of the Site, there are properties on both sides of Church Hill Road, with lot frontages of approximately, 50', 85.60', 100' and 102'. The frontages only get smaller heading north on Church Hill Road into the residential neighborhood from the Site.

Hardship

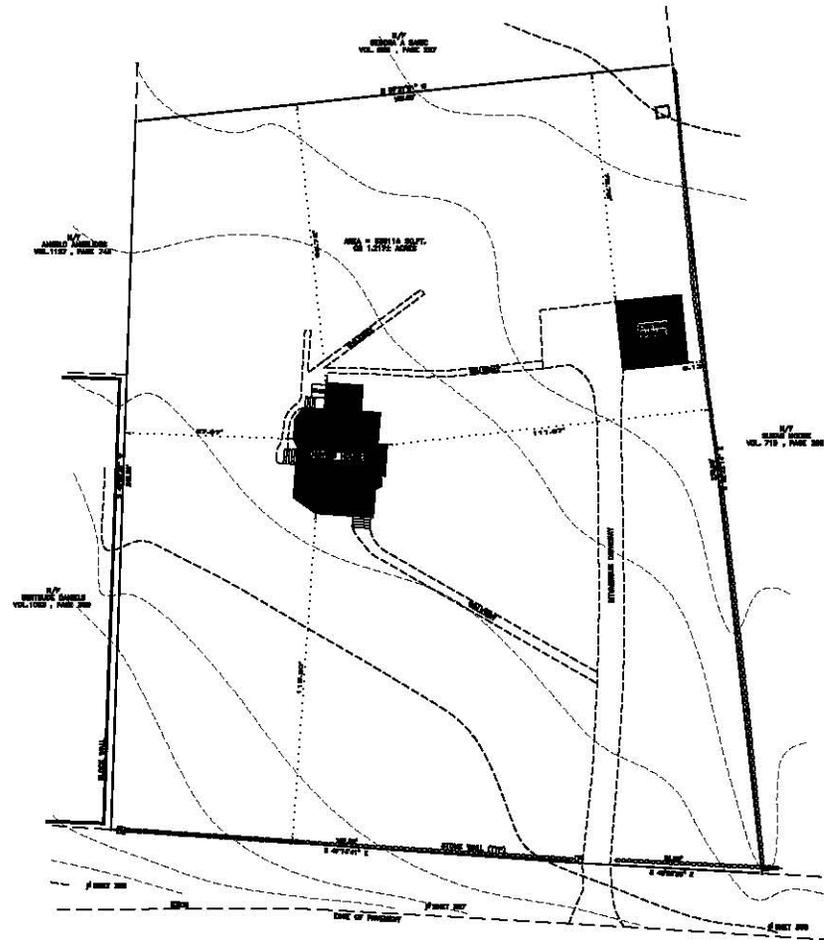
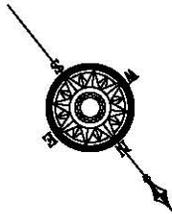
Granting the Applicant said variances will not substantially affect the comprehensive zoning plan of the Town of Trumbull and adherence to the strict letter of the Trumbull Zoning Regulations will cause an unusual hardship to the Applicant as the Applicant is actually proposing to subdivide the Site into two (2) lots, which are more conforming than many of the surrounding properties with regards to lot frontage. Nearby lots on both sides of Church Hill Road have smaller frontages than the proposed lots, some as many as half the length. Therefore, the proposed variances will not have a detrimental impact on the neighborhood. Under the proposed subdivision, in fact, both proposed lots will be conforming and have a significant excess as to lot area. The Site is uniquely oversized for the area due to its irregular shape and depth. The existing and proposed dwellings will have a front setback from Church Hill Road more than double the requirement in the Residence A Zone and a lot coverage less than one-third of the permitted maximum. The proposed variances will not have a detrimental impact on the neighborhood, their property values, or the surrounding environment.

For these above-stated reasons, the Applicant respectfully requests approval for the stated variances at the Site.

Sincerely,



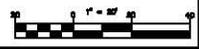
Raymond Rizio



- GENERAL NOTES:**
1. This map has been prepared pursuant to the Regulations of Connecticut State Agencies under 28-280a-7a and 28-280a-20 and the "Standard for Survey and Maps in the State of Connecticut as set forth in the Connecticut Association of Land Surveyors, Inc. in 1995."
 2. This Survey conforms to Class A-2.
 3. The type of survey performed is a Limited Property Boundary Survey and is limited to the Existing Building Location Survey.
 4. Easements identified in based upon a Registered Survey (see map references and Record Plans).
 5. Work Area is based on the Reference # 1.
 6. This map is NOT VALID without a STATE SIGNATURE and EXEMPT SEAL.
 7. This map is NOT VALID if altered or used by any party other than the one depicted in the block of this map.
 8. Property Lines Established According to Record Books as well.
 9. Physical Features such as Stone Walls, Wire Fences, Unimproved, Low Flow or Flood, etc. have been indicated to establish correct field data.
 10. Unimproved Utility, Structure and Utility Location identified and noted herein have been indicated, in part, from field mapping supplied by the respective utility companies or government agencies. This provides additional and more accurate information than is contained on the title, the existence of which was confirmed by the field work and appears in the appropriate subdivision plan in Connecticut, C.A.T. 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025.
 11. Not served by town water system and public water supply.
- MAP REFERENCES:**
1. RECORD MAP # 211
 2. STATE MAP # 700.

CHURCH HILL ROAD

To the best of my knowledge and belief the data on which this map is based is true and correct.



P.E. Pereira Engineering, LLC
 345 Inglewood Road
 Huntington, CT
 PHONE: (860) 844-2844
 FAX: (860) 844-4844

NO.	DATE	DESCRIPTION	SCALE

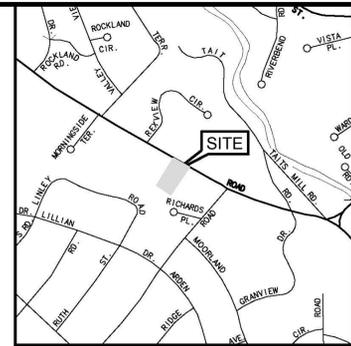
PREPARED FOR
JOSE M. & DOMINOS G. MORA
 FOR PROPERTY LOCATED AT
488 CHURCH HILL ROAD
 HUNTINGTON, CT

PLAT PLAN
 SHEET 1 OF 1
 DATE: OCTOBER 21, 2023
 8
 800 REP. NO. 5172800007

G:\172\A\0125\172-0125.dwg, Model, 3/3/2017 10:05:01 AM, joe, 1:65.4511

ABBREVIATIONS

APPROX. APPROXIMATE
 B.C.L.C. BITUMINOUS CONCRETE LIP
 BIT. BITUMINOUS CONCRETE
 CONC. CONCRETE
 ELEV. ELEVATION
 EXIST. EXISTING
 F.F. FIRST FLOOR ELEVATION
 H.C.C. HANDICAP CURB CUT
 INV. INVERT
 MIN. MINIMUM
 R. RADIUS
 SCH. SCHEDULE
 T/C TOP OF CONCRETE
 TYP. TYPICAL



LOCATION MAP
NOT TO SCALE

LEGEND

EXISTING	PROPOSED
650	650
671.5	671.5
CONTOURS	CONTOURS
SPOT ELEVATION	SPOT ELEVATION
PROPERTY LINE	PROPERTY LINE
BUILDING SETBACK	BUILDING SETBACK
WATERCOURSE	WATERCOURSE
TREE LINE	TREE LINE
STONE WALL	STONE WALL
LEDGE	LEDGE
STRUCTURE	STRUCTURE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
15" RCP STORM	24" RCP
8" SANITARY	8" PVC
SANITARY SEWER PIPE	SANITARY SEWER PIPE
MANHOLE	MANHOLE
CATCH BASIN	CATCH BASIN
CATCH BASIN/DRYWELL	CATCH BASIN/DRYWELL
WATER	WATER
GAS	GAS
SANITARY LATERAL	SAN
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
FILTER FABRIC FENCE/HAYBALES	FILTER FABRIC FENCE/HAYBALES
MUD TRACKING BED	MUD TRACKING BED



RESIDENCE ZONE A ZONING STANDARDS

STANDARDS	REQUIRED	EXISTING	LOT A	LOT B
MINIMUM LOT SIZE	0.500 ACRE (21,780 SQ. FT.)	1.217± ACRE (53,001 SQ. FT.)	0.6146 ACRE (26,775 SQ. FT.)	0.6022 ACRE (26,236 SQ. FT.)
MINIMUM ROAD FRONTAGE	125'	120'	111.79'	111.79'
MINIMUM YARDS:				
FRONT	50'	113.2'	113.2'	114.9'
SIDE	20'	58'	20'	20'
REAR	50'	96.1'	44'	109.8'
MAXIMUM BUILDING HEIGHT	35'	< 35'	< 35'	< 35'
MAXIMUM LOT COVERAGE	25%	8.5%	4.2%	7.6%

NOT FOR CONSTRUCTION
FOR REVIEW AND APPROVAL BY PUBLIC AGENCIES ONLY



G:\0172\0172SP01.dwg, SP01, 3/3/2004 10:03:09 AM, pgs. 1-1

Pereira Engineering, LLC
 CIVIL & ENVIRONMENTAL
 345 Isinglass Road
 Huntington, CT 06484
 Phone: (203) 944-9944
 Fax: (203) 944-9945
 homepage: www.pereiraeng.com
 email: pereiraengineering@sbglobal.net

CERTIFICATION		REVISIONS		DES
NO.	BY	DATE	REMARKS	JCP

PREPARED FOR
JOSE M. & DOMINGOS G. MOURA
 FOR PROPERTY LOCATED AT
480 CHURCH HILL ROAD
TRUMBULL, CT

PROJECT TITLE
SITE PLAN
 SCALE: AS SHOWN

COPYRIGHT © 2004
 DATE MARCH 3, 2004
 C SHEET 1 OF 1
 CAD REF. NO. 0172SP01

October 1, 2020

Zoning Board of Appeals Application to Split Lot

TO: ZBA Commission

RE: Lot Split

Application #20-33

On upcoming agenda I see the owner(s) of 480 Church Hill Rd have applied to split their small lot into two parcels, requiring a frontage variances, of Town Zoning regulations.

Two areas specifically cited within Statutes, with respect to Waivers and Zoning Boards of Appeal

- 1) Waivers are only granted in cases where the hardship has been imposed by conditions outside the property owner's control
- 2) Financial considerations do not constitute a legal hardship that would warrant a variance.

The property owner(s) are aware of existing zoning regulations and have created an artificial hardship by attempting to split their existing lot for purely financial gain. An area cited specifically for which a waiver shall not be granted.

I am against this application and urge you to deny this application and any others that come before you similar in nature..

Thank you.
Tracy Vonick
155 Killian Ave
Trumbull

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ROGER KERGARAVAT
89 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

PETER & LAURA YARUSAVAGE
80 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

MARILYN MCCARTHY
86 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

RALPH BERSHEFSKY
88 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CHRIS & ALEXANDRA
98 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

SARAH TURECHEK
108 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

DAVID & SARA FOWLER
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

PATRICIA CORDA
124 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CHRIS & ANNE TRACEY
82 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ERIN DAMATO
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

DANIELLE MCCAIN
72 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CAROL & NELSON LADUE
78 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JEFF LUND
81 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

KYLE & LAURA MARSDEN KISH
87 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JOE CUNEO
101 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

FRANK & PATRICIA LAPEGNA
84 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

SPIRO & MICHAEL MALISORY
114 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ELIZABETH IRWIN
124 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CLAUDIA MONTOYA
125 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

KATHLEEN RICHARSON
127 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

COREY OSOBA
134 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

TIMOTHY KILLIAN
142 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JASON FRANGENES
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

HILARY MAYO
144 KILLIAN AVENUE

Application #: 20-24

Date: July 15, 2020

ZONING BOARD OF APPEALS

RECEIVED

JUL 15 2020

By ZBA # 20-24
PLANNING & ZONING

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

A. Variance of the Trumbull Zoning Regulations ✓

B. Appeal from Order of the Zoning Enforcement Officer _____

C. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. _____

2. Location of Subject Premises:

House and Street: 55 Woodlawn Drive

Assessor's Map No. _____ Parcel No. F08-299 Lot No. _____

Trumbull Land Records: Volume(s) _____ Page(s) _____

Zoning District. A

3. Name of Applicant: David Steeves

Street Address: 115 Puttins Creech rd

City: Trumbull ST: CT Zip: 06611 Email: Dsteeves611@msn.com

Phone: Day 203-470-8960 Evening _____

SIGNATURE OF APPLICANT [Signature]
(If agent, state capacity)

4. Owner of Record: Donna Quinlan

Street Address: 55 Woodlawn Drive

City: Trumbull ST: CT Zip: 06611 Email: DonnaQuinlan2@hotmail.com

SIGNATURE OF OWNER OF RECORD [Signature]

Please complete the following sections which correspond to your answer
In question #1 above:

Location:
55 Woodlawn Drive
Trumbull Ct 06611

Applicant Name:
SVS Homes and Construction
David Steeves
115 Putting Green Rd
Trumbull Ct 06611
203-470-8960

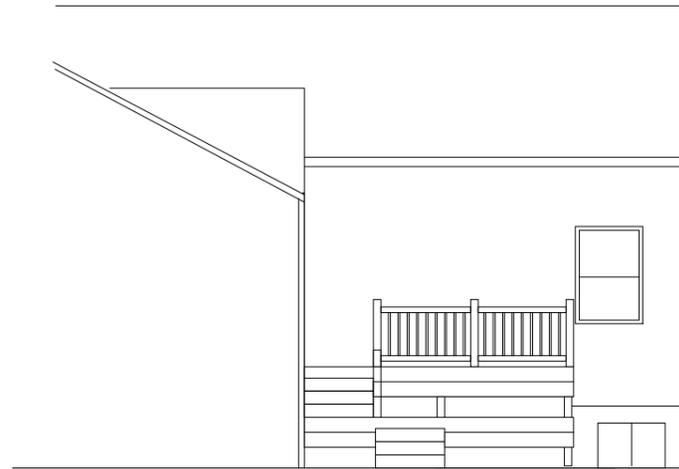
Owners of Record
Donna Quinlan
55 Woodlawn Drive
Trumbull Ct 06611
203-414-2863

Description of work:
Build new deck over existing slate patio. Deck will be made using composite decking and railings.

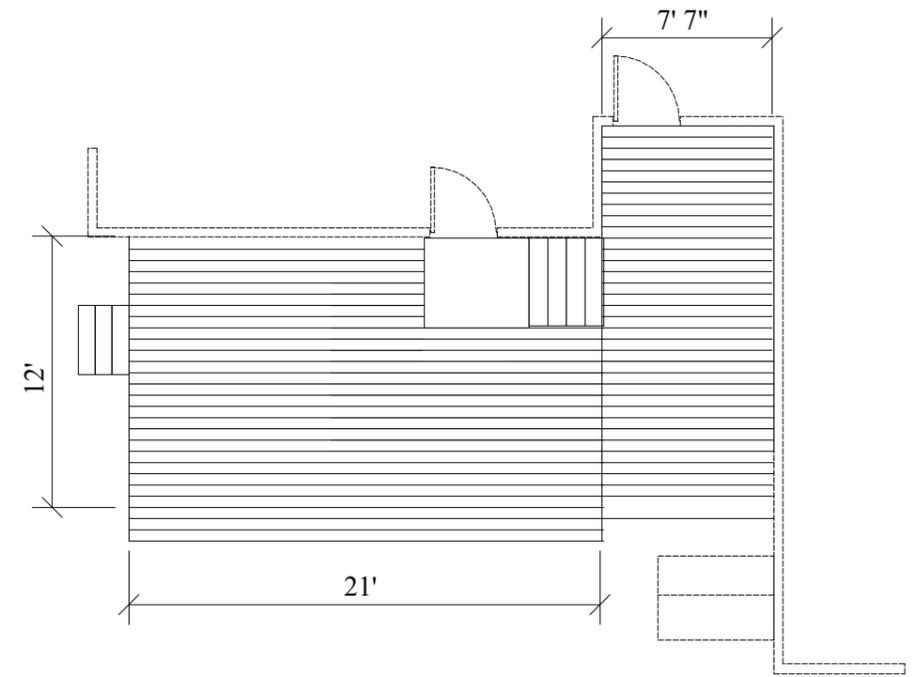
Date:
June 14 2020

Prepared By:
SVS Homes and Construction
David Steeves
115 Putting Green Rd
Trumbull Ct 06611
203-470-8960

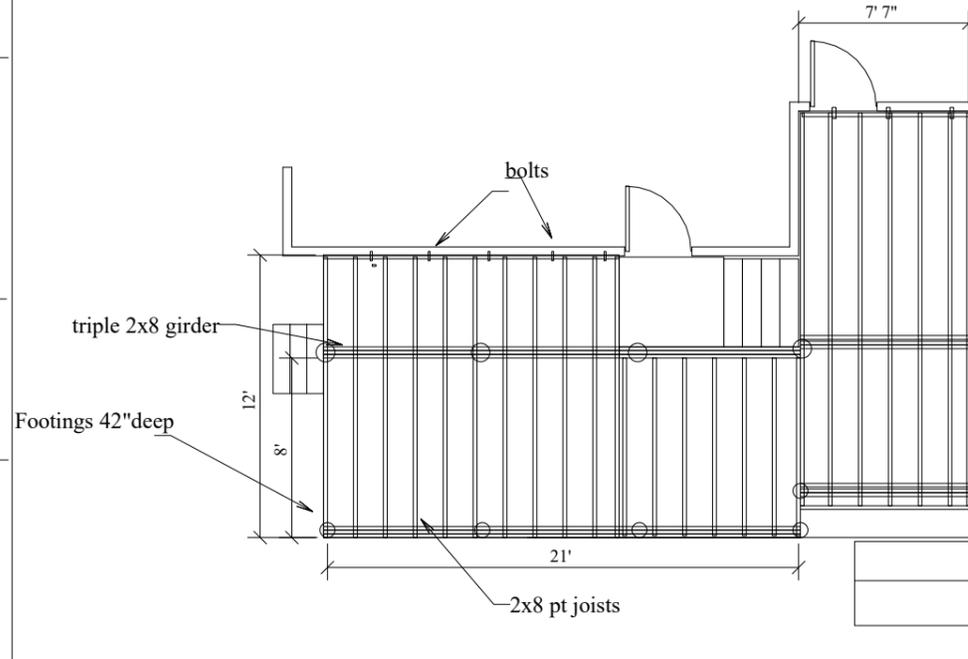
Scale
1/8"=1'



Proposed West Elevation



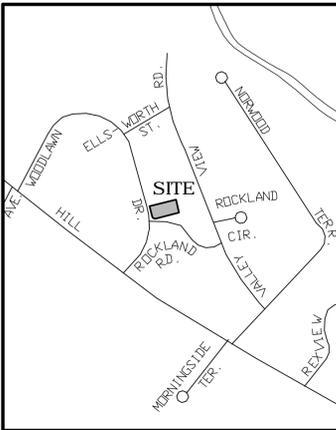
Proposed Deck



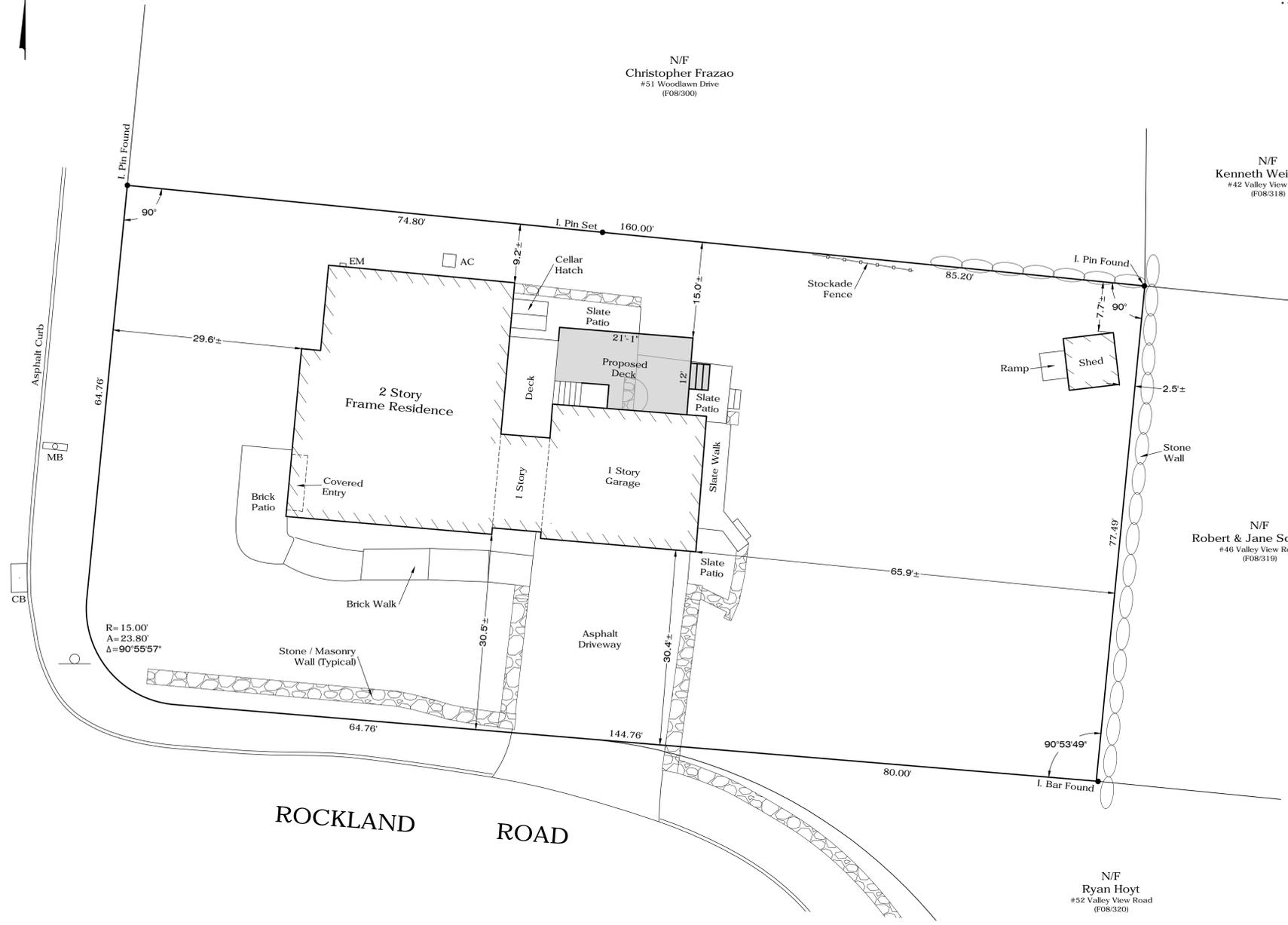
Framing Detail



Proposed South Elevation



WOODLAWN DRIVE



RESIDENCE A ZONE - LOT A	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	21,780	12,549±	12,549±	-
Minimum Lot Frontage	125	156.02'	156.02'	-
MINIMUM SETBACK				
Setback From Street Line	50	29.6±	29.6±	-
Setback From One Side Property Lines	20	9.2±	9.2± *	-
Setback From Rear Property Lines	50	65.9±	65.9±	-
MINIMUM FLOOR AREA				
Floor Area - One Story Building	1,200	-	-	-
Floor Area - Split Level Building	-	-	-	-
Floor Area - Two Or More Story Building Total Floor Area	1,700	2,606±	2,606±	-
Floor Area - Two Or More Story Building Ground Floor Area	900	1,858±	1,858±	-
Maximum Height For A Building Or Structure	40	22±	22±	-
Maximum Building Coverage As A Percentage Of Lot Area	25%	15.3%	15.3%	-
Maximum Building Floor Area As A Percentage Of Lot Area	29% (Principal)	20.8%	20.8%	-

* 15.0± To Proposed Deck

NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.
- Reference is made to the following documents on file in the Fairfield Town Clerk's Office:
 - A. RM 400 - Map No. 4, Norwood Park Dev., Trumbull, Conn.; Scale: 1"= 100'; May 29, 1950.
 - B. Volume 1478 Page 675.
- The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation. Dial 811 or 1-800-922-4455.
- Property is located in FEMA Zone X. Per Flood Insurance Rate Map #09001C0XXXG, Effective Date: July 8, 2013; Panel XXX of 626.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.
- Proposed calculations are based on architectural plans submitted by the client. In some cases dimensions are scaled. It is the contractor's responsibility to adjust for siding that will be added to the structure with respect to coverage and setbacks. The surveyor assumes no responsibility for details that are not submitted for our review.

LEGEND

- HYDRANT
- MANHOLE
- GAS VALVE
- UTILITY POLE
- WATER VALVE
- LAMP POST
- CATCH BASIN
- ELECTRIC BOX
- SIGN
- MAILBOX
- EXISTING IRON PIN
- EXISTING CONCRETE MONUMENT
- STONE BOUND
- HEDGE
- STONEWALL
- WL — INLAND WETLANDS
- — METAL FENCE
- — WOOD FENCE

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Jason T. Spath Sr., L.S. #70136

DATA ACCUMULATION PLAN
PREPARED FOR
JAMES & DONNA QUINLAN
#55 WOODLAWN DRIVE
TRUMBULL, CONNECTICUT

1" = 10'

DATE: JULY 14, 2020	SCALE: 1" = 10'	DRAFTER: SJR	JOB NUMBER: 4920	PROJECT #: 4920
------------------------	--------------------	-----------------	---------------------	--------------------

HC THE HUNTINGTON COMPANY, LLC
Consulting Engineers & Surveyors
303 Linwood Avenue, Fairfield, CT
203.259.1091

1/1

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)

Use;

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested:

ARTICLE(S) I; SECTION(S) 4.2;
II SECTION(S) 1.3.1 PARAGRAPH(S) _____
SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

There was no previous application regarding the current proposal.

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: See Attached

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

See Attached



Colin B. Connor
Elizabeth A. Falkoff*
Robert G. Golger
Michael C. Jankovsky
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

August 14, 2020

Doug Wenz
Zoning Enforcement Officer
Planning & Zoning Department
5866 Main Street
Trumbull, CT 06611

Re: ZBA Application for property located at 6567 Main Street

Dear Mr. Wenz:

Please accept the following narrative as part of the variance application to the Trumbull Zoning Board of Appeals for the property located at 6567 Main Street (the "Site"):

Section of Zoning Regulation for Variance and Description of Proposal

1. A variance of Article I, Section 4.2 and Article II, Section 1.3 of the Trumbull Zoning Regulations to extend a nonconforming accessory vehicle service use to permit the installation of vacuum stations and to relocate an existing air pump in the Residence A Zone.

Proposed Development

The Applicant proposes to install four (4) vacuum stations at the base of off-street parking spaces located in the southeast corner of the Site. In addition, the Applicant proposes to relocate an existing air pump from the south side of the existing building to the very southeastern off-street parking space on the Site adjacent to a proposed vacuum pump. The Site has traditionally been used as a gasoline filling station and is well established. The Site is located on the corner of Main Street and Gisella Road and contains 59,423 square feet. A pump island with filling stations is located near the Main Street frontage with a canopy roof. A two-story wood frame building with a convenience store is located in the middle of the Site. The existing building is surrounded on three sides by an existing parking area.

No parking spaces will be lost on the Site due under the Application. The Applicant has proposed to install the vacuum stations and air pumps in a location farthest away from any residential properties. They will be in close proximity to Main Street and across Gisella Road from a vacant piece of land. Since purchasing the Site, the Applicant has put a tremendous amount of work into the Site and maintained the Site in great condition. As a nonconforming use

1 Post Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

in a residential zone, the Applicant has come before the ZBA to increase the offerings to Trumbull residents as modestly as possible. With little public transportation, Trumbull is a town that relies heavily on commuter vehicles. As such, the Site is an important resource to Trumbull residents located on one of its main thoroughfares. The Site is also in close proximity to one of Trumbull's premier commercial corridors. The Applicant has appeared before the ZBA to offer services for the vehicle needs of Trumbull residents. The Application proposes vacuum stations and an air pump, which are standard in gas stations. The Application will have not have any negative impact on surrounding properties as the request is extremely modest and as far away as possible from residential properties.

Hardship

Granting the Applicant said variance will not substantially affect the comprehensive zoning plan of the Town of Trumbull and adherence to the strict letter of the Trumbull Zoning Regulations will cause an unusual hardship to the Applicant as the Applicant is merely offering an additional option of vehicle service to its customers on a Site with a well-established preexisting nonconforming gasoline filling station use. The Site is conveniently located along Main Street for residents of Trumbull. The Applicant is not increasing the floor area of the existing building, but merely extending a nonconforming use with an accessory offering of vacuum stations and an air pump to the principal gasoline service. An air pump is already located on the Site and is merely being relocated to be adjacent to one of the vacuum stations. The Applicant is only requesting the ability to provide a more thorough offering of its existing use within the developable area of the Site with no increased impact on the safety, traffic, or character of the surrounding neighborhood, particularly due to its location near the corner of Main Street and Gisella Road.

For the reasons stated above, the Applicant respectfully requests approval for the stated variance at the Site.

Sincerely,



Christopher Russo

Property Owners within 250' of 6567 Main Street

Parcel ID	Property Address	Owner Name	Mailing Address	Town	State	Zip Code
D03-165	10 JAMESTOWN ROAD	WINANS JUSTIN EDWARD & SHANNON LEIGH	10 JAMESTOWN ROAD	TRUMBULL	CT	06611
D03-166	14 JAMESTOWN ROAD	GOODHART NELLIE FERRANTE & DONNELLY GIA	9300 SANDY SPRING CIRCLE, APT P	HENRICO	VA	23294
D03-191	167 BROADWAY	PROVENZANO, MARK J.	5316 BEAR CORN RUN	PORT ORANGE	NJ	32128
D03-195	151 BROADWAY	DEGRUTTOLO, ANGELO & KATHRYN	151 BROADWAY	TRUMBULL	CT	06611
D03-193	145 BROADWAY	DEGRUTTOLO, ANGELO & KATHERINE	151 BROADWAY	TRUMBULL	CT	06611
D03-194	MAIN STREET, D/03/194	PROVENZANO, MARK	5316 BEAR CORN RUN	PORT ORANGE	NJ	32128
D03-195	6600 MAIN STREET	BLAKE, CHARLES C. & ADELAIDE	P.O. BOX 413	TRUMBULL	CT	06611
D03-242	14 GISELLA ROAD	DIVITO FAMILY LLC	38 HARVESTER RD	TRUMBULL	CT	06611
D03-243	6567 MAIN STREET	TRUMBULL SUPER STOP REALTY LLC	6567 MAIN STREET	TRUMBULL	CT	06611
D03-270	22123 ARGANESE PLACE	KEANE, FRANCES & CROUSE, DEBORAH	22123 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	1217 ARGANESE PLACE	FRANCIS, RITA E.	1217 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21225 ARGANESE PLACE	RODRIGUES, FERNANDO J. & NELSON M.	21225 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	12213 ARGANESE PLACE	MARTINEZ, KATHLEEN	17 ROCHAMBEAU ROAD	POMPTON PLAINS	NJ	07444-4000
D03-270	1111 ARGANESE PLACE	HARRITY, FREDERICK A.	1111 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22232 ARGANESE PLACE	CHIRIAC, IULIAN & CARMEN E.	22232 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21119 ARGANESE PLACE	BOSSIO MARY	21119 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21120 ARGANESE PLACE	SOUZA, CHARLES	21120 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22230 ARGANESE PLACE	LYON, SHARON	22230 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	1218 ARGANESE PLACE	KRIPLANI, APARNA & SAPNA	1218 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22229 ARGANESE PLACE	CRISANTI, JOHN A.	22229 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	11210 ARGANESE PLACE	PICCOLO, DONNA L. & JAFFE LEIGH	64 DEER RUN DRIVE	TRUMBULL	CT	06611
D03-270	1112 ARGANESE PLACE	MAGLIOCCO, SEBASTIAN	1112 ARGANESE PLACE UNIT 102	TRUMBULL	CT	06611
D03-270	1114 ARGANESE PLACE	RANDALL, LINDA	1114 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	1113 ARGANESE PLACE	GREEN, JOHN COLIN	1113 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22121 ARGANESE PLACE	MAIMON, ABRAHAM	11 REGENCY CIRCLE	TRUMBULL	CT	06611
D03-270	1216 ARGANESE PLACE	DEPWEG, IRMA JEAN	1216 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21117 ARGANESE PLACE	NEWTON, LINDA A.	19-N DIXON ST, UNIT 15	MILFORD	CT	06460
D03-270	21118 ARGANESE PLACE	SEIFERT, JUDITH W.	21118 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22231 ARGANESE PLACE	FUSARO, CARMINE	22231 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22122 ARGANESE PLACE	TAVELLA, CAROLANN	246 WEST AVENUE	MILFORD	CT	06461
D03-270	21227 ARGANESE PLACE	COUTO, ALCINO	16 FIELDSTONE DRIVE	SHELTON	CT	06484-2035
D03-270	12216 ARGANESE PLACE	LARRY J COHEN	PO BOX 174	TRUMBULL	CT	06611
D03-270	11211 ARGANESE PLACE	MROZEK, CHESTER & ESTHER L.	11211 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	11209 ARGANESE PLACE	MASSE, RONALD J. & SHARON L.	11209 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	11212 ARGANESE PLACE	IOVANNA, JOAN	10 RIVERSIDE AVE, APT 304	RIVERSIDE	CT	06878
D03-270	12214 ARGANESE PLACE	HENECHAN, JANET K.	12214 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	22124 ARGANESE PLACE	DIBERARDINO, WALTER & GABRIELLA	22124 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21226 ARGANESE PLACE	FLEWELLYN, PALMA & LISI, LINDA	21226 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	21228 ARGANESE PLACE	MARCOCCIA, MARIA & DEMEIS, ENTRIO, DEMEIS IOLAND L/	21228 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	12215 ARGANESE PLACE	LINDA P. MODUGNO & LISA P CLEMENTS	12215 ARGANESE PLACE	TRUMBULL	CT	06611
D03-270	1215 ARGANESE PLACE	MARINO, RITA	1215 ARGANESE PLACE	TRUMBULL	CT	06611
D04-208	22 GISELLA ROAD	AHERN, RICHARD P. & DAWN M.	22 GISELLA ROAD	TRUMBULL	CT	06611
D04-236	5 SARENEE CIRCLE	FITZGIBBONS, JAMES J. & JUDITH A.	5 SARENEE CIRCLE	TRUMBULL	CT	06611
D04-0259	6 SARENEE CIRCLE	TAHERI, BEHROUZ & AFSANEH	6 SARENEE CIRCLE	TRUMBULL	CT	06611
D04-260	MAIN STREET	TRUMBULL RIDGE VIEW ASSOCIATION INC.	P.O. BOX 81	MONROE	CT	06468

6567 MAIN STREET

Location 6567 MAIN STREET

Mblu D/03 / 00243/ 000/

Acct#

Owner TRUMBULL SUPER STOP
REALTY LLC

Assessment \$457,100

Appraisal \$653,000

PID 4229

Building Count 1

Fire District L

Current Value

Appraisal	
Valuation Year	Total
2015	\$653,000

Assessment	
Valuation Year	Total
2015	\$457,100

Owner of Record

Owner TRUMBULL SUPER STOP REALTY LLC
Co-Owner
Address 6567 MAIN STREET
TRUMBULL, CT 06611

Sale Price \$0
Book & Page 1801/ 842
Sale Date 12/27/2019
Instrument 29

Ownership History

Ownership History				
Owner	Sale Price	Book & Page	Instrument	Sale Date
TRUMBULL SUPER STOP REALTY LLC	\$0	1801/ 842	29	12/27/2019
TRUMBULL SUPER STOP LLC	\$1,450,000	1749/ 421		08/25/2017
GENE'S AUTOMOTIVE LLC	\$300,000	1053/ 374	W	08/25/2000

Building Information

Building 1 : Section 1

Year Built: 1949
Living Area: 1,320

Building Photo

Building Attributes

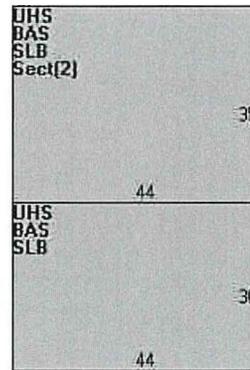
Field	Description
STYLE	Service Shop
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure	Gable
Roof Cover	Asphalt
Interior Wall 1	Drywall
Interior Wall 2	
Interior Floor 1	Concrete
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Forced Air
AC Type	Central
Bldg Use	Conv Store
1st Floor Use:	
Heat/AC	None
Frame Type	Masonry
Baths/Plumbing	Average
Ceiling/Walls	Ceil & Walls
Rooms/Prtns	Average
Wall Height	12
% Comn Wall	



D03-243 05/02/2015

(<http://images.vgsi.com/photos2/TrumbullCTPhotos/\00\01\72\50.JPG>)

Building Layout



(http://images.vgsi.com/photos2/TrumbullCTPhotos//Sketches/4229_4229.j)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,320	1,320
SLB	Slab	1,320	0
UHS	Unfinished Half Story	1,320	0
		3,960	1,320

Building 1 : Section 2

Year Built: 2006
Living Area: 1,540

Building Attributes : Section 2 of 2	
Field	Description
STYLE	Service Shop
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure	Gable

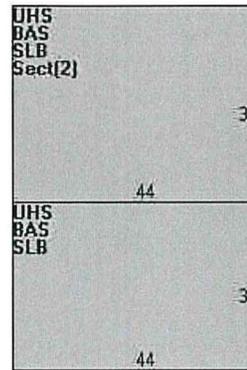
Roof Cover	Asphalt
Interior Wall 1	Minimum
Interior Wall 2	
Interior Floor 1	Concrete
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Hot Air-No Duc
AC Type	None
Bldg Use	Auto Repr
1st Floor Use:	
Heat/AC	None
Frame Type	Masonry
Baths/Plumbing	Average
Ceiling/Walls	Ceil & Min WL
Rooms/Prtns	Average
Wall Height	18
% Comn Wall	

Building Photo



(<http://images.vgsi.com/photos2/TrumbullCTPhotos/default.jpg>)

Building Layout



(http://images.vgsi.com/photos2/TrumbullCTPhotos/Sketches/4229_4229.)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,540	1,540
SLB	Slab	1,540	0
UHS	Unfinished Half Story	1,540	0
		4,620	1,540

Extra Features

Extra Features			Legend
Code	Description	Size	Bldg #
CNP2	Gas Canopy	925 S.F.	1

Land

Land Use

Land Line Valuation

Use Code 312
Description Gas/Mart
Zone A
Neighborhood 255
Alt Land Appr No
Category

Size (Acres) 0.84
Frontage
Depth

Outbuildings

Outbuildings					Legend
Code	Description	Sub Code	Sub Description	Size	Bldg #
PAV1	Paving Asph.			7000 S.F.	1

Valuation History

Appraisal	
Valuation Year	Total
2018	\$653,000
2017	\$653,000
2016	\$653,000

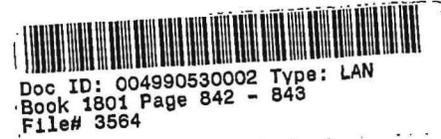
Assessment	
Valuation Year	Total
2018	\$457,100
2017	\$457,100
2016	\$457,100

Law Office William Raccio
1960 Whitney Ave.
Hamden, CT 06517

VOL 1801 PAGE 0842

3564

QUIT CLAIM DEED



TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME GREETING:

KNOW YE, THAT, **TRUMBULL SUPER STOP, LLC**, a Connecticut Limited Liability Company, having a principal place of business located of the Town of Trumbull, County of Fairfield, and State of Connecticut, herein designated as the Releasor, for **NO CONSIDERATION**, received to Releasor's full satisfaction from **TRUMBULL SUPER STOP REALTY LLC**, of the Town of Trumbull, County of Fairfield and State of Connecticut, herein designated as the Releasee, whose mailing address is **6567 Main Street, Trumbull, CT 06611**, do by these presents remise, release and forever Quit-Claim, unto the said Releasee, Releasee's successors and assigns forever, all the right, title, interest, claim and demand whatsoever as the said Releasors have or ought to have in and to:

All certain piece or parcel of land, with all the improvements thereon, situated in the Town of Trumbull, County of Fairfield, and State of Connecticut, known and designated as Lot No. 2 as shown on the certain map entitled "Subdivision Map of Section 1 Rolling Knolls, for James Leslie & Andrew D. Cretella" by Codespoti & Associates, Surveyors-Planners-Engineers, scale 1"= 60', gated June 10, 1987, last revised December 17, 1987 and on file in the Office of the Town Clerk of Trumbull as Map No. 2486, reference being made thereto for a more particular description of said premises.

TO HAVE AND TO HOLD the premises hereby remised, released and quit-claimed with all the appurtenances unto the Releasee and Releasee's heirs and assigns forever, so that neither the Releasors nor the Releasors' heirs or assigns nor any other person claiming under or through the Releasors shall hereafter have any claim, right or title in or to the premises or any part thereof, but therefrom the Releasors and it is by these presents, forever barred and excluded.

No Conveyance Tax Collected
Mary Markham
Town Clerk of Trumbull

IN WITNESS WHEREOF, the Releasor has caused this instrument to be executed this the ^{13th} ~~4th~~ day of ~~September~~, 2019.

November

Signed, Sealed and Delivered
in the Presence of:

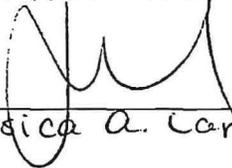
Trumbull Super Stop, LLC



William M. Raccio

BY: 

Jay Nahlawi



Jessica A. Campo

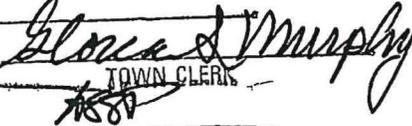
STATE OF CONNECTICUT)
) ss: Hamden
COUNTY OF NEW HAVEN)

On this the ^{13th} ~~4th~~ day of ~~September~~ ^{November}, 2019, before me the undersigned officer, personally appeared Jay Nahlawi, who acknowledged himself to be the Managing Member of Trumbull Super Stop, LLC, and that he, as such Managing Member being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the Limited Liability Company by himself as Managing Member.

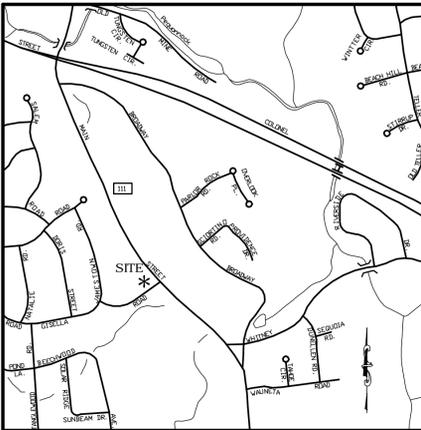
In witness whereof, I hereunto set my hand.



William M. Raccio
Commissioner of the Superior Court

TOWN CLERK OFFICE, TRUMBULL, CT DEC 27 2019
RECEIVED FOR RECORD
AT 3:08 P M. ATTEST 

TOWN CLERK

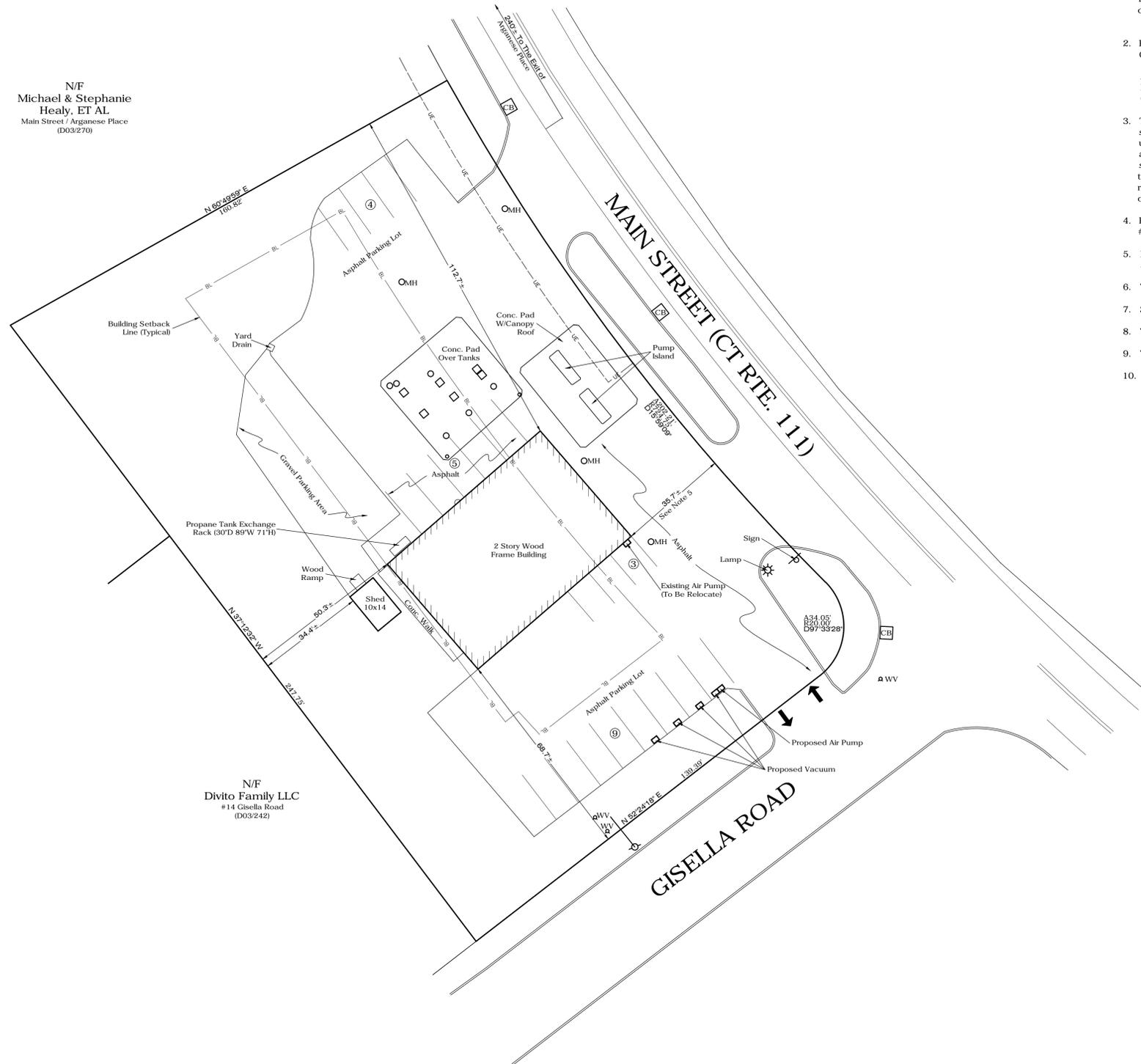


LOCATION MAP
1" = 1000'



N/F
Michael & Stephanie
Healy, ET AL
Main Street / Arganese Place
(D03270)

N/F
Divito Family LLC
#14 Gissella Road
(D03242)



NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors. It is a Improvement Location Survey based upon a Dependent Resurvey and conforms to Horizontal Accuracy Class A-2.
- Reference is made to the following documents on file in the Trumbull Town Clerk's Office:
A.) RM 2486
B.) RM 2628
C.) Volume 1749 Page 421
- The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation, Dial 811 or 1-800-922-4455.
- Property is located in FEMA Zone X. Per Flood Insurance Rate Map #09001C0288F, Effective Date: June 18, 2010; Panel 288 of 626.
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- The north arrow bearing is based on the map in Note 2A.
- Survey error of closure is greater than 1/15,000
- The total area of the parcel is 59,423 sf / 1.36 ac
- The property is located in Residence Zone A. (0.50 Acre)
- Existing Parking = 21 Spaces

Owner:
Assessors Map D-03, Parcel 243
Trumbull Super Stop, LLC
6567 Main Street
Trumbull, CT 06611

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
TRUMBULL SUPER STOP, LLC
#6567 MAIN STREET (CT RTE. 111)
TRUMBULL, CONNECTICUT



NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Jason T. Spath Sr., L.S. #70136

NO.	DATE	DESCRIPTION
7	7-28-20	Proposed Air/Vacuum
6	2-10-19	Attorney Comments
5	1-23-19	Town Comments
4	1-2-19	Attorney Comments
3	11-16-18	Revise Car Queue Lane
2	9-21-18	Proposed Car Wash
1	7-12-18	Add Propane Tank Exchange Rack

DATE:	4-10-18	SCALE:	1"=20'	DRAFTER:	JS	JOB NUMBER:	3618	PROJECT #:	3618
HC		THE HUNTINGTON COMPANY, LLC Consulting Engineers & Surveyors 303 Linwood Avenue, Fairfield, CT 203.259.1091					1/1		

October 1, 2020

Zoning Board of Appeals Application to Allow Non-Conforming Use

TO: ZBA Commission

RE: Vacuum Station

Application #20-34

On upcoming agenda I see the owner(s) of 6567 Main St have applied for a variance of Town Zoning regulations to allow a non-conforming usage of the property.

It is my understanding the current ZBA Commission has already denied any new non-conforming applications for this property. As this is essentially the same application reintroduced, I would suggest this application is Out Of Order and should be dismissed. If the Commission allows the application to proceed, there is no differentiation with which that has already been denied and this application should be denied as well.

The property owner(s) are aware of existing ZBA denials and should be denied again.

I am against this application.

Thank you.

Tracy Vonick
155 Killian Ave
Trumbull

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ROGER KERGARAVAT
89 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

PETER & LAURA YARUSAVAGE
80 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

MARILYN MCCARTHY
86 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

RALPH BERSHEFSKY
88 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CHRIS & ALEXANDRA
98 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

SARAH TURECHEK
108 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

DAVID & SARA FOWLER
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

PATRICIA CORDA
124 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CHRIS & ANNE TRACEY
82 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ERIN DAMATO
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

DANIELLE MCCAIN
72 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CAROL & NELSON LADUE
78 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JEFF LUND
81 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

KYLE & LAURA MARSDEN KISH
87 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JOE CUNEO
101 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

FRANK & PATRICIA LAPEGNA
84 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

SPIRO & MICHAEL MALISORY
114 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ELIZABETH IRWIN
124 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CLAUDIA MONTOYA
125 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

KATHLEEN RICHARSON
127 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

COREY OSOBA
134 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

TIMOTHY KILLIAN
142 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JASON FRANGENES
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

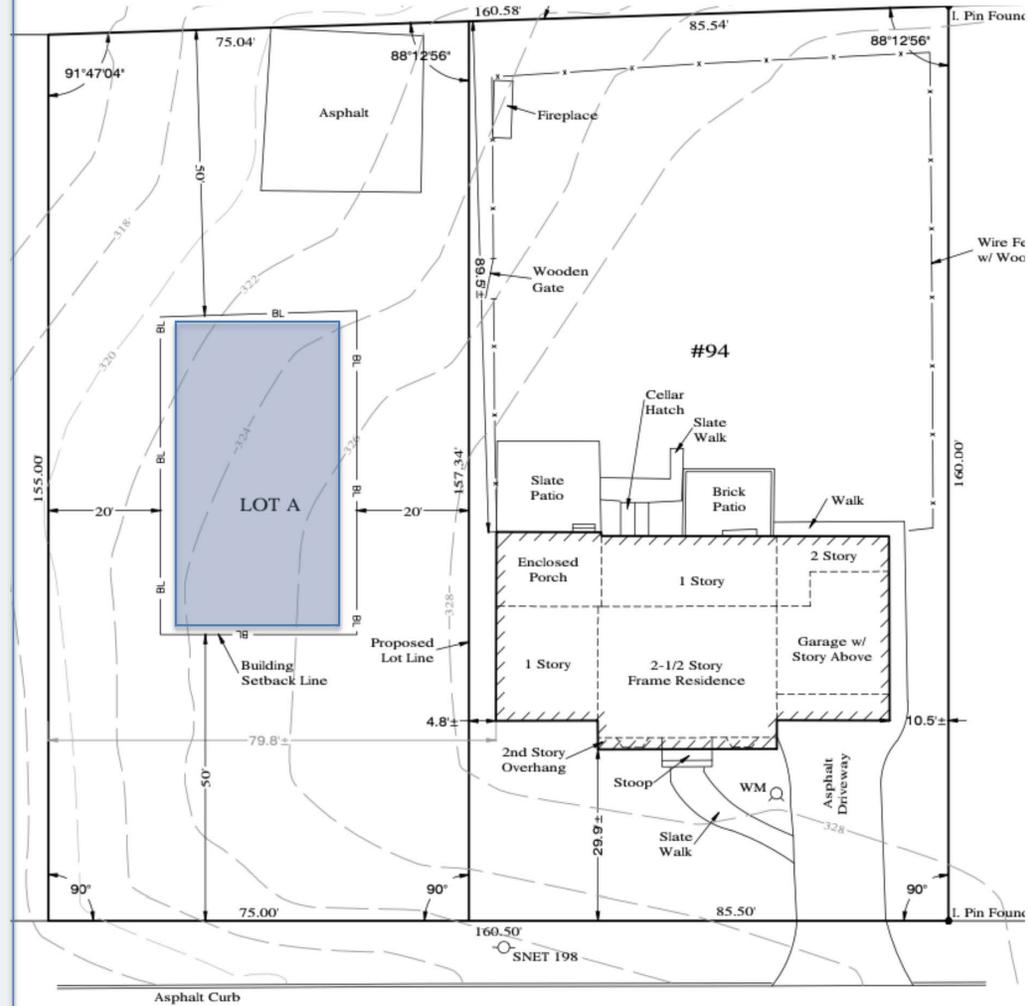
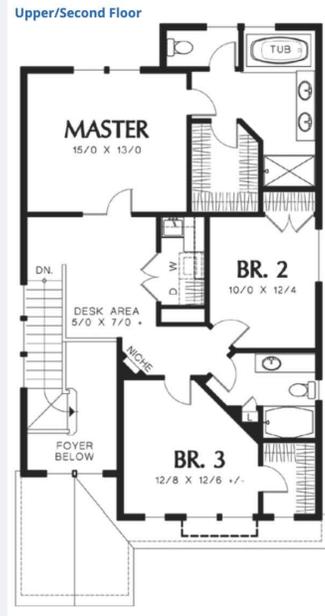
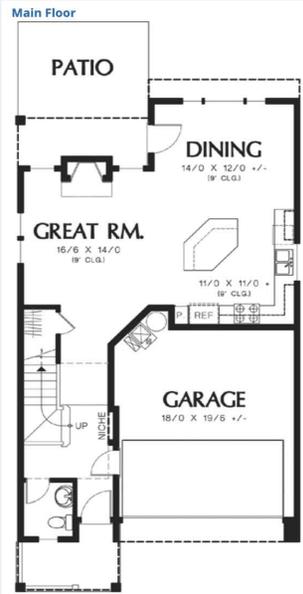
As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

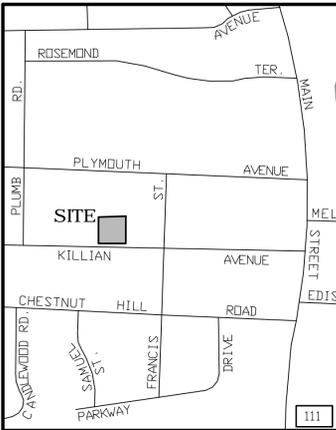
HILARY MAYO
144 KILLIAN AVENUE



TOTAL LIVING AREA (FINISHED)	Total Sq. Ft.: 1851 Main floor: 785	Upper floor: 1066
BEDS/BATHS	Bedrooms: 3 Half Baths: 1	Full Baths: 2
GARAGE	Garage: 368	Garage Stalls: 2
LEVELS	2 stories	
DIMENSION	Width: 28' 0" Height: 30' 6"	Depth: 53' 3"

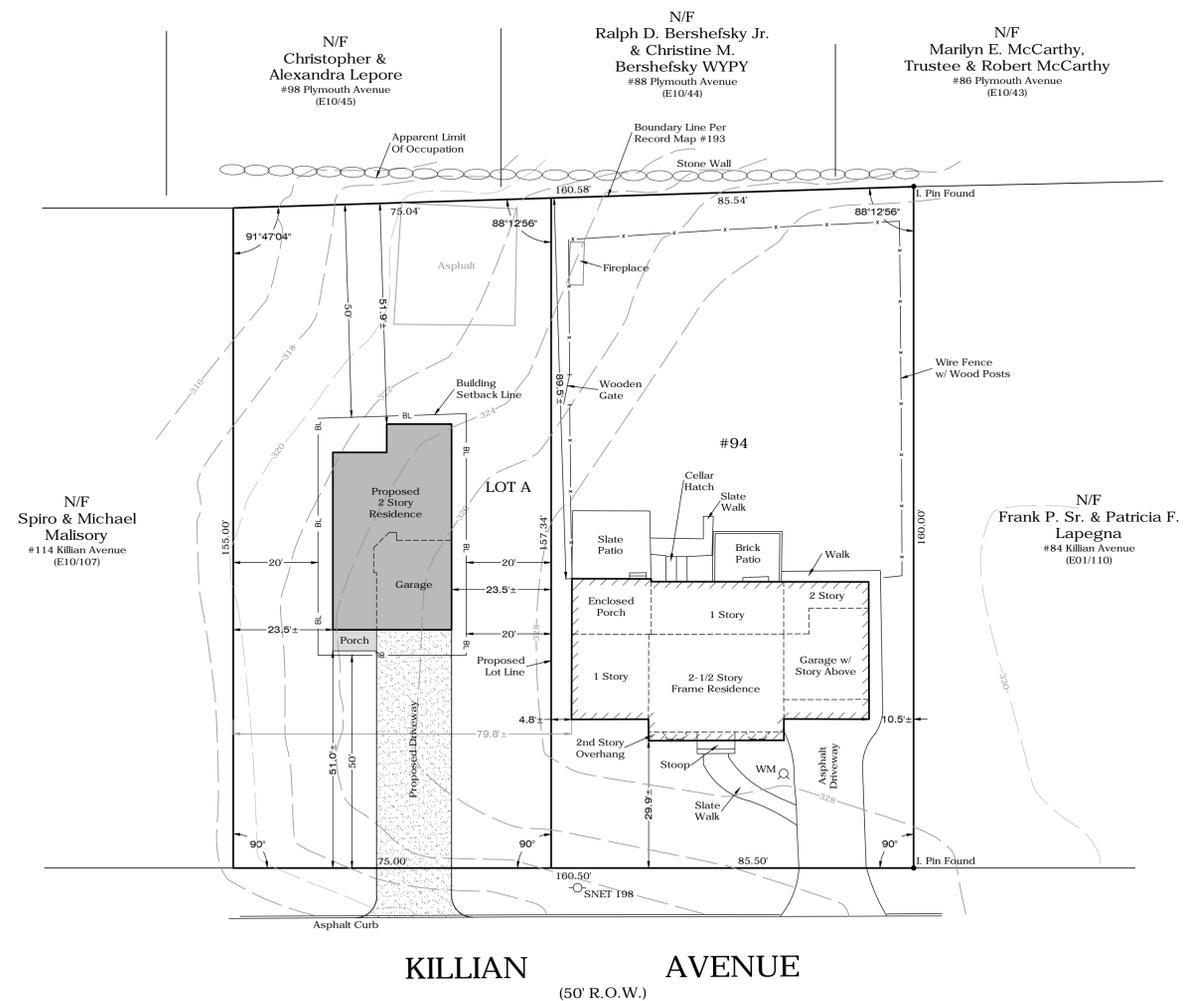


KILLIAN AVENUE
(50' R.O.W.)



RESIDENCE A ZONE - LOT A	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS	RESIDENCE A ZONE - #94	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	21,780	-	11,713	-	Minimum Lot Area	21,780	25,279±	13,566±	-
Minimum Square On Lot	n/a	-	-	-	Minimum Square On Lot	n/a	-	-	-
Minimum Lot Frontage	125	-	75.00'	-	Minimum Lot Frontage	125	160.5'	85.50'	-
MINIMUM SETBACK					MINIMUM SETBACK				
Setback From Street Line	50	-	51.0±	-	Setback From Street Line	50	29.9±	29.9±	-
Setback From One Side Property Lines	20	-	23.5	-	Setback From One Side Property Lines	20	10.9±	4.8±	-
Setback From Rear Property Lines	50	-	51.9±	-	Setback From Rear Property Lines	50	89.5±	89.5±	-
MINIMUM FLOOR AREA					MINIMUM FLOOR AREA				
Floor Area - One Story Building	1,200	-	-	-	Floor Area - One Story Building	1,200	-	-	-
Floor Area - Split Level Building	-	-	-	-	Floor Area - Split Level Building	-	-	-	-
Floor Area - Two Or More Story Building Total Floor Area	1,700	-	2,219±	-	Floor Area - Two Or More Story Building Total Floor Area	1,700	4,119±	4,119±	-
Floor Area - Two Or More Story Building Ground Floor Area	900	-	1,153±	-	Floor Area - Two Or More Story Building Ground Floor Area	900	2,369±	2,369±	-
Maximum Height For A Building Or Structure	40	-	<40	-	Maximum Height For A Building Or Structure	40	26.8±	26.8±	-
Maximum Building Coverage As A Percentage Of Lot Area	25%	-	13.1%	-	Maximum Building Coverage As A Percentage Of Lot Area	25%	9.6%	17.9%	-
Maximum Building Floor Area As A Percentage Of Lot Area	29%	-	11.3%	-	Maximum Building Floor Area As A Percentage Of Lot Area	29%	16.3%	30.4%	-

- NOTES:**
- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - Minimum Standards for Survey and Maps in the State of Connecticut as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Resubdivision Map based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.
 - Reference is made to the following documents on file in the Trumbull Town Clerk's Office:
 - A. RM #193 - "Parkway Village Plan 1, Plan Of Building Lots in Trumbull, Conn. For The Bridgeport City Trust Co., Trustees, Bridgeport, Conn.; Scale: 1"=100'; Dated: Apr. 16, 1939" prepared by Fuller & Co., Inc.
 - The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation, Dial 811 or 1-800-922-4455.
 - Property is located in FEMA Zone X, Per Flood Insurance Rate Map #09001C0426F, Effective Date: June 18, 2010; Panel 426 of 626.
 - Topography shown per Town Of Trumbull GIS Mapping.
 - Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
 - It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.
 - Proposed calculations are based on architectural plans submitted by the client. In some cases dimensions are scaled. It is the contractor's responsibility to adjust for siding that will be added to the structure with respect to coverage and setbacks. The surveyor assumes no responsibility for details that are not submitted for our review.



PRELIMINARY

PRELIMINARY

PRELIMINARY

- LEGEND**
- HYDRANT
 - MANHOLE
 - GAS VALVE
 - UTILITY POLE
 - WATER VALVE
 - LAMP POST
 - CATCH BASIN
 - ELECTRIC BOX
 - SIGN
 - MAILBOX
 - EXISTING IRON PIN
 - EXISTING CONCRETE MONUMENT
 - WELL
 - STONE BOUND
 - HEDGE
 - STONEMASS
 - WL — INLAND WETLANDS
 - — METAL FENCE
 - — WOOD FENCE
 - — EXISTING CONTOUR LINE

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Jason T. Spath Sr., L.S. #79136

NO.	DATE	DESCRIPTION
REVISIONS		

RESUBDIVISION MAP

PREPARED FOR
 RICHARD F. GREENWOOD TESTAMENTARY TRUST &
 RICHARD F. GREENWOOD TESTAMENTARY FAMILY TRUST
 #94 KILLIAN AVENUE
 TRUMBULL, CONNECTICUT

30 0 20 40

DATE: JULY 1, 2020	SCALE: 1"=20'	DRAFTER: SJR	JOB NUMBER: 220	PROJECT #: 220
			THE HUNTINGTON COMPANY, LLC Consulting Engineers & Surveyors 303 Linwood Avenue, Fairfield, CT 203.259.1091	
			1/1	

Application #: 20-29

Date: July 15, 2020

ZONING BOARD OF APPEALS **RECEIVED**

JUL 15 2020

By ZBA # 20-29 3:00 pm
PLANNING & ZONING

APPLICATION FOR HEARING:

1. The purpose of this application is for the following:

- A. Variance of the Trumbull Zoning Regulations X
- B. Appeal from Order of the Zoning Enforcement Officer _____
- C. Approval of Location for a Gasoline Station, Limited Repairer's License or General Repairer's License. _____

2. Location of Subject Premises:

House and Street: 94 Killian Avenue

Assessor's Map No. E/10 Parcel No. 108 Lot No. _____

Trumbull Land Records: Volume(s) 1778 Page(s) 597

Zoning District: A

3. Name of Applicant: The Richard F. Greenwood Testamentary Trust

Street Address: c/o Chris Russo, Esq., Russo & Rizio, LLC, 10 Sasco Hill Rd

City: Fairfield ST: CT Zip: 06824 Email: Chris@russorizio.com

Phone: Day 203-528-0590 Evening _____

SIGNATURE OF APPLICANT _____

(If agent, state capacity)

4. Owner of Record: The Richard F. Greenwood Testamentary Trust & Richard F. Greenwood Testamentary Family Trust

Street Address: c/o Chris Russo, Esq., Russo & Rizio, LLC, 10 Sasco Hill Rd

City: Fairfield ST: CT Zip: 06824 Email: Chris@russorizio.com

SIGNATURE OF OWNER OF RECORD _____

Please complete the following sections which correspond to your answer in question #1 above:

A. VARIANCE OF THE TRUMBULL ZONING REGULATIONS

1. This application relates to:

- Setback (front, side, rear)
- Floor Area
- Lot Area
- Lot Coverage
- Damage Reconstruction
- Parking
- Extension of enlargement of non-conforming use or building
- Other (explain)

Lot frontage

2. List Article, Section, paragraph and subparagraph of the Zoning Regulations for which variances are requested: || 1.3.5

ARTICLE(S) III(Exhibit) SECTION(S) _____ PARAGRAPH(S) _____

SUBPARAGRAPH(S) _____

3. Has any previous application been submitted for this property? If so, please give date of hearing and action taken by the Board:

No

NOTE: The Board is not required to hear any application for the same variance or substantially the same variance for a period of six months after the date of decision by the Board or by the Court on an earlier application.

4. Explain the requested variance; PLEASE INDICATE DISTANCES FROM PROPERTY WHERE APPLICABLE: See Attached

5. Section 8-6 of the Connecticut General Statutes requires that the applicant must show that a literal enforcement of the Zoning Regulations would result in exceptional difficulty or unusual hardship owing to conditions especially affecting such parcel, but not affecting generally the district in which it is situated. Please state the difficulty or hardship which you claim in support of this application:

See Attached



Colin B. Connor
Elizabeth A. Falkoff*
Robert C. Golger
Michael C. Jankovsky
David K. Kurala
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

July 15, 2020

Doug Wenz
Zoning Enforcement Officer
Planning & Zoning Department
5866 Main Street
Trumbull, CT 06611

Re: ZBA Application for property located at 94 Killian Avenue

Dear Mr. Wenz:

Please accept the following revised responses as part of the variance application to the Trumbull Zoning Board of Appeals for the property located at 94 Killian Avenue (the "Site") in the Residence A Zone:

Section of Zoning Regulation for Variance and Description of Proposal

1. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Trumbull Zoning Regulations ("Zoning Regulations") to reduce the minimum lot size from 21,780 SF to 11,713 SF for proposed Lot "A";
2. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot size from 21,780 SF to 13,566 SF to the lot identified as #94 Killian Avenue;
3. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 75' for proposed Lot "A";
4. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 85.50' for the lot identified as #94 Killian Avenue;
5. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum side yard from 20' to 4.8' for the lot identified as #94 Killian Avenue; and

1 Post Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

6. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to increase the maximum floor area ratio from 0.29 to 0.304 for the lot identified as #94 Killian Avenue.

Proposed Development

The Applicant proposes to subdivide the Site into two (2) building lots within the Residence A Zone. The Site currently contains an existing single-family dwelling, which will remain. The Applicant proposes to create an additional building lot on the western portion of the Site, which has always been shown on a recorded map as a separate lot. In the Application, the Applicant has shown the possible construction of a single-family dwelling on the proposed lot to demonstrate a dwelling can be constructed on the proposed Lot "A" without any requirement for variances due to setback, coverage and floor area ratio. The Application is simply to request variances for the proposed Lot "A" and not for a specific dwelling.

The Site has always been considered two (2) separate building lots. This application includes the legal description of the Site, which states the Site consists of Lots Nos. 15 & 16 from a map of "Parkway Village" dated April 16, 1939. The Town of Trumbull has also considered the Site to contain Two (2) lots with two (2) separate sewer hookup approved. Finally, the Site has been under the ownership of the same family dating back to 1966 and there has never been a demonstration to merge the lots. The existing dwelling was not built over the property line between the lots. For these reasons, there has never been a demonstration of an intent to merge these lots.

Hardship

Granting the Applicant said variances will not substantially affect the comprehensive zoning plan of the Town of Trumbull and adherence to the strict letter of the Trumbull Zoning Regulations will cause an unusual hardship to the Applicant as the Site has consisted of Two (2) lots throughout its history. They were separate lots on the original map filed in 1939, the Town has treated the Site as Two (2) lots by allowing Two (2) sewer hookups, and there has never been a demonstration of an intent to merge by a property owner of the Site.

Furthermore, The Application is in conformity with building lots on Killian Avenue. Existing lots on the north side of Killian Avenue are almost uniform in their depth, but vary on their lot frontage. On the same block as the Site, two (2) properties have a frontage of 72.5' and 67', which is less than any lot frontage proposed in this Application. The proposed lot identified as #94 Killian Avenue on the submitted plans will have the largest frontage of any lot on the block. Therefore, the requested variances for lot area and lot frontage are in conformity with, and even greater than, the neighborhood. Similarly, the proposed variances for side yard setback and maximum floor area ratio, which only apply to the existing dwelling, are in conformity with other properties on Killian Avenue. The Applicant has placed a single-family dwelling on the

proposed Lot "A" for illustrative purposes to demonstrate a new dwelling could easily comply with the Zoning Regulations, including, but not limited to, setback, building coverage and floor area ratio. Therefore, the Application will not have any negative impact on the Regulations or its surrounding neighborhood.

For the reasons stated above, the Applicant respectfully requests approval for the stated variances at the Site.

Sincerely,


Raymond Rizio

3664

COURT OF PROBATE, Trumbull Probate Court DISTRICT NO. PD46

ESTATE OF

DATE OF DEATH

Richard F. Greenwood, Of Trumbull (17-00520)
,deceased

October 01, 2017

Pursuant to C.G.S. section 45a-450, this certifies that as appears in the records of this court, the deceased died on the date stated above, and the following real property of the decedent is devised, distributed, set out, divided or descends to: [Name, place of residence and share of distributee and the street, lot number of the real property, or, if none, a brief description of the location.]

Richard D. Greenwood of 126 Yacht St., Bridgeport, CT 06605, and William F. Greenwood of 138 Patrick Dr., Fairfield, CT 06824, Trustees of the Richard F. Greenwood Testamentary Family Trust dated 3/31/16 as per Article Two of the decedent's Last Will and Testament, an undivided two-thirds (2/3) interest, that being the decedent's entire interest, in and to:

All that certain pieces or parcels of land with all improvements thereon, situated in the Town of Trumbull, County of Fairfield and State of Connecticut, known and designated as Lots Nos. 15 and Lot No. 16, map of "Parkway Village" Plan No. 1, dated April 16, 1939, made by Fuller & Company, Inc. for the Bridgeport City Trust Co., Trustee, on file in the Trumbull Town Clerk's Office bounded and as follows:

LOT NO. 15:

NORTH: On land now or formerly of Lizzie M. W. Parrott,
as shown on said map, 79.5 feet, more or less;
EAST: On Lot No. 14, as shown on said map, 160 feet, more or less;
SOUTH: On Killian Avenue, 79.5 feet, more or less;
WEST: On Lot No. 16, as shown on said map, 155 feet, more or less.

LOT NO. 16:

NORTH: On land now or formerly of Lizzie M.W. Parrott,
as shown on said map, 79.5 feet, more or less;
EAST: On Lot No. 15, as shown on said map, 155 feet, more or less;
SOUTH: On Killian Avenue, 81 feet, more or less;
WEST: On Lot No. 17, as shown as said map, 155 feet, more or less.

For a more particular description, reference should be made to the records of the Probate Court.

Dated on December 3, 2018.



[Signature]
T. R. Rowe, Judge

TOWN CLERK OFFICE, TRUMBULL CT
RECEIVED FOR RECORD
AT 2:54 P.M. ATTEST
M. ATTEST
TOWN CLERK
DEC 20 2018
[Signature]



Doc ID: 004816800001 Type: LAN
Book 1778 Page 597
File# 3664

Certified True Copy

Andrew Metter

Judge/Clerk

FOR COURT USE ONLY

Sent to: Richard D. Greenwood

Date sent: December 3, 2018

Note to fiduciary: File certificate with town clerk where real property is situated.

Zoning Board of Appeals Application to Split Lot

I see the residents of 94 Killian Ave have applied to split their small lot into two parcels requiring 6 variances of Town Zoning regulations..

This is a Residence A (1/2 acre) zone as describe in Zoning Regulations 1.3. These regulations also spell out specific uses and accessory uses within said zone. Special exceptions are also noted in sections 1.3.3 & 1.3.4.

Two areas specifically cited within Statutes, with respect to Waivers and Zoning Boards of Appeal

- 1) Waivers are only granted in cases where the hardship has been imposed by conditions outside the property owner's control
- 2) Financial considerations do not constitute a legal hardship that would warrant a variance.

The property owner(s) are aware of existing zoning regulations and have created an artificial hardship by splitting their existing (non-conforming lot) for purely financial gain. The two areas cited specifically for which a waiver shall not be granted.

I hope you agree and deny this application on this basis and of the land and current regulations and not for any reason personal in nature to the person who applied for the variance.

Thank you.

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

A handwritten signature in black ink, appearing to read "Erin Damato". The signature is written in a cursive style with a horizontal line underneath the name.

ERIN DAMATO
73 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

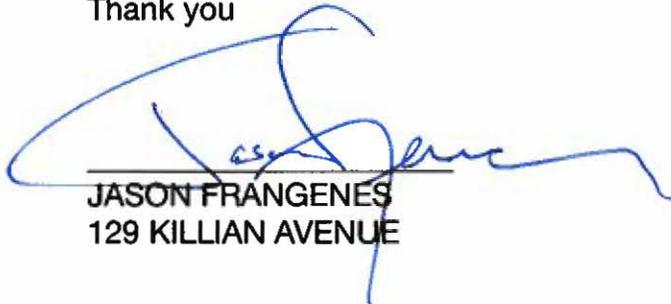
Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you



JASON FRANGENES
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

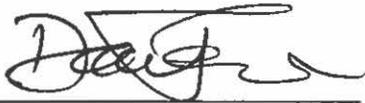
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As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you



DAVID & SARA FOWLER
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

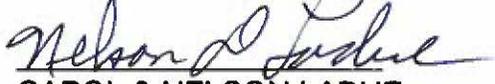
Letter of Opposition for Waiver

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As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you



CAROL & NELSON LADUE
78 KILLIAN AVENUE

PETITION

The undersigned do hereby support the zoning application of The Richard F. Greenwood Testamentary Trust submitted to the Trumbull Zoning Board of Appeals for variances to subdivide the Site into two (2) building lots within the Residence A Zone at 94 Killian Avenue, Trumbull, CT. Particularly, the undersigned do hereby support the application for the following variances:

1. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Trumbull Zoning Regulations ("Zoning Regulations") to reduce the minimum lot size from 21,780 SF to 11,713 SF for proposed Lot "A";
2. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot size from 21,780 SF to 13,566 SF to the lot identified as #94 Killian Avenue;
3. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 75' for proposed Lot "A";
4. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum lot frontage from 125' to 85.50' for the lot identified as #94 Killian Avenue;
5. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to reduce the minimum side yard from 20' to 4.8' for the lot identified as #94 Killian Avenue; and
6. A variance of Article II, Section 1.3.5 and the Article III Exhibit of the Zoning Regulations to increase the maximum floor area ratio from 0.29 to 0.304 for the lot identified as #94 Killian Avenue.

SIGNATURE

NAME:

ADDRESS:

Mark Malisary

MARK MALISARY

114 KILLIAN AVE

Mike Malisary

Mike Malisary

114 Killian Ave

J. James Curcio

J. JAMES CURCIO

101 Killian Avenue

Patty LaPegna

Patty LaPegna

84 Killian Ave



























Town of Trumbull
CONNECTICUT
SEWER COMMISSION

JOHN K. DONNELLY, P.E.
SEWER ADMINISTRATOR



TOWN HALL
PHONE 261-3631

SEWER COMMISSIONERS
JOHN J. PETRUCELLI, CHAIRMAN
HARRY V. TICKEY, VICE CHAIRMAN
STEVEN BREINER, SECRETARY
MICHAEL P. A. WILLIAMS
NICHOLAS A. VERTUCCI, JR.

Dear Home Owner:

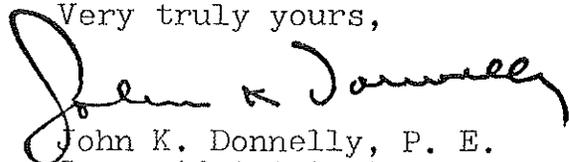
Enclosed please find a copy of your Sewer Assessment Notice and explanation of the formula used for its calculation.

The Sewer Commission will finalize the assessments after a Public Hearing and review of those in dispute. A listing of the final assessments will be published in the newspaper after said hearing and review.

The Sewer Commission will hold a Public Hearing on these assessment on Tuesday, OCT 14 1980 in the Town Hall Court Room at 7:30 p.m. Hearing on Use Charge will be at 8:00 p.m. Legal Notice of these hearings will appear in the newspaper ten days prior to this Hearing date.

If you are satisfied with the explanation as to how your assessment was computed and there are no errors in land title, mathematical calculation or other questions you wish to record with the Commission, no further action is necessary. However, if you feel that any question you may have can be handled through a phone call, please call my office at 261-3631.

Very truly yours,


John K. Donnelly, P. E.
Sewer Administrator

JKD:ms
Enc.

Town of Trumbull

CONNECTICUT SEWER COMMISSION



JOHN K. DONNELLY, P.E.
SEWER ADMINISTRATOR

SEWER COMMISSIONERS

JOHN J. PETRUCELLI CHAIRMAN
HARRY V. TICKEY, VICE CHAIRMAN
STEVEN BREINER SECRETARY
MICHAEL P. A. WILLIAMS
NICHOLAS A. VERTUCCI, JR.

Mr. & Mrs. Richard F. Greenwood

TOWN HALL
PHONE 261-3031

THIS IS NOT A BILL

Dear Home Owner:

The following is the proposed Sewer Assessment for your property listed at 9 1/2 Killian Avenue in the amount of \$ 2812.50.

Residential property assessment is determined as follows: Lots will be assessed at a unit assessment charge of \$500.00 plus an actual foot charge, (1 unit + front footage = specific assessment) in accordance with the table below which places a minimum and maximum limit in relation to lot size to adjust for inequities of lot shape. Corner lots will be assessed for only one side which shall be the side bordered by the sewer, if initially sewered on one side only, or the shorter side when both sides are served by a sewer.

<u>LOT SIZE</u>	<u>LIMITS (FEET)</u>	
Up to 1/2 acre	Min. 80'	Max. 125'
From 1/2 to 1. acre	125'	150'
From 1. acre	150'	175'

Your Assessment is: 1 Unit(s) @ \$500.00 = \$ 500.00
(Footage) 150 Front Feet @ \$ 13.75 = 2062.50
\$ 2562.50
For a Total Assessment of: 250.00 2nd later
\$ 2812.50

You have the option of paying your specific assessment as shown above in one of the three (3) following ways:

- (A) Payment in full upon billing: One Payment of: \$ 2812.50
OR
(B) Eighteen (18) Annual Payments: Yearly Payment of: \$ 210.60
(C) Annual payment for eighteen years but paid in equal quarterly installments of: \$ 60.15

Note: Options B & C include interest at 5% per Annum

The Commission will assume that payments will be made quarterly unless otherwise notified. Formal bill will be sent at a future date.

A User's Fee of \$26.00 will be charged annually, subject to periodic review.

TRUMBULL SEWER COMMISSION

SCHEDULE A

All that certain pieces or parcels of land with all improvements thereon, situated in the Town of Trumbull, County of Fairfield and State of Connecticut, known and designated as Lots Nos. 15 and Lot No. 16, map of "Parkway Village" Plan No. 1, dated April 16, 1939, made by Fuller & Company, Inc. for the Bridgeport City Trust Co., Trustee, on file in the Trumbull Town Clerk's Office bounded and as follows:

LOT NO. 15:

- NORTH: On land now or formerly of Lizzie M. W. Parrott, as shown on said map, 79.5 feet, more or less;
- EAST : On Lot No. 14, as shown on said map, 160 feet, more or less;
- SOUTH : On Killian Avenue, 79.5 feet, more or less;
- WEST : On Lot No. 16, as shown on said map, 155 feet, more or less.

LOT NO. 16:

- NORTH: On land now or formerly of Lizzie M. W. Parrott, as shown on said map, 81 feet, more or less;
- EAST : On Lot No. 15, as shown on said map, 155 feet, more or less;
- SOUTH : On Killian Avenue, 81 feet, more or less;
- WEST : On Lot No. 17, as shown on said map, 155 feet, more or less.

TOWN CLERK OFFICE, TRUMBULL, CT

APR - 6 2016

RECEIVED FOR RECORD

AT 11:48A M. ATTEST

TOWN CLERK

Document Details

File Number	Book/Page	Index Type	Kind of Inst	Description	Date Filed	Images
	4 / 394	LAND RECORDS	SEWER LIEN [SEWER LN]	L 15 16 V 182 P 266 KILLIAN AVE	02/02/1981 12:00:00 AM	

GRANTORS	GRANTEES
JANE B GREENWOOD RICHARD F GREENWOOD	-TOWN OF TRUMBULL

Log in as named user

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July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

A handwritten signature in black ink, appearing to read "Erin Damato". The signature is written in a cursive style with a horizontal line underneath the name.

ERIN DAMATO
73 KILLIAN AVENUE

July 31, 2020

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Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

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Thank you



JASON FRANGENES
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

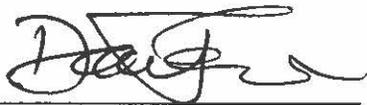
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DAVID & SARA FOWLER
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

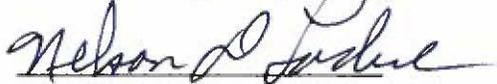
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Thank you



CAROL & NELSON LADUE
78 KILLIAN AVENUE

PAR KWAY VILLAGE

PLAN I

Now or formerly
George Hunsaleh

Now or formerly
George Hunsaleh

Now or formerly
Lizzie M.W. Parrott

See Plan No 5
for Revision

Now or formerly
Bridgeport City Trust Co. Trustees

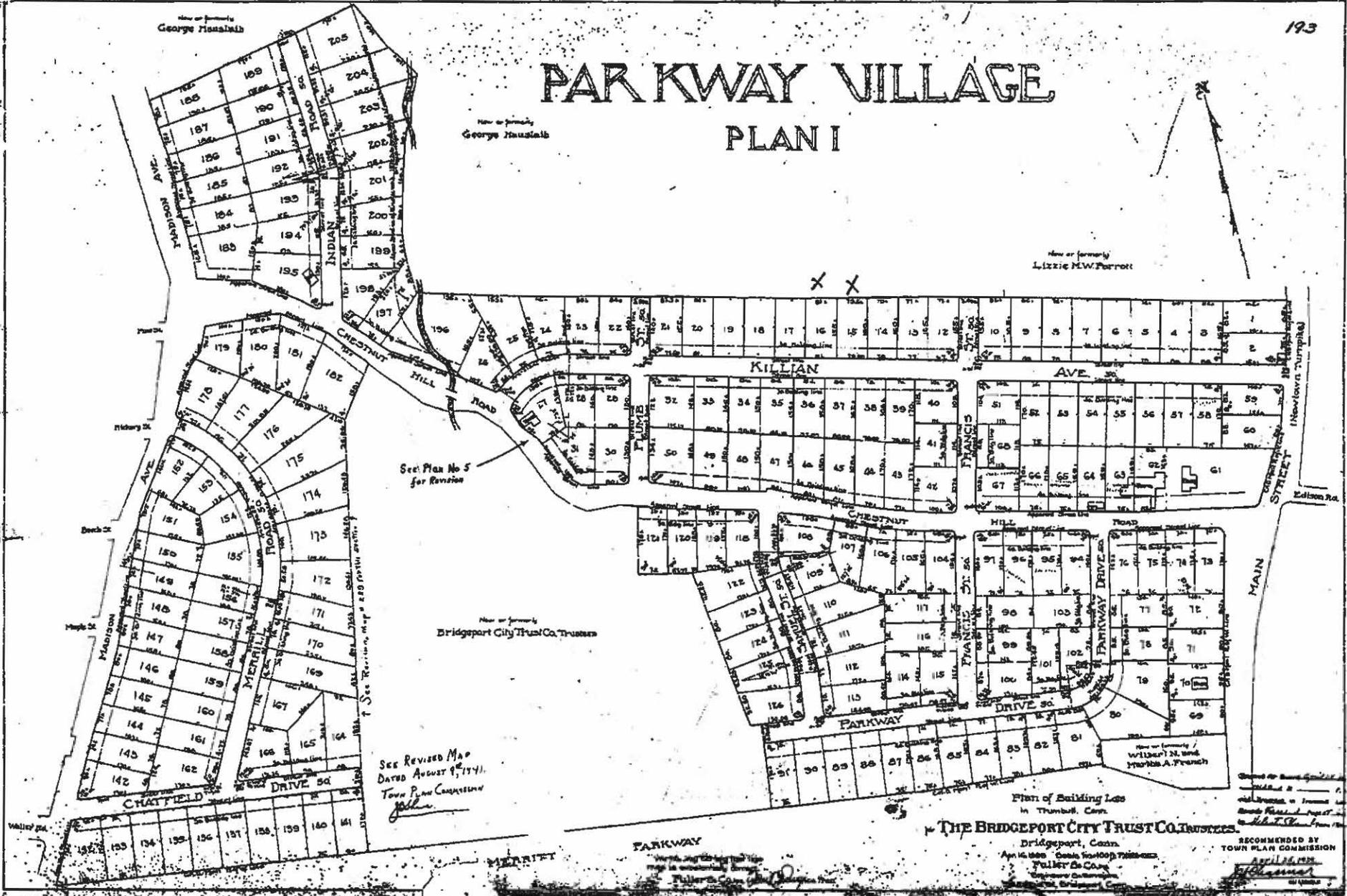
See Revised Map
DATED AUGUST 9, 1941.
Town Plan Commission
[Signature]

Plan of Building Lots
in Township, Conn.

THE BRIDGEPORT CITY TRUST CO. TRUSTEES

Bridgeport, Conn.
Applicants: Cassa, Haddock, Parsons,
Fuller & Co.,
Engineers & Architects,
Bridgeport, Conn.

RECOMMENDED BY
TOWN PLAN COMMISSION
APRIL 15, 1941
[Signature]



October 1, 2020

Zoning Board of Appeals Application to Split Lot

TO: ZBA Commission

RE: Lot Split

Application #20-24

On upcoming agenda I see the owner(s) of 94 Killian Ave have applied to split their small lot into two parcels requiring 6 variances of Town Zoning regulations..

Two areas specifically cited within Statutes, with respect to Waivers and Zoning Boards of Appeal

- 1) Waivers are only granted in cases where the hardship has been imposed by conditions outside the property owner's control
- 2) Financial considerations do not constitute a legal hardship that would warrant a variance.

The property owner(s) are aware of existing zoning regulations and have created an artificial hardship by attempting to split their existing lot for purely financial gain. An area cited specifically for which a waiver shall not be granted.

I am against this application and urge you to deny this application and any others that come before you similar in nature..

Thank you.

Tracy Vonick
155 Killian Ave
Trumbull

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ROGER KERGARAVAT
89 FRANCIS STREET

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

PETER & LAURA YARUSAVAGE
80 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

MARILYN MCCARTHY
86 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

RALPH BERSHEFSKY
88 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CHRIS & ALEXANDRA
98 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

SARAH TURECHEK
108 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

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Thank you

DAVID & SARA FOWLER
120 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

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Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

PATRICIA CORDA
124 PLYMOUTH AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

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Thank you

CHRIS & ANNE TRACEY
82 FRANCIS STREET

July 31, 2020

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Letter of Opposition for Waiver

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Board Members,

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Thank you

ERIN DAMATO
73 KILLIAN AVENUE

July 31, 2020

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Thank you

DANIELLE MCCAIN
72 KILLIAN AVENUE

July 31, 2020

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Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

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Thank you

CAROL & NELSON LADUE
78 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

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Thank you

JEFF LUND
81 KILLIAN AVENUE

July 31, 2020

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Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

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Thank you

KYLE & LAURA MARSDEN KISH
87 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

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As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JOE CUNEO
101 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

FRANK & PATRICIA LAPEGNA
84 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

SPIRO & MICHAEL MALISORY
114 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

ELIZABETH IRWIN
124 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

CLAUDIA MONTOYA
125 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

KATHLEEN RICHARSON
127 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

COREY OSOBA
134 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

TIMOTHY KILLIAN
142 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

JASON FRANGENES
129 KILLIAN AVENUE

July 31, 2020

RE: 94 Killian Ave

Letter of Opposition for Waiver

TO: Zoning Board of Appeals, Town of Trumbull

Board Members,

As a neighborhood resident of 94 Killian Ave, I would like to express my opposition to this application based on a 2 areas outside the granting of waivers, financial gain and self-imposed hardship.

Thank you

HILARY MAYO
144 KILLIAN AVENUE

Town of Trumbull
CONNECTICUT
SEWER COMMISSION

JOHN K. DONNELLY, P.E.
SEWER ADMINISTRATOR



TOWN HALL
PHONE 261-3631

SEWER COMMISSIONERS
JOHN J. PETRUCELLI, CHAIRMAN
HARRY V. TICKEY, VICE CHAIRMAN
STEVEN BREINER, SECRETARY
MICHAEL P. A. WILLIAMS
NICHOLAS A. VERTUCCI, JR.

February 1, 1980

Mr. Richard F. Greenwood
94 Killian Avenue
Trumbull, Connecticut 06611

Dear Mr. Greenwood:

Enclosed is the lateral request form for the second lateral installed at your property as requested by you.

Kindly sign and return the form to this office.

Very truly yours,

Robert F. Farrell, Jr.
Sewer Coordinator and
Assistant Sewer Administrator

RFF:ms
Enc.
cc: File

Town of Trumbull

CONNECTICUT

SEWER COMMISSION



JOHN K. DONNELLY, P.E.
SEWER ADMINISTRATOR

TOWN HALL
PHONE 261-3631

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MICHAEL P. A. WILLIAMS
NICHOLAS A. VERTUCCI, JR.

February 1, 1980
Date

This is to confirm my request for two house connection laterals to the sanitary sewer at 91 Killian Avenue.

I understand and am aware that an additional charge of \$250.00 will be levied for the second house connection lateral.

Signature

Very truly yours,

Robert F. Farrell, Jr.
Sewer Coordinator and
Assistant Sewer Administrator

RFF:ms
Enc.
cc: File

FORM 5

TAP NO. **26105** ORDER TO INSTALL TAP
 EXT. NO. **3204-830** LONG HILL

BRIDGEPORT, CONN. **15 1940**

STREET AND SERVICE DEPARTMENT: **Lot #15**
 PLEASE INSERT IN MAIN ON **Killian Ave** ST
 NEAR **Francis St** ST
 TRENCH OPEN AT **3/4** INCH CORPORATION TAP.

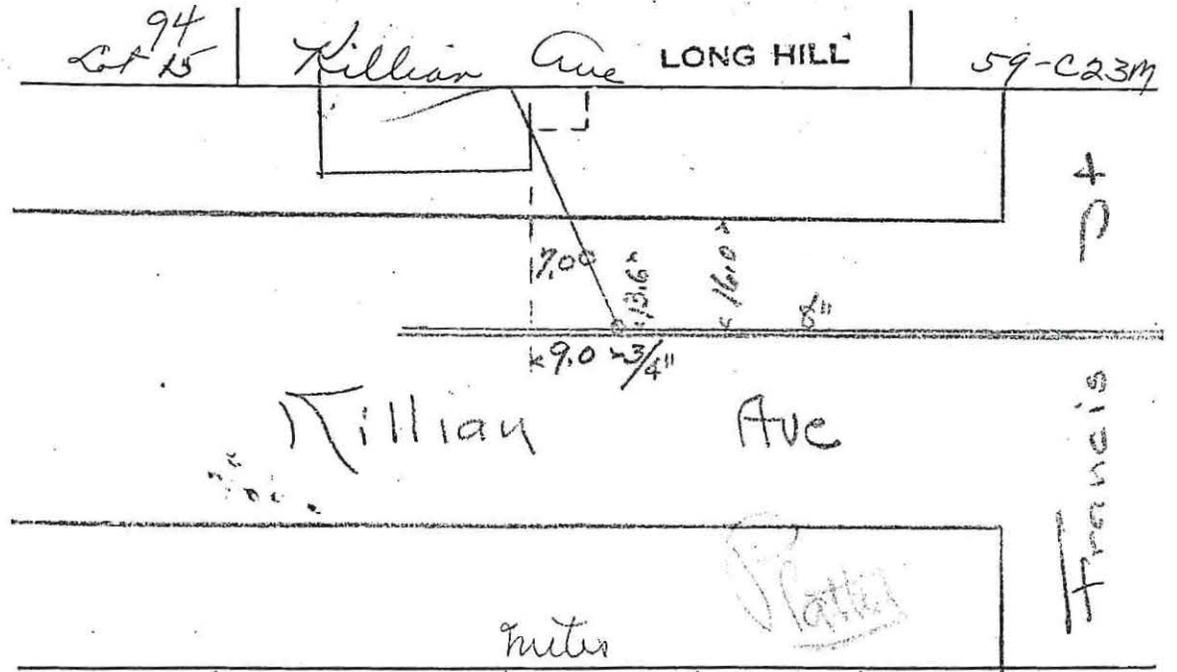
AUG 15 1940 1:00 P. M. EXECUTIVE DEPARTMENT
 BY **J.S.P.**

OWNER **Mrs. Evelyn Triggs**
 PLUMBER **Robert Fritz** FEE PAID **AUG 15 1940**
 MASON **READY MIXED** FEE PAID **AUG 15 1940**

SPECIAL CONDITIONS _____

BRIDGEPORT HYDRAULIC COMPANY AUG 15 1940

WATER STREET	DRAUGHTING ROOM			MAIN OFFICE			PLATTED	ORIGINAL
	SKETCH	LOCATION	EXT. NO.	GUAR. RATE	INSPECTION	ADDRESS & ACCOUNT		
✓	Lot 15	3204	30.00	La	La	La		CARD FILED



TAPPED	SIZE OF SERVICE	DEPTH DITCH	CURB COCK	INSPECTED BY
8/15/40	1" copper	4 1/2	Les	Medina

VARIANCE SPECIAL EXCEPTION SPECIAL PERMIT

GRANTED BY:
PLANNING AND ZONING COMMISSION ZONING BOARD OF APPEALS

OWNER(S) OF RECORD: Melissa Jagoe Seidl
48 Plymouth Avenue
Trumbull, CT 06611
LOCATION OF PREMISES: Melissa Jagoe Seidl



Assessor's Map No.: E-10 Parcel No. 41 Lot No. 46
Trumbull Land Records: Volume 1701 Page 436

ZONING REGULATIONS:
ARTICLE(S) II, III CHAPTER V SECTION(S) 1.3.5, 2
PARAGRAPH(S) _____ SUBPARAGRAPH(S) _____

NATURE OF APPLICATION: Variance of Article II, Section 1.3.5 and Art. III, Chapter V, Sec. 2 to reduce minimum lot size from 21,780 sq. ft. to 17,597 sq. ft. and to reduce the minimum lot frontage from 125' to 80.29' for a proposed lot within a two-lot subdivision in the Residence A Zone. Must include 15' of conservation easement across the rear portion of lots 45, 46 and 47. Prior to any development on lot #45, applicant must show compliance with the Administrative Policy for Stormwater Management & Drainage Standards, obtain WPCA approval, street opening and driveway permits.

SPECIFIC CONDITIONS IMPOSED UPON THE GRANT OF SUCH APPLICATION MAY BE FOUND IN COPIES OF ACTION TAKEN ON FILE IN THE OFFICE OF THE TOWN CLERK.

DATE OF APPLICATION 8/15/19 DATE OF PUBLIC HEARING 10/02/19
DATE OF ACTION TAKEN 10/2/19 FIXED EFFECTIVE DATE 10/20/19

Richard Mayo
(Secretary)

CERTIFICATION

I, Gail Andreyka, Clerk of the Zoning Board of Appeals of the Town of Trumbull, do, hereby, certify this notice of decision to contain true accurate statements for variance granted with respect to application of Atty. Russo for Melissa Jagoe Seidl dated August 15, 2019 for premises owned by Melissa Jagoe Seidl and as more fully appears in the files of the said Zoning Board of Appeals.

Gail Andreyka
(Clerk)

Received for Record OCT 31 2019 at 11:29 A.M.

ATTEST: Suzanne M. Cole
Town Clerk